

Report to the Future Melbourne (Planning) Committee

Agenda item 6.3

Ministerial Planning Referral: TPM-2022-2
194-206 Lorimer Street, Docklands

18 October 2022

Presenter: Marjorie Kennedy, Head of Statutory Planning

Purpose and background

1. The purpose of this report is to advise the Future Melbourne Committee (FMC) of a Ministerial Planning Referral (P2101476) for land located at 194-206 Lorimer Street, Docklands (refer attachment 2 – Locality Plan).
2. The applicant is Tract who is acting on behalf of the owner, Samma Property Group. The architect is Fender Katsalidis.
3. The land is located within the Docklands Zone Schedule 1 (DZ1) and is covered by the Development Plan Overlay Schedule 2 (DPO2), Design and Development Overlay (DDO) Schedules 12 and 49, Parking Overlay Schedule 11 (PO11) and the City Link Project Overlay.
4. The Site is located within the Bolte Precinct West Development Plan Addendum June 2019 (Development Plan) area.
5. The application seeks approval for the construction of a 31 storey building comprising of 402 build-to-rent (BTR) dwellings, 223 m² of food and drink premises and 853 m² of community service spaces. The building will have a height of 102.8 m (109 m including rooftop building services) and a Gross Floor Area of 50,766 m² (Refer attachment 3 – Architectural plans). The proposal also seeks to offer affordable housing and the officer recommendation includes a condition for the delivery of six per cent affordable housing.
6. The Department of Environment, Land, Water and Planning (DELWP), on behalf of the Minister for Planning, has informally referred the application to the City of Melbourne for comment.

Key issues

7. The key issues for consideration are how the proposal responds to the approved Development Plan, the built form and compliance with Clause 58 Better Apartment Design Standards (BADS).
8. The development will achieve a well resolved response to its strategic and physical context. The building will sit comfortably in this location and is an appropriate response to the approved Development Plan and Yarra's Edge. The design incorporates a varied materials palette with quality finishes including textured concrete, bronze metal cladding and glazing, all of which contribute to the high quality contemporary design of the proposal.
9. The development will assist in the facilitation of future public realm for social spaces, public activity and through the location of community spaces at ground level to the north providing a strong activation and connection with Shed 21.
10. The proposal has a high degree of compliance with the requirements of the BADS including functional apartment layouts, room depths, window locations, storage, private open space, accessibility and circulation. This ensures that future occupants will be afforded with a high level of internal amenity.

Recommendation from management

11. That the Future Melbourne Committee resolves to advise the Department of Environment, Land, Water and Planning that the Melbourne City Council supports the application, subject to the conditions set out in the delegate report (refer to Attachment 4 of the report from management).

Attachments:

1. Supporting Attachment (Page 2 of 94)
2. Locality Plan (Page 3 of 94)
3. Selected Plans (Page 4 of 94)
4. Delegate Report (Page 50 of 94)

Supporting Attachment

Legal

1. The Minister for Planning is the Responsible Authority for determining this application. The application is exempt from the notice of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3), and the review rights of section 82(1) of the *Planning and Environment Act 1987* (Act). Melbourne City Council therefore has no formal status under the Act in relation to the application.

Finance

2. There are no direct financial issues arising from the recommendations contained within this report.

Conflict of interest

3. No member of Council staff, or other person engaged under a contract, involved in advising on or preparing this report has declared a material or general conflict of interest in relation to the matter of the report.

Health and Safety

4. Relevant planning considerations such as traffic, waste management, potential amenity impacts and noise attenuation matters that could impact on health and safety have been considered within the planning permit application and assessment process.

Stakeholder consultation

5. Council officers have not undertaken public notice of the application or referred this to any other referral authorities. This is the responsibility of DELWP acting on behalf of the Minister for Planning.

Relation to Council policy

6. Relevant Council policies are discussed in the attached delegate report (refer to Attachment 4).

Environmental sustainability

7. The Environmentally Sustainable Design report submitted with the application confirms the development will achieve the relevant performance measures set out in Clauses 15.01-2L-01 (Energy and Resource Efficiency) and Clause 19.03-3L (Stormwater Management) of the Melbourne Planning Scheme
8. The recommendation includes permit conditions requiring implementation of the ESD initiatives.

Locality Plan

194-206 Lorimer Street, Docklands

Attachment 2
Agenda item 6.3
Future Melbourne Committee
18 October 2022





FENDER KATSALIDIS

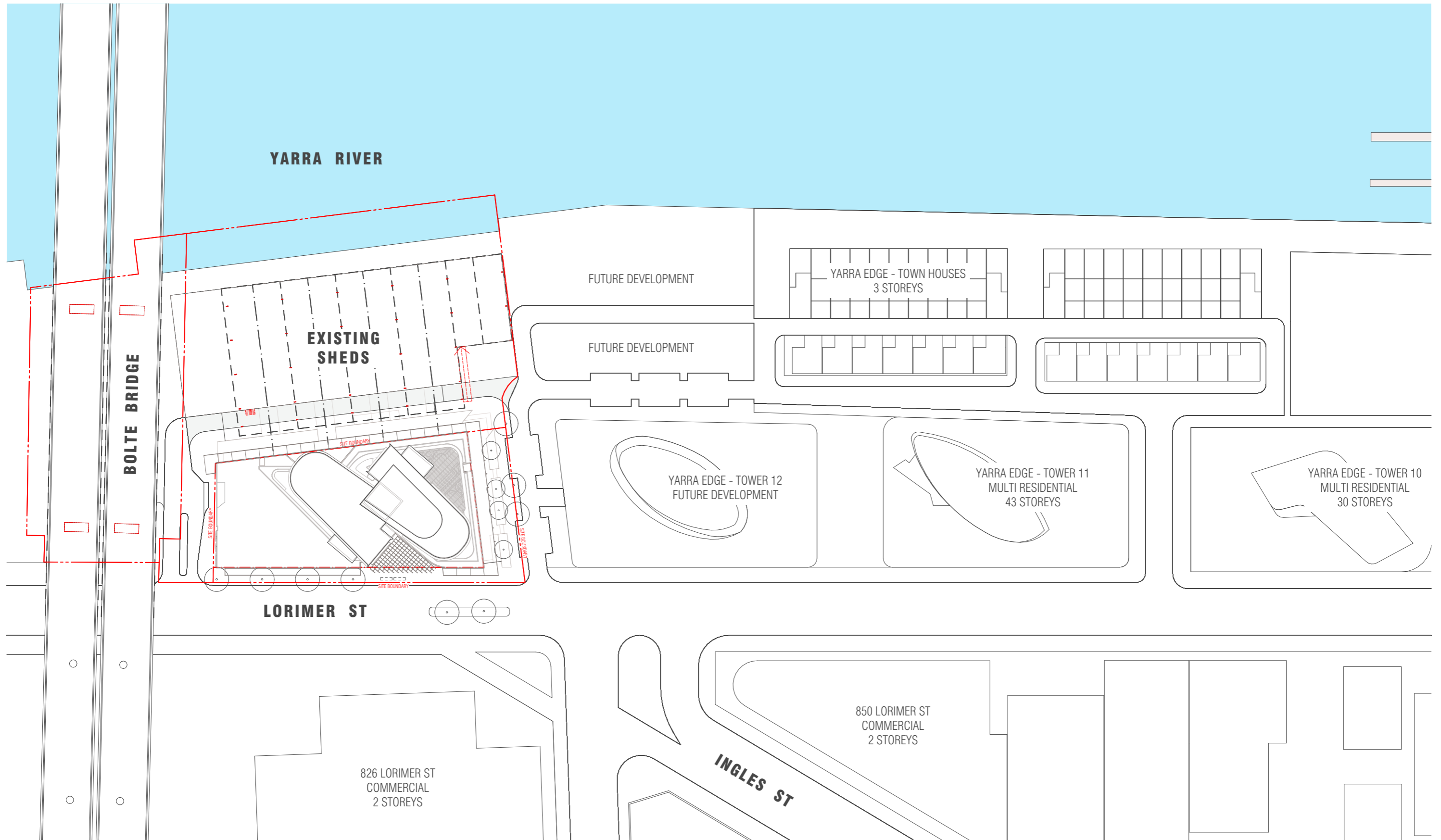
BOLTE PRECINCT WEST
194 LORIMER STREET
DOCKLANDS 3008

PROJECT NO: 21052

TOWN PLANNING

DRAWING INDEX

TP001	B	SITE PLAN	TOWN PLANNING
TP002	B	LAND & EXTERNAL WORKS DIAGRAM	TOWN PLANNING
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TP100A	B	GROUND FLOOR PLAN (WESTERN INTERIM ACCESS)	TOWN PLANNING
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TP102	B	LEVEL 2-5 FLOOR PLAN	TOWN PLANNING
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TP123	B	LEVEL 23 AMENITIES FLOOR PLAN	TOWN PLANNING
TP124	B	LEVEL 24-30 FLOOR PLAN	TOWN PLANNING
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TP200	B	NORTH WEST ELEVATION	TOWN PLANNING
TP201	B	SOUTH EAST ELEVATION	TOWN PLANNING
TP202	B	NORTH ELEVATION	TOWN PLANNING
TP203	B	SOUTH ELEVATION	TOWN PLANNING
TP220	B	NORTH GROUND ELEVATION 01	TOWN PLANNING
TP221	B	NORTH GROUND ELEVATION 02	TOWN PLANNING
TP225	B	EAST GROUND ELEVATION 01	TOWN PLANNING
TP226	B	EAST GROUND ELEVATION 02	TOWN PLANNING
TP230	B	SOUTH GROUND ELEVATION 01	TOWN PLANNING
TP231	B	SOUTH GROUND ELEVATION 02	TOWN PLANNING
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TP235	B	WEST GROUND ELEVATION 01	TOWN PLANNING
TP236	B	WEST GROUND ELEVATION 02	TOWN PLANNING
TP237	B	WEST GROUND ELEVATION 03	TOWN PLANNING
TP250	B	SECTION AA	TOWN PLANNING
TP251	B	SECTION BB	TOWN PLANNING
TP252	B	SECTION CC & DD	TOWN PLANNING
TP253	B	SECTION EE & FF	TOWN PLANNING
TP254	B	SECTION GG	TOWN PLANNING
TP301	B	APARTMENT TYPES	TOWN PLANNING
TP302	B	APARTMENT TYPES	TOWN PLANNING
TP303	B	APARTMENT TYPES	TOWN PLANNING
TP304	B	APARTMENT TYPES	TOWN PLANNING
TP305	B	APARTMENT TYPES	TOWN PLANNING
TP306	B	APARTMENT TYPES	TOWN PLANNING
TP307	B	APARTMENT TYPES	TOWN PLANNING
TP308	B	APARTMENT TYPES	TOWN PLANNING
TP309	B	APARTMENT TYPES	TOWN PLANNING
TP400	B	SHADOW DIAGRAMS	TOWN PLANNING
TP401	B	SHADOW DIAGRAMS	TOWN PLANNING
TP500	B	DEVELOPMENT SUMMARY	TOWN PLANNING



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REVISION	ISSUE	DATE
-	ISSUE FOR TOWN PLANNING SUBMISSION	JH 15.12.2021
A	PLANNING RFI RESPONSES	JH 26.05.2022
> B	PLANNING RFI RESPONSES	JH 11.08.2022

REVISION	ISSUE	DATE
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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
EH	11.08.2022	JH	11.08.2022	21052	N.T.S.@A3



PROJECT
 BOLTE PRECINCT WEST
 194 LORIMER STREET
 DOCKLANDS VIC 3008

DRAWING TITLE
 SITE PLAN

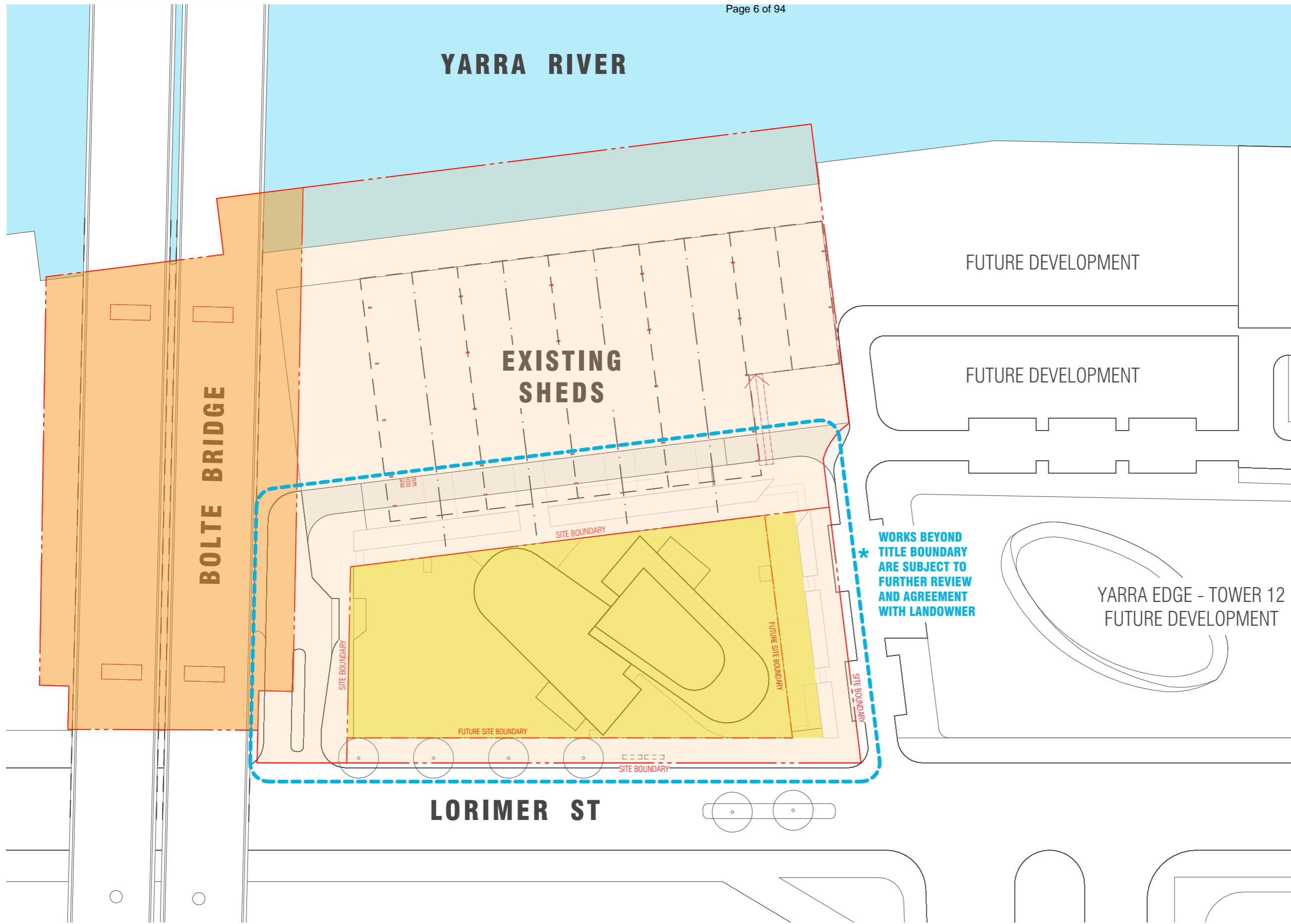
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 FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032


ISSUE PURPOSE
 TOWN PLANNING




REV. B
DRAWING NO. TP001

YARRA RIVER



 **208 LORIMER ST DOCKLANDS**

 **206 LORIMER ST DOCKLANDS**

 **SUBJECT SITE / PRIVATE PROPERTY**

 **EXTENT OF PROPOSED ROAD WORKS & LANDSCAPING WORKS**

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 194 LORIMER STREET
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DRAWING TITLE
 LAND & EXTERNAL WORKS DIAGRAM

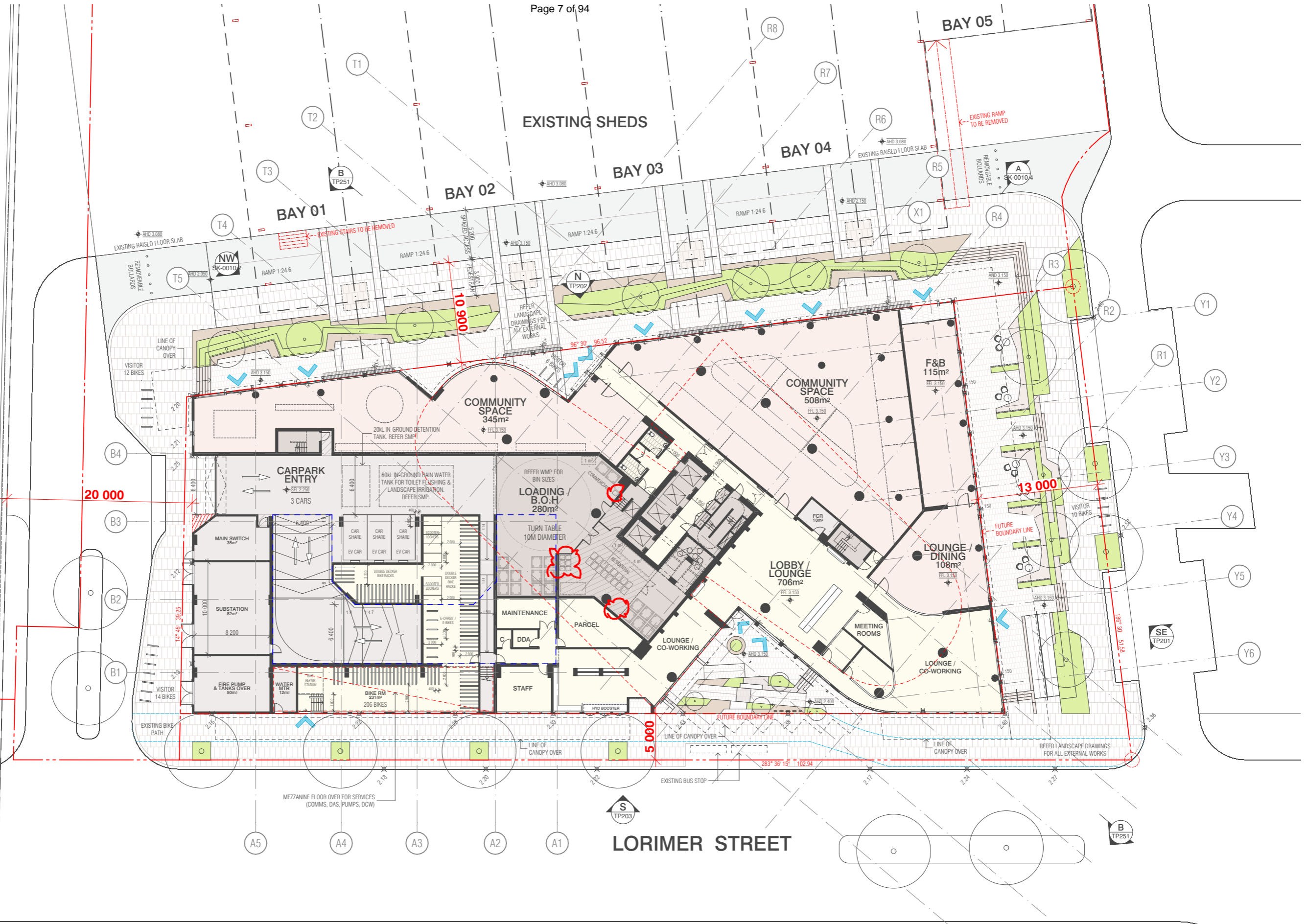
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ISSUE PURPOSE
 TOWN PLANNING



REV. B
DRAWING NO. TP002

BOLTE BRIDGE



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PROJECT
 BOLTE PRECINCT WEST
 194 LORIMER STREET
 DOCKLANDS VIC 3008

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DRAWING TITLE	ISSUE PURPOSE	REV.	DRAWING NO.
GROUND FLOOR PLAN	TOWN PLANNING	B	TP100

STORAGE CAGE
TYPICAL SIZE MIN. 4 m³

BOLTE BRIDGE

EXISTING SHEDS



LORIMER STREET

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PROJECT
 BOLTE PRECINCT WEST
 194 LORIMER STREET
 DOCKLANDS VIC 3008

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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE	DRAWING TITLE
EH	11.08.2022	JH	11.08.2022	21052	1:400@A3	LEVEL 1 FLOOR PLAN

ISSUE PURPOSE	REV.	DRAWING NO.
TOWN PLANNING	B	TP101

STORAGE CAGE
TYPICAL SIZE MIN. 4 m³

BOLTE BRIDGE

EXISTING SHEDS



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PROJECT
 BOLTE PRECINCT WEST
 194 LORIMER STREET
 DOCKLANDS VIC 3008

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DRAWING TITLE
 LEVEL 2-5 FLOOR PLAN

ISSUE PURPOSE
 TOWN PLANNING

REV. B
DRAWING NO. TP102

BOLTE BRIDGE

EXISTING SHEDS

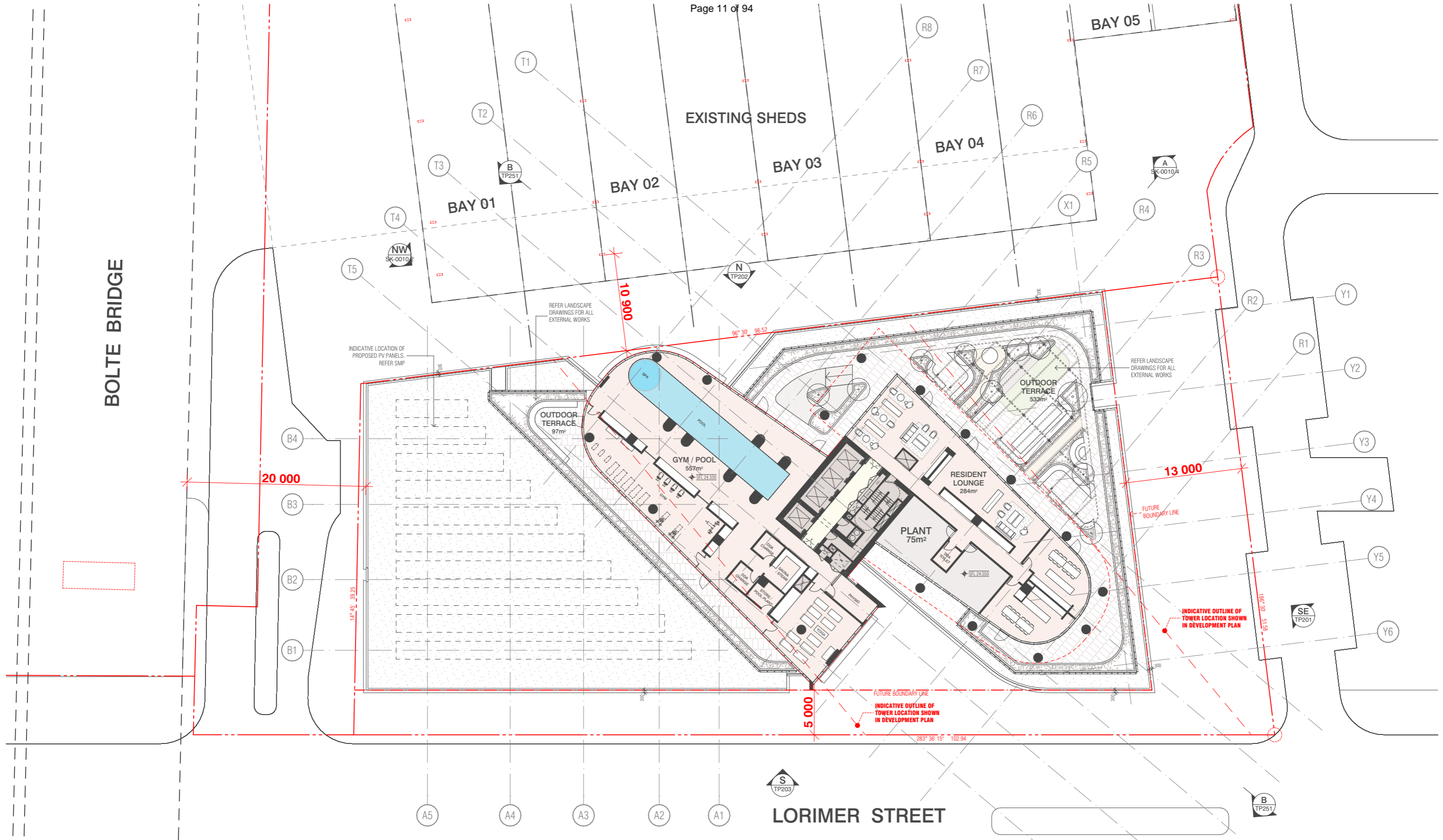
BAY 05

BAY 04

BAY 03

BAY 02

BAY 01



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PROJECT
 BOLTE PRECINCT WEST
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DRAWING TITLE
 LEVEL 6 AMENITIES FLOOR PLAN

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ISSUE PURPOSE
 TOWN PLANNING



REV. B
DRAWING NO. TP106

BOLTE BRIDGE

EXISTING SHEDS

BAY 05

BAY 04

BAY 03

BAY 02

BAY 01

20 000

10 900

13 000

5 000

LORIMER STREET

INDICATIVE OUTLINE OF TOWER LOCATION SHOWN IN DEVELOPMENT PLAN

INDICATIVE OUTLINE OF TOWER LOCATION SHOWN IN DEVELOPMENT PLAN

LINE OF PODIUM BELOW

LINE OF PODIUM BELOW

FUTURE BOUNDARY LINE

LINE OF PODIUM BELOW

FUTURE BOUNDARY LINE

HORIZONTAL SUNSHADES

HORIZONTAL SUNSHADES



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PROJECT

BOLTE PRECINCT WEST
194 LORIMER STREET
DOCKLANDS VIC 3008

DRAWING TITLE

LEVEL 7-21 FLOOR PLAN

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ISSUE PURPOSE

TOWN PLANNING



REV. B
DRAWING NO. TP107

BOLTE BRIDGE

EXISTING SHEDS

BAY 05

BAY 04

BAY 03

BAY 02

BAY 01



LORIMER STREET

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REVISION	REVISION
B	JH
PLANNING RFI RESPONSES	11.08.2022

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DRAWING TITLE
 LEVEL 22 AMENITIES FLOOR PLAN

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 FENDER KATSALEDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE
 TOWN PLANNING



REV. B
DRAWING NO. TP122

BOLTE BRIDGE

EXISTING SHEDS

BAY 05

BAY 04

BAY 03

BAY 02

BAY 01



BIMcloud: BIMSERVER23 - BIMcloud Basic for ARCHICAD 23/21052 Lorimer Street/21052 Lorimer St General

REVISION	REVISION
B	JH
PLANNING RFI RESPONSES	11.08.2022

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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
EH	11.08.2022	JH	11.08.2022	21052	1:400@A3

PROJECT
 BOLTE PRECINCT WEST
 194 LORIMER STREET
 DOCKLANDS VIC 3008

DRAWING TITLE
 LEVEL 23 AMENITIES FLOOR PLAN

FENDER KATSALEDIS
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ISSUE PURPOSE
 TOWN PLANNING



REV. B
DRAWING NO. TP123

BOLTE BRIDGE

EXISTING SHEDS

BAY 05

BAY 04

BAY 03

BAY 02

BAY 01



LORIMER STREET

BIMcloud: BIMSERVER23 - BIMcloud Basic for ARCHICAD 23/21052 Lorimer Street/21052 Lorimer St General

REVISION	REVISION
B	JH 11.08.2022

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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
EH	11.08.2022	JH	11.08.2022	21052	1:400@A3

PROJECT
 BOLTE PRECINCT WEST
 194 LORIMER STREET
 DOCKLANDS VIC 3008

DRAWING TITLE
 LEVEL 24-30 FLOOR PLAN

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ISSUE PURPOSE
 TOWN PLANNING



REV. B
DRAWING NO. TP124

BOLTE BRIDGE

EXISTING SHEDS

BAY 01

BAY 02

BAY 03

BAY 04

BAY 05

R8

R7

R6

R5

R4

R3

R2

R1

Y1

Y2

Y3

Y4

Y5

Y6

INDICATIVE OUTLINE OF TOWER LOCATION SHOWN IN DEVELOPMENT PLAN

ROOF PLANT
560m²
SPE 105 050

INDICATIVE OUTLINE OF TOWER LOCATION SHOWN IN DEVELOPMENT PLAN

20 000

10 900

13 000

5 000

B4

B3

B2

B1

A5

A4

A3

A2

A1

S
TP203

LORIMER STREET

B
TP251

BIMcloud: BIMSERVER23 - BIMcloud Basic for ARCHICAD 23/21052 Lorimer Street/21052 Lorimer St General

REVISION	REVISION
B	JH
PLANNING RFI RESPONSES	11.08.2022

QUALITY ASSURANCE (FK IS A CERTIFIED COMPANY TO ISO 9001:2015)
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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
EH	11.08.2022	JH	11.08.2022	21052	1:400@A3

PROJECT
 BOLTE PRECINCT WEST
 194 LORIMER STREET
 DOCKLANDS VIC 3008

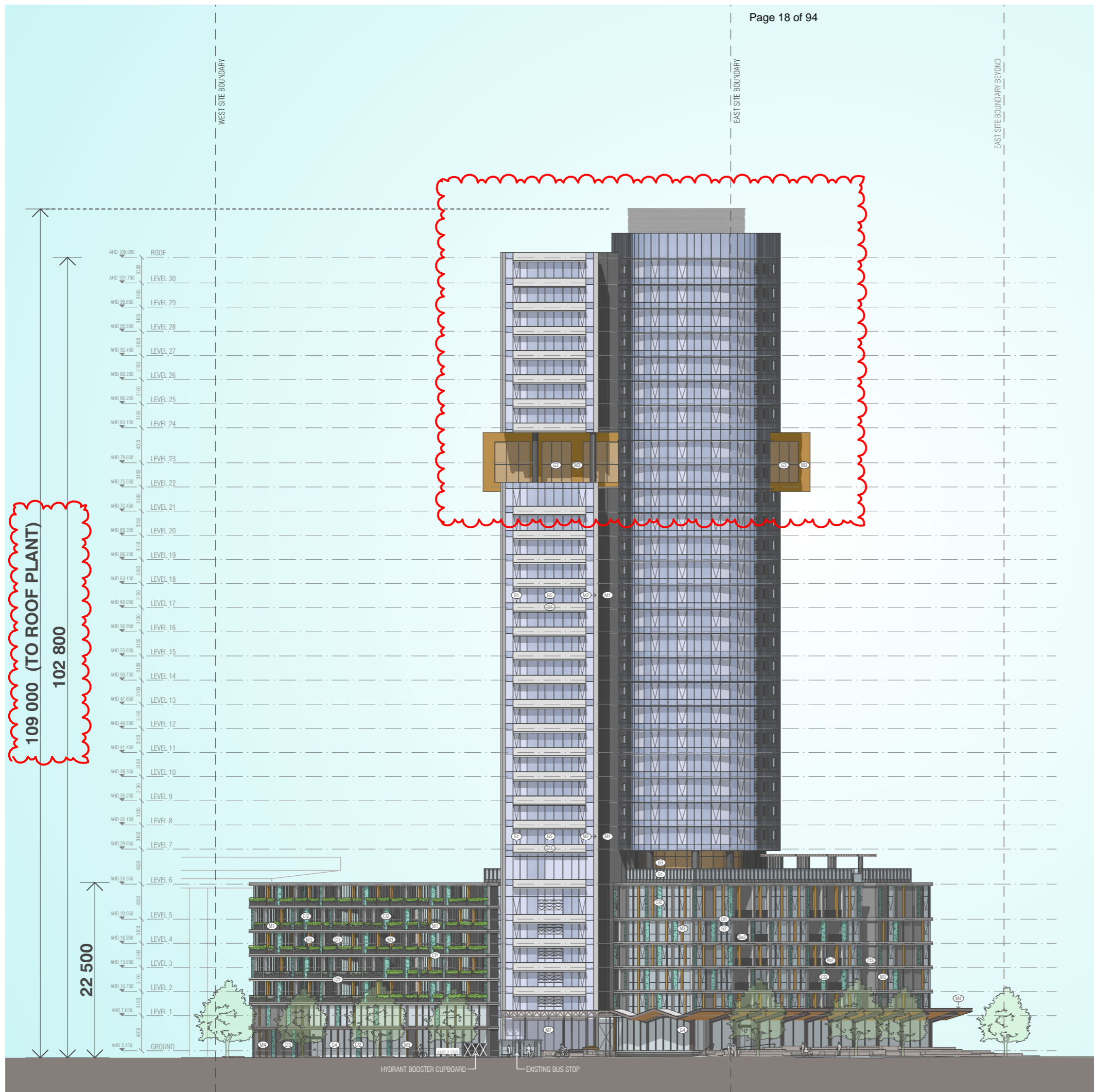
DRAWING TITLE
 ROOF PLAN

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 VICTORIA 3006 AUSTRALIA
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 FENDER KATSALEDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE
 TOWN PLANNING



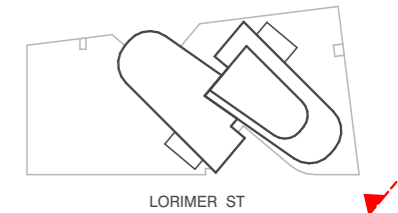
REV. B
DRAWING NO. TP131



EXTERNAL FINISHES LEGEND

- (Cf1) CONCRETE FINISH - BRIGHTON LITE
- (Cf2) COLOURED TEXTURED CONCRETE
- (Cf3) COLOURED TEXTURED CONCRETE
- (G1) TINTED GLAZING WITH ALUMINIUM FRAMES - LIGHT BLUE
- (G2) TINTED GLAZING WITH ALUMINIUM FRAMES - LIGHT GREY
- (G3) TINTED GLAZING WITH ALUMINIUM FRAMES - BRONZE
- (G4) CLEAR GLAZING WITH ALUMINIUM FRAMES
- (G5) SPANDREL GLAZING
- (Ba1) GLAZED BALUSTRADE
- (Ba2) METAL BALUSTRADE
- (M1) METAL CLADDING / ALUMINIUM FRAMES - CHARCOAL
- (M2) METAL CLADDING - SILVER GREY
- (M3) METAL CLADDING - BRONZE
- (M4) STEEL CANOPY
- (M5) WALL / SCREEN WITH EXTRUDED METAL CYLINDER TUBES
- (M6) METAL CLAD SERVICES DOORS
- (M7) STEEL TRUSS CANOPY WITH GLASS COVERING
- (Sh1) HORIZONTAL SUNSHADES - SILVER GREY
- (Lv1) LOUVRED PLANT SCREEN
- (T1) TIMBER SOFFIT

REVISION			
-	ISSUE FOR TOWN PLANNING SUBMISSION	JH	15.12.2021
A	PLANNING RFI RESPONSES	JH	26.05.2022
> B	PLANNING RFI RESPONSES	JH	11.08.2022



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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.
EZH	11.08.2022	JH	11.08.2022	21052

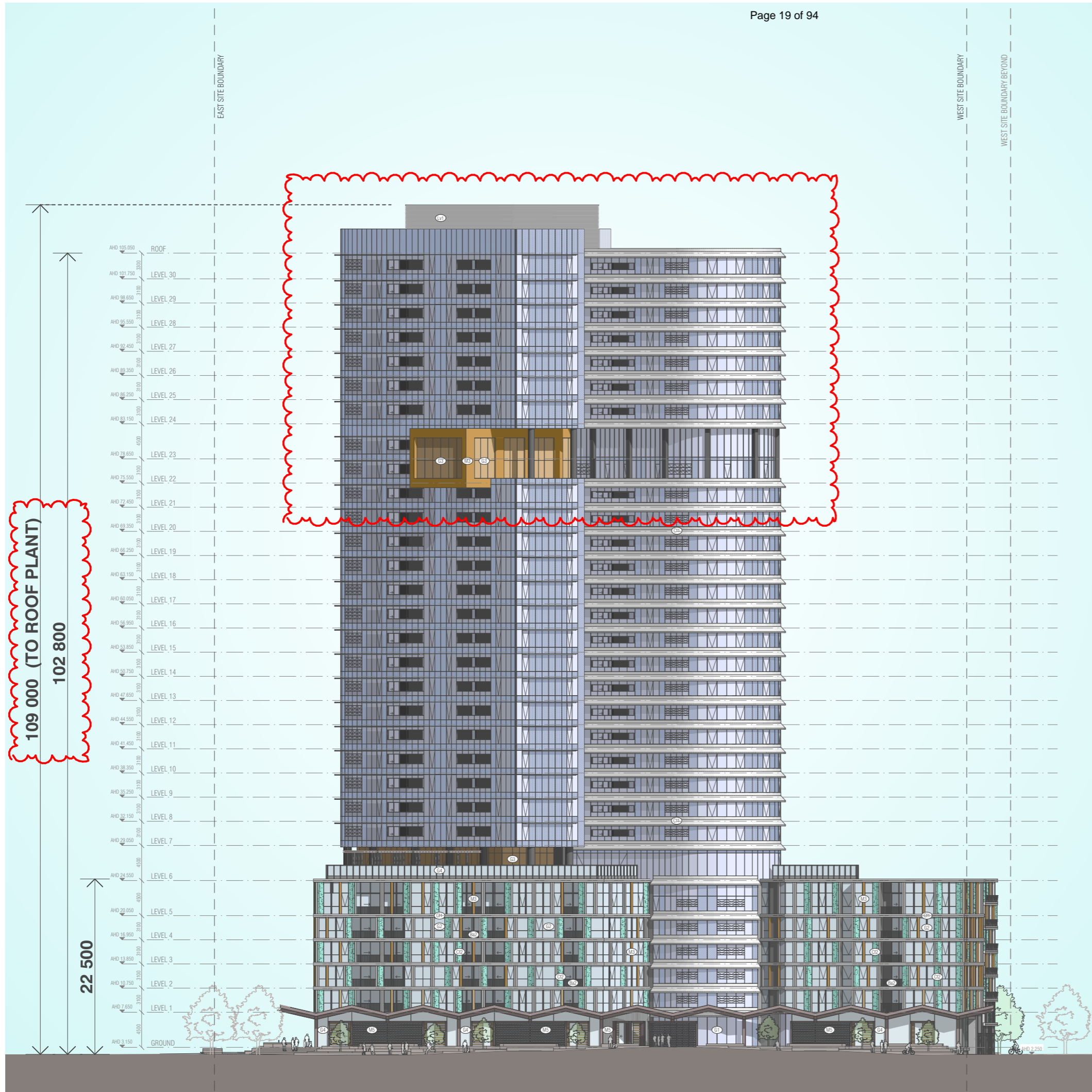
PROJECT
 BOLTE PRECINCT WEST
 194 LORIMER STREET
 DOCKLANDS VIC 3008

DRAWING TITLE
 SOUTH EAST ELEVATION

ISSUE PURPOSE	SCALE
TOWN PLANNING	1:500@A3

REV.	DRAWING NO.
B	TP201

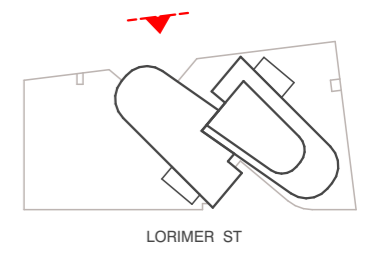
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EXTERNAL FINISHES LEGEND

- (Cf1) CONCRETE FINISH - BRIGHTON LITE
- (Cf2) COLOURED TEXTURED CONCRETE
- (Cf3) COLOURED TEXTURED CONCRETE
- (G1) TINTED GLAZING WITH ALUMINIUM FRAMES - LIGHT BLUE
- (G2) TINTED GLAZING WITH ALUMINIUM FRAMES - LIGHT GREY
- (G3) TINTED GLAZING WITH ALUMINIUM FRAMES - BRONZE
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- (G5) SPANDREL GLAZING
- (Ba1) GLAZED BALUSTRADE
- (Ba2) METAL BALUSTRADE
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- (M2) METAL CLADDING - SILVER GREY
- (M3) METAL CLADDING - BRONZE
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- (M6) METAL CLAD SERVICES DOORS
- (M7) STEEL TRUSS CANOPY WITH GLASS COVERING
- (Sh1) HORIZONTAL SUNSHADES - SILVER GREY
- (Lv1) LOUVRED PLANT SCREEN
- (T1) TIMBER SOFFIT

REVISION			
-	ISSUE FOR TOWN PLANNING SUBMISSION	JH	15.12.2021
A	PLANNING RFI RESPONSES	JH	26.05.2022
> B	PLANNING RFI RESPONSES	JH	11.08.2022



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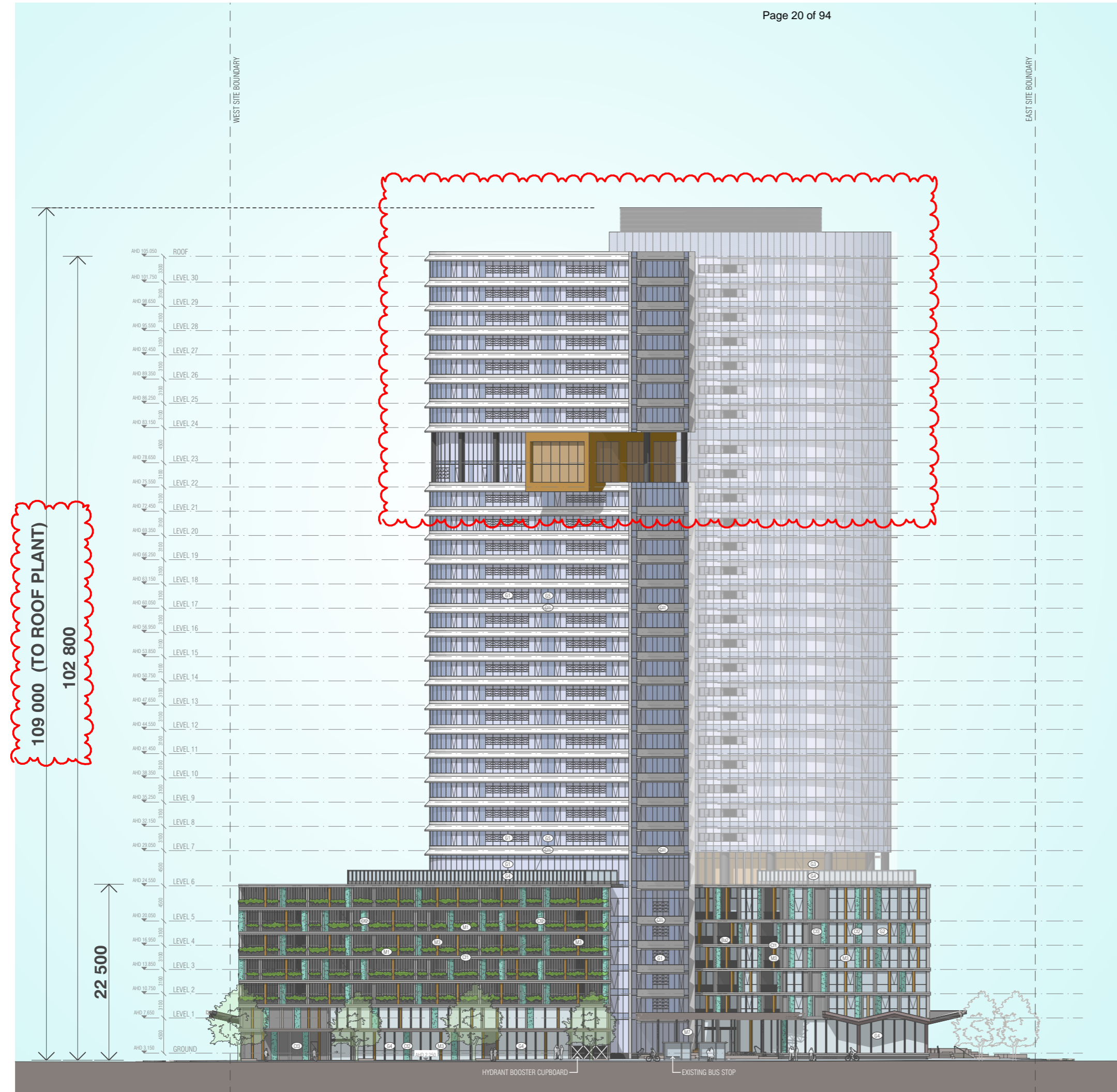
DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.
EH	11.08.2022	JH	11.08.2022	21052

PROJECT
 BOLTE PRECINCT WEST
 194 LORIMER STREET
 DOCKLANDS VIC 3008

DRAWING TITLE
 NORTH ELEVATION

ISSUE PURPOSE	SCALE
TOWN PLANNING	1:500@A3

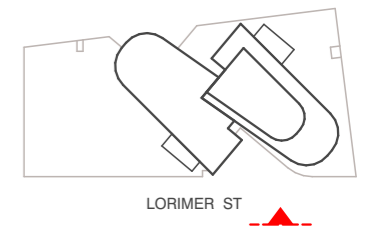
REV. B
 DRAWING NO. **TP202**



EXTERNAL FINISHES LEGEND

- (Cf1) CONCRETE FINISH - BRIGHTON LITE
- (Cf2) COLOURED TEXTURED CONCRETE
- (Cf3) COLOURED TEXTURED CONCRETE
- (G1) TINTED GLAZING WITH ALUMINIUM FRAMES - LIGHT BLUE
- (G2) TINTED GLAZING WITH ALUMINIUM FRAMES - LIGHT GREY
- (G3) TINTED GLAZING WITH ALUMINIUM FRAMES - BRONZE
- (G4) CLEAR GLAZING WITH ALUMINIUM FRAMES
- (G5) SPANDREL GLAZING
- (Ba1) GLAZED BALUSTRADE
- (Ba2) METAL BALUSTRADE
- (M1) METAL CLADDING / ALUMINIUM FRAMES - CHARCOAL
- (M2) METAL CLADDING - SILVER GREY
- (M3) METAL CLADDING - BRONZE
- (M4) STEEL CANOPY
- (M5) WALL / SCREEN WITH EXTRUDED METAL CYLINDER TUBES
- (M6) METAL CLAD SERVICES DOORS
- (M7) STEEL TRUSS CANOPY WITH GLASS COVERING
- (Sh1) HORIZONTAL SUNSHADES - SILVER GREY
- (Lv1) LOUVRED PLANT SCREEN
- (T1) TIMBER SOFFIT

REVISION			
-	ISSUE FOR TOWN PLANNING SUBMISSION	JH	15.12.2021
A	PLANNING RFI RESPONSES	JH	26.05.2022
> B	PLANNING RFI RESPONSES	JH	11.08.2022



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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.
EH	11.08.2022	JH	11.08.2022	21052

PROJECT
 BOLTE PRECINCT WEST
 194 LORIMER STREET
 DOCKLANDS VIC 3008

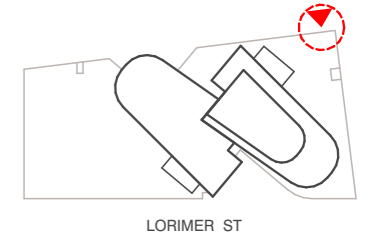
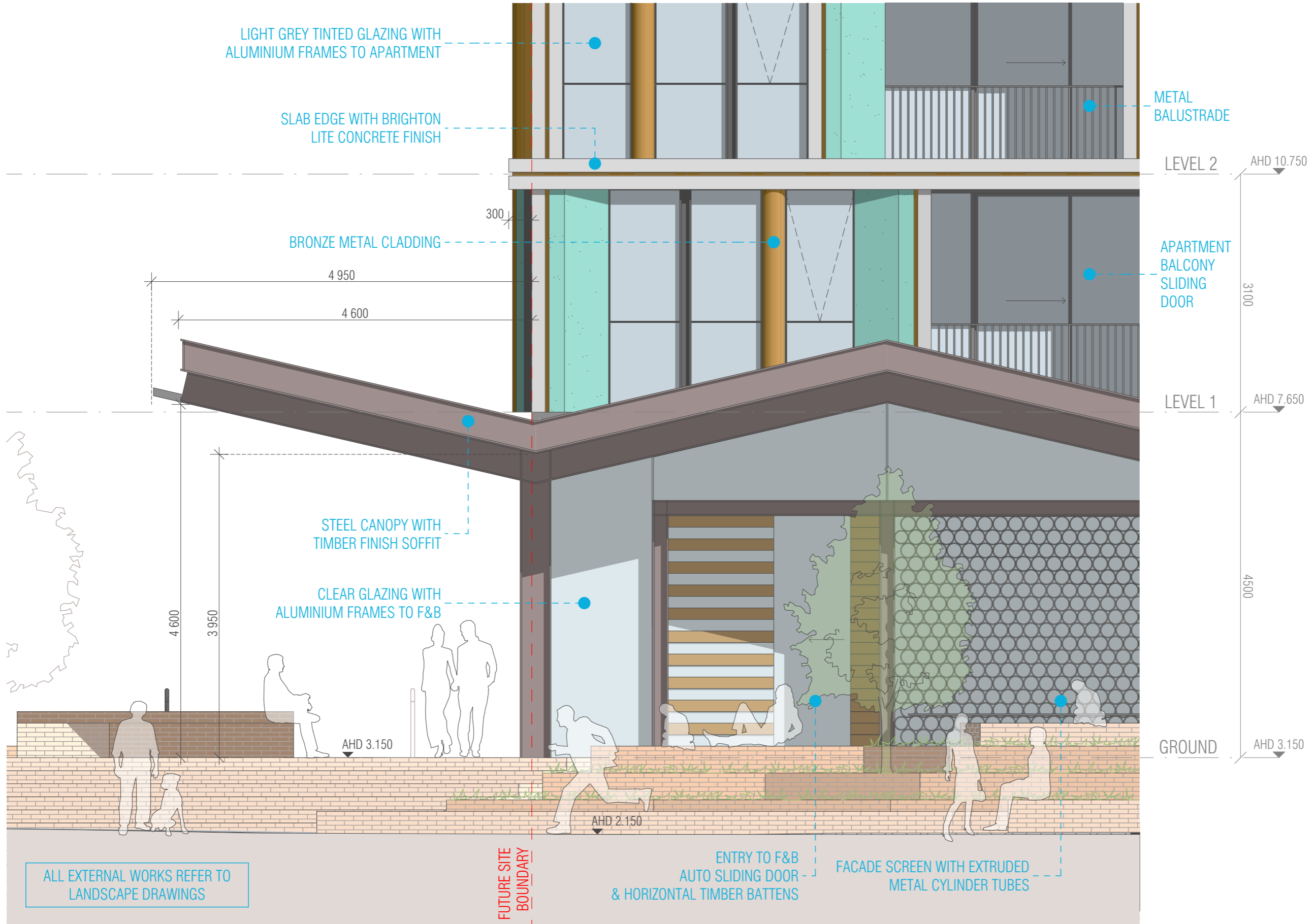
DRAWING TITLE
 SOUTH ELEVATION

ISSUE PURPOSE	SCALE
TOWN PLANNING	1:500@A3

REV. B
 DRAWING NO. **TP203**

B:\BOLTE\BMS\RFI\23 - BMS\Draw Base for ARCH\23\21052 - Lorimer Street\1102 - Lorimer St General

REVISION		JH	15.12.2021
-	ISSUE FOR TOWN PLANNING SUBMISSION	JH	15.12.2021
A	PLANNING RFI RESPONSES	JH	26.05.2022
> B	PLANNING RFI RESPONSES	JH	11.08.2022



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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.
EH	11.08.2022	JH	11.08.2022	21052

PROJECT
 BOLTE PRECINCT WEST
 194 LORIMER STREET
 DOCKLANDS VIC 3008

DRAWING TITLE
 NORTH GROUND ELEVATION 01

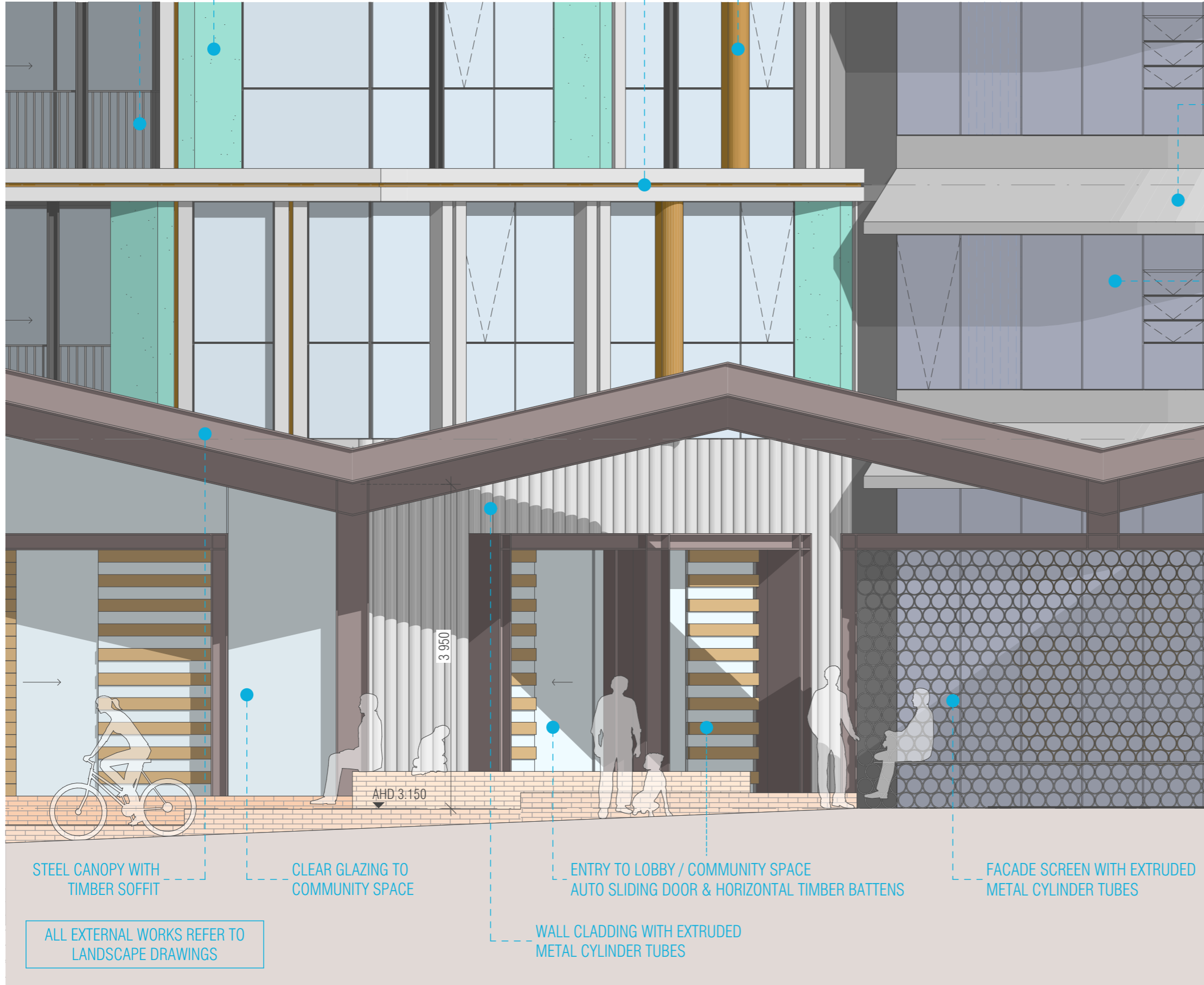
ISSUE PURPOSE	SCALE
TOWN PLANNING	1:50@A3

REV.	DRAWING NO.
B	TP220

METAL BALUSTRADE
COLOURED TEXTURED CONCRETE

SLAB EDGE WITH BRIGHTON LITE CONCRETE FINISH

BRONZE METAL CLADDING



TOWER HORIZONTAL BANDS. BRIGHTON LITE CONCRETE FINISH

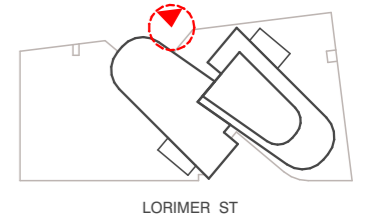
LEVEL 2 AHD 10.750

TINTED GLAZING TO APARTMENTS

LEVEL 1 AHD 7.650

GROUND AHD 3.150

REVISION			
-	ISSUE FOR TOWN PLANNING SUBMISSION	JH	15.12.2021
A	PLANNING RFI RESPONSES	JH	26.05.2022
B	PLANNING RFI RESPONSES	JH	11.08.2022



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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.
EH	11.08.2022	JH	11.08.2022	21052

PROJECT
BOLTE PRECINCT WEST
194 LORIMER STREET
DOCKLANDS VIC 3008

DRAWING TITLE
NORTH GROUND ELEVATION 02

ISSUE PURPOSE	SCALE
TOWN PLANNING	1:50@A3

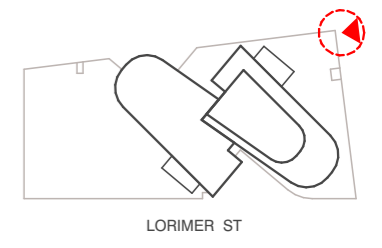
REV.	DRAWING NO.
B	TP221

Bibliotek - BIMBout Base for ARCHCAD 2.0/2022, Lanner Street/102, Lanner St General

REVISION			
-	ISSUE FOR TOWN PLANNING SUBMISSION	JH	15.12.2021
A	PLANNING RFI RESPONSES	JH	26.05.2022
> B	PLANNING RFI RESPONSES	JH	11.08.2022



ALL EXTERNAL WORKS REFER TO LANDSCAPE DRAWINGS



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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.
EH	11.08.2022	JH	11.08.2022	21052

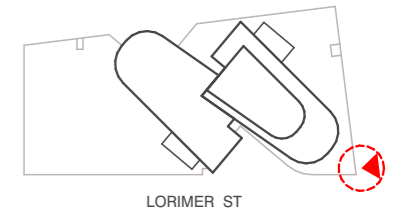
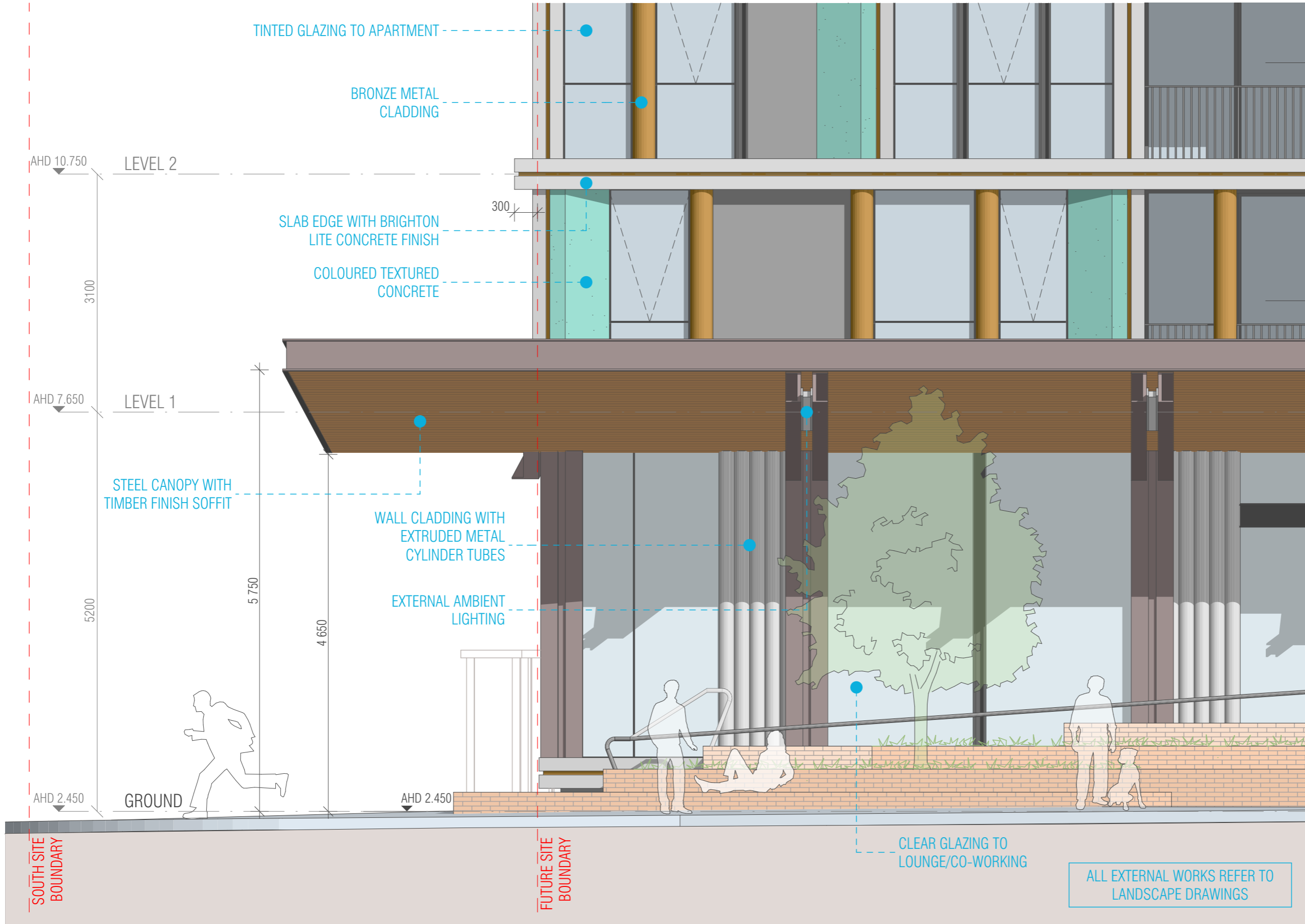
PROJECT
 BOLTE PRECINCT WEST
 194 LORIMER STREET
 DOCKLANDS VIC 3008

DRAWING TITLE
 EAST GROUND ELEVATION 01

ISSUE PURPOSE	SCALE
TOWN PLANNING	1:50@A3

REV.	DRAWING NO.
B	TP225

REVISION			
-	ISSUE FOR TOWN PLANNING SUBMISSION	JH	15.12.2021
A	PLANNING RFI RESPONSES	JH	26.05.2022
> B	PLANNING RFI RESPONSES	JH	11.08.2022



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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.
EH	11.08.2022	JH	11.08.2022	21052

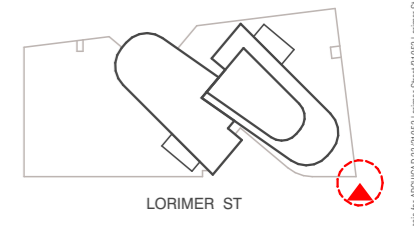
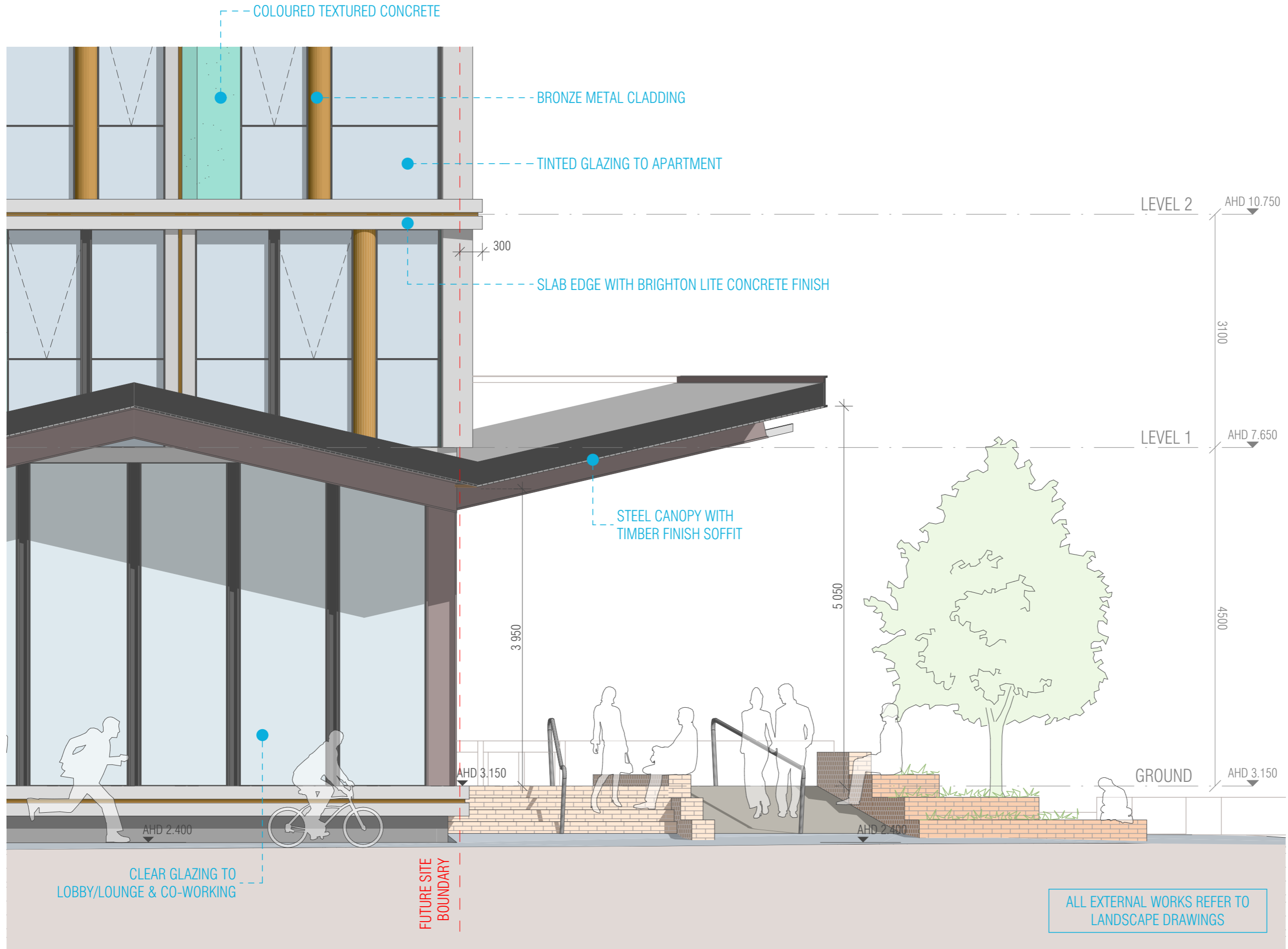
PROJECT
 BOLTE PRECINCT WEST
 194 LORIMER STREET
 DOCKLANDS VIC 3008

DRAWING TITLE
 EAST GROUND ELEVATION 02

ISSUE PURPOSE	SCALE
TOWN PLANNING	1:50@A3

REV.	DRAWING NO.
B	TP226

REVISION			
-	ISSUE FOR TOWN PLANNING SUBMISSION	JH	15.12.2021
A	PLANNING RFI RESPONSES	JH	26.05.2022
> B	PLANNING RFI RESPONSES	JH	11.08.2022



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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.
EH	11.08.2022	JH	11.08.2022	21052

PROJECT
 BOLTE PRECINCT WEST
 194 LORIMER STREET
 DOCKLANDS VIC 3008

DRAWING TITLE
 SOUTH GROUND ELEVATION 01

ISSUE PURPOSE	SCALE
TOWN PLANNING	1:50@A3

REV.	DRAWING NO.
B	TP230

TOWER HORIZONTAL BANDS.
BRIGHTON LITE CONCRETE FINISH

METAL
CLADDING

SLAB EDGE WITH BRIGHTON
LITE CONCRETE FINISH

METAL
BALUSTRADE

BRONZE METAL
CLADDING

TINTED GLAZING TO
APARTMENT

LEVEL 2
AHD 10.750

COLOURED
TEXTURED
CONCRETE

LEVEL 1
AHD 7.650

STEEL
TRUSS
CANOPY
WITH
GLASS
COVERING

GROUND
AHD 3.150

3100

4500

5 050

AHD 2.430

AHD 2.400

3 000
APPROX.

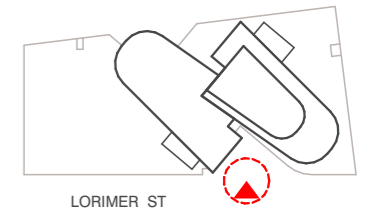
450
APPROX.

ALL EXTERNAL WORKS REFER TO
LANDSCAPE DRAWINGS

AUTO SLIDING DOOR TO
LOBBY/LOUNGE

INDICATIVE BUILDING
ADDRESS SIGNAGE

REVISION		JH	15.12.2021
-	ISSUE FOR TOWN PLANNING SUBMISSION	JH	15.12.2021
A	PLANNING RFI RESPONSES	JH	26.05.2022
B	PLANNING RFI RESPONSES	JH	11.08.2022



LORIMER ST

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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.
EH	11.08.2022	JH	11.08.2022	21052

PROJECT
BOLTE PRECINCT WEST
194 LORIMER STREET
DOCKLANDS VIC 3008

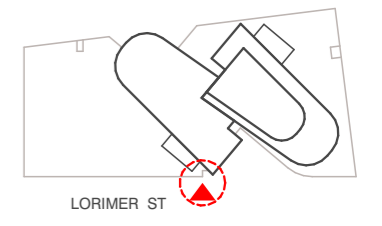
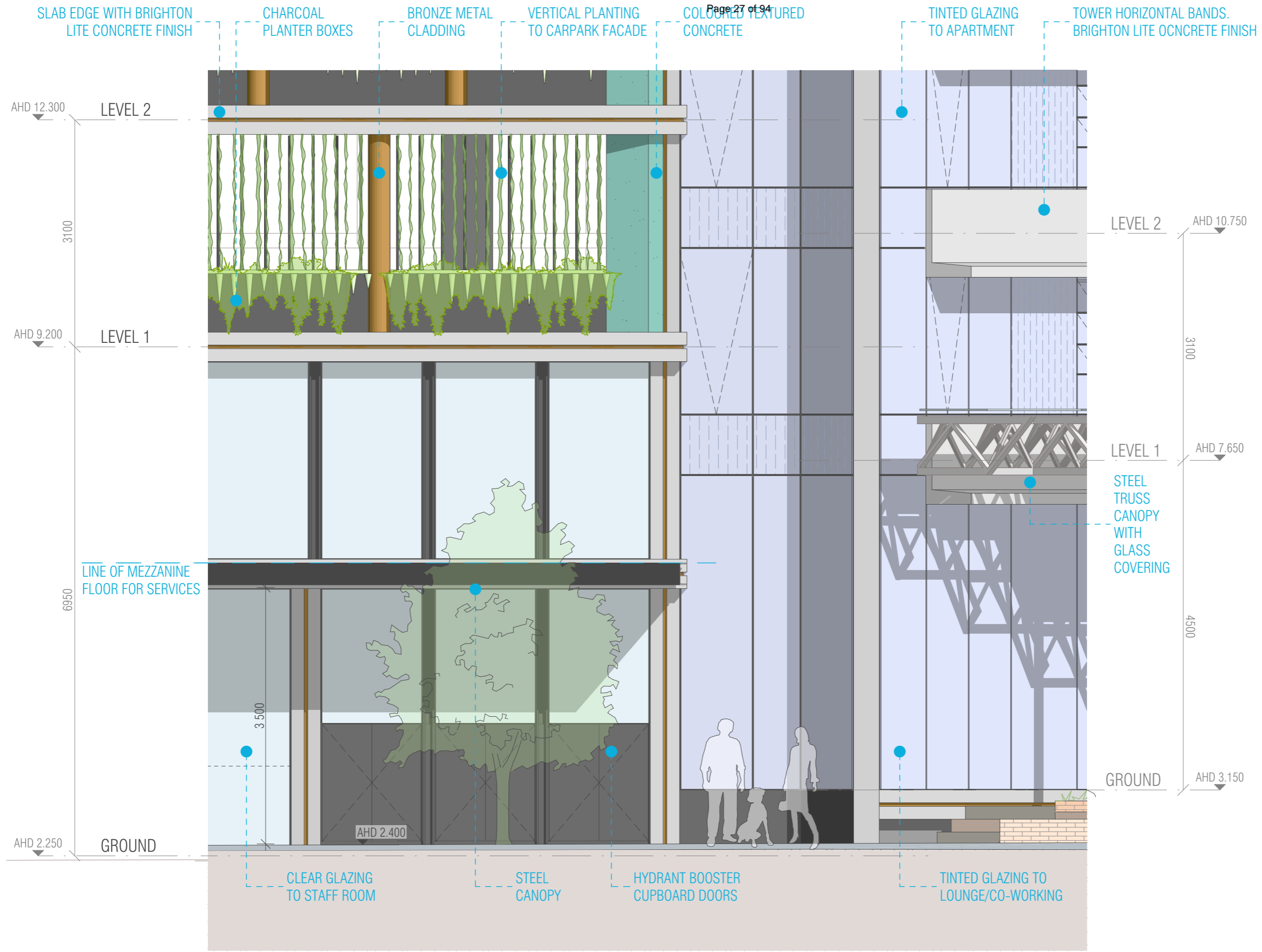
DRAWING TITLE
SOUTH GROUND ELEVATION 02

ISSUE PURPOSE	SCALE
TOWN PLANNING	1:50@A3

REV.	DRAWING NO.
B	TP231

Bibliotek - BMSR0623 - BIM Model Base for ARCHCAD 2.0/1052 - Lorimer Street/102 - Lorimer St General

REVISION			
-	ISSUE FOR TOWN PLANNING SUBMISSION	JH	15.12.2021
A	PLANNING RFI RESPONSES	JH	26.05.2022
B	PLANNING RFI RESPONSES	JH	11.08.2022



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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.
EH	11.08.2022	JH	11.08.2022	21052

PROJECT
 BOLTE PRECINCT WEST
 194 LORIMER STREET
 DOCKLANDS VIC 3008

DRAWING TITLE
 SOUTH GROUND ELEVATION 03

ISSUE PURPOSE	SCALE
TOWN PLANNING	1:50@A3

REV. B DRAWING NO. **TP232**

COLOURED TEXTURED CONCRETE

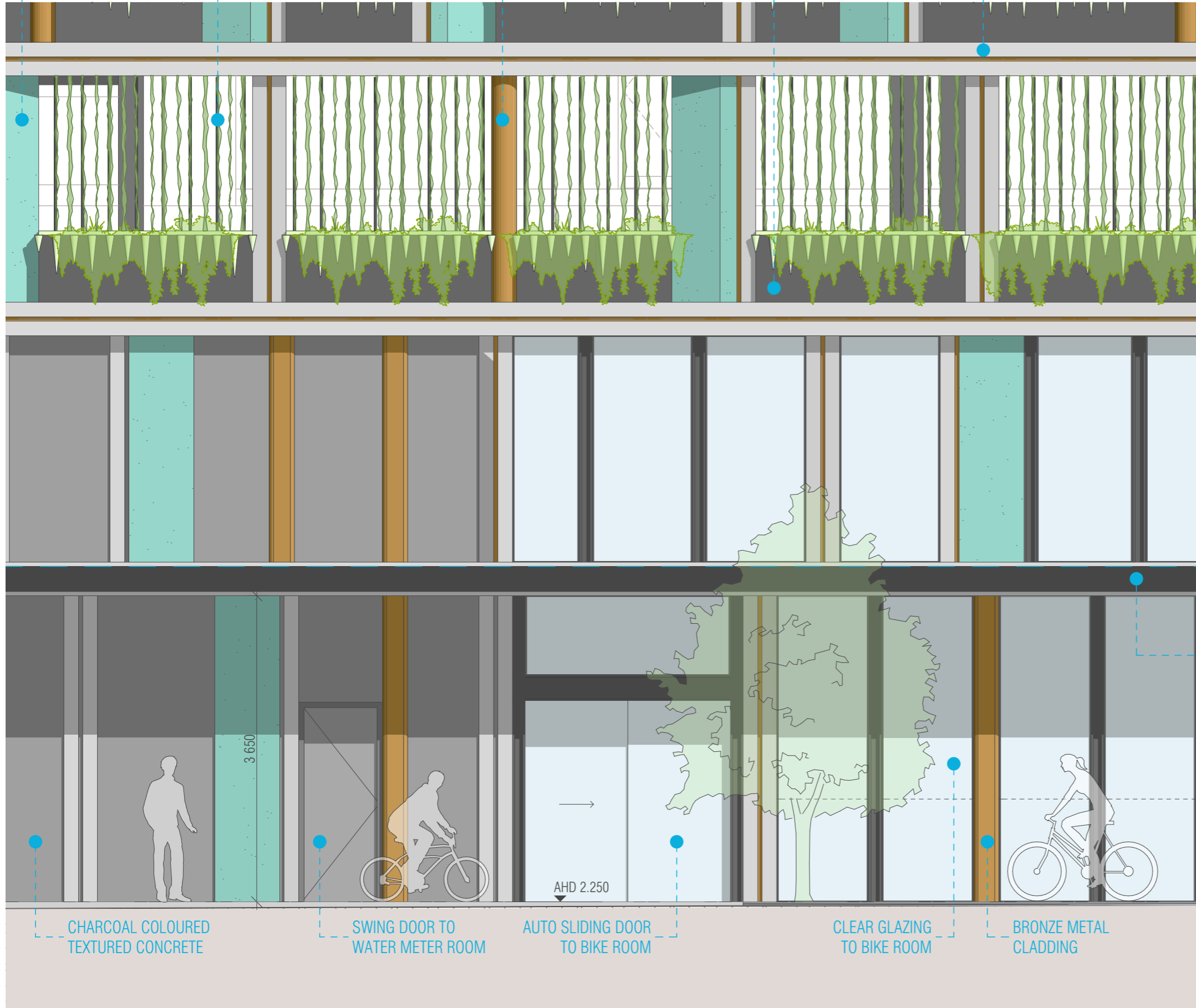
VERTICAL PLANTING TO CARPARK FACADE

BRONZE METAL CLADDING

CHARCOAL COLOURED PLANTER BOXES

SLAB EDGE WITH BRIGHTON LITE CONCRETE FINISH

REVISION			
-	ISSUE FOR TOWN PLANNING SUBMISSION	JH	15.12.2021
A	PLANNING RFI RESPONSES	JH	26.05.2022
B	PLANNING RFI RESPONSES	JH	11.08.2022



LEVEL 2 AHD 12.300

3100

LEVEL 1 AHD 9.200

LINE OF MEZZANINE FLOOR FOR SERVICES

6950

STEEL CANOPY

GROUND AHD 2.250

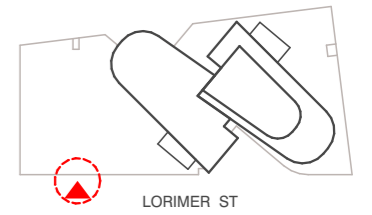
CHARCOAL COLOURED TEXTURED CONCRETE

SWING DOOR TO WATER METER ROOM

AUTO SLIDING DOOR TO BIKE ROOM

CLEAR GLAZING TO BIKE ROOM

BRONZE METAL CLADDING



LORIMER ST

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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.
EH	11.08.2022	JH	11.08.2022	21052

PROJECT
 BOLTE PRECINCT WEST
 194 LORIMER STREET
 DOCKLANDS VIC 3008

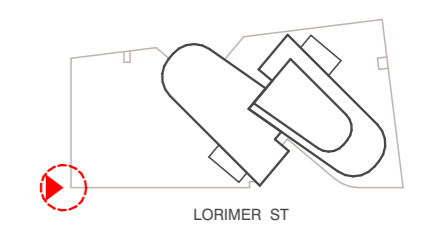
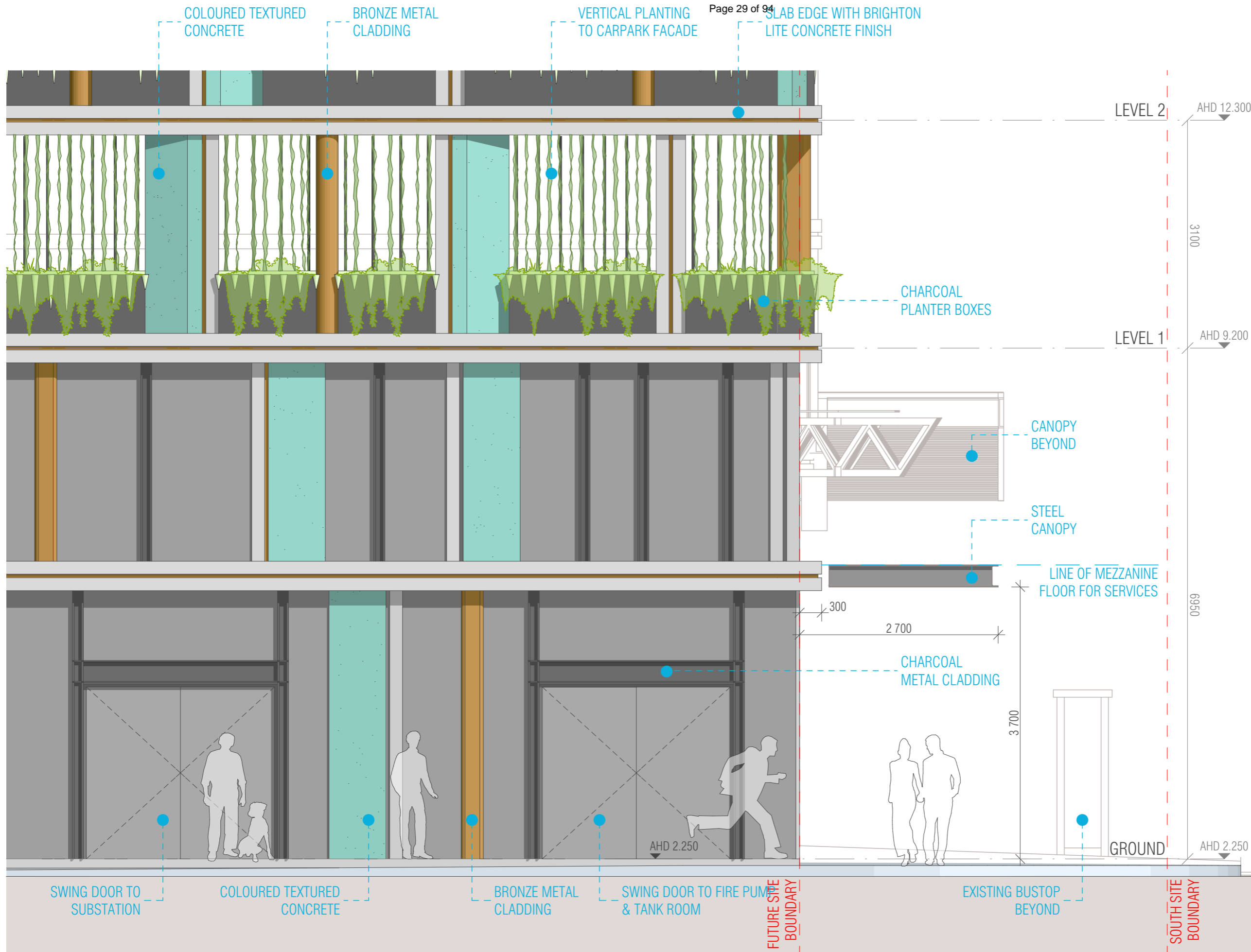
DRAWING TITLE
 SOUTH GROUND ELEVATION 04

ISSUE PURPOSE	SCALE
TOWN PLANNING	1:50@A3

REV.	DRAWING NO.
B	TP233

Bibbolar_BMSRF023 - BIM Model Base by ARCHCAD 22/07/2022, Lorimer Street 01/02, Lorimer St General

REVISION		
-	ISSUE FOR TOWN PLANNING SUBMISSION	JH 15.12.2021
A	PLANNING RFI RESPONSES	JH 26.05.2022
> B	PLANNING RFI RESPONSES	JH 11.08.2022



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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.
EH	11.08.2022	JH	11.08.2022	21052

PROJECT
 BOLTE PRECINCT WEST
 194 LORIMER STREET
 DOCKLANDS VIC 3008

DRAWING TITLE
 WEST GROUND ELEVATION 01

ISSUE PURPOSE	SCALE
TOWN PLANNING	1:50@A3

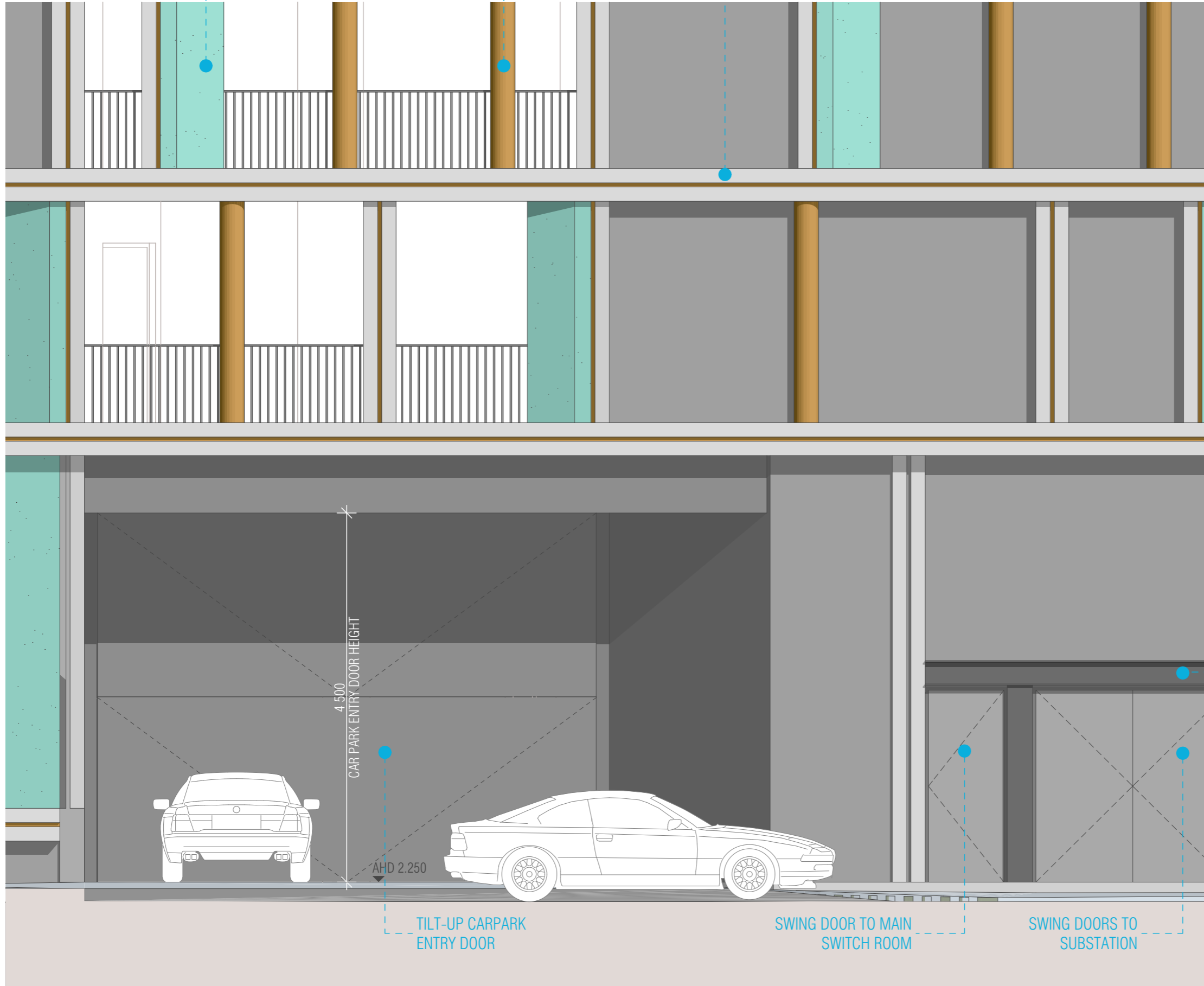
REV.	DRAWING NO.
B	TP235

Bibliotek - BIMBout Base by ARCHCAD 22/01/2022 Lorimer Street 0102 Lorimer St General

COLOURED TEXTURED CONCRETE

BRONZE METAL CLADDING

SLAB EDGE WITH BRIGHTON LITE CONCRETE FINISH



LEVEL 2 AHD 10.750

LEVEL 1 AHD 7.650

GROUND AHD 2.250

3100

5400

CAR PARK ENTRY DOOR HEIGHT
4500

AHD 2.250

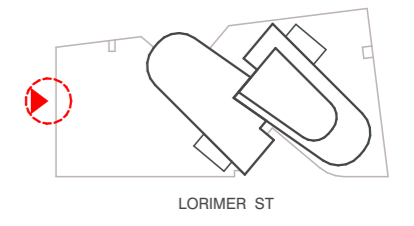
TILT-UP CARPARK ENTRY DOOR

SWING DOOR TO MAIN SWITCH ROOM

SWING DOORS TO SUBSTATION

CHARCOAL METAL CLADDING

REVISION			
-	ISSUE FOR TOWN PLANNING SUBMISSION	JH	15.12.2021
A	PLANNING RFI RESPONSES	JH	26.05.2022
> B	PLANNING RFI RESPONSES	JH	11.08.2022



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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.
EH	11.08.2022	JH	11.08.2022	21052

PROJECT
 BOLTE PRECINCT WEST
 194 LORIMER STREET
 DOCKLANDS VIC 3008

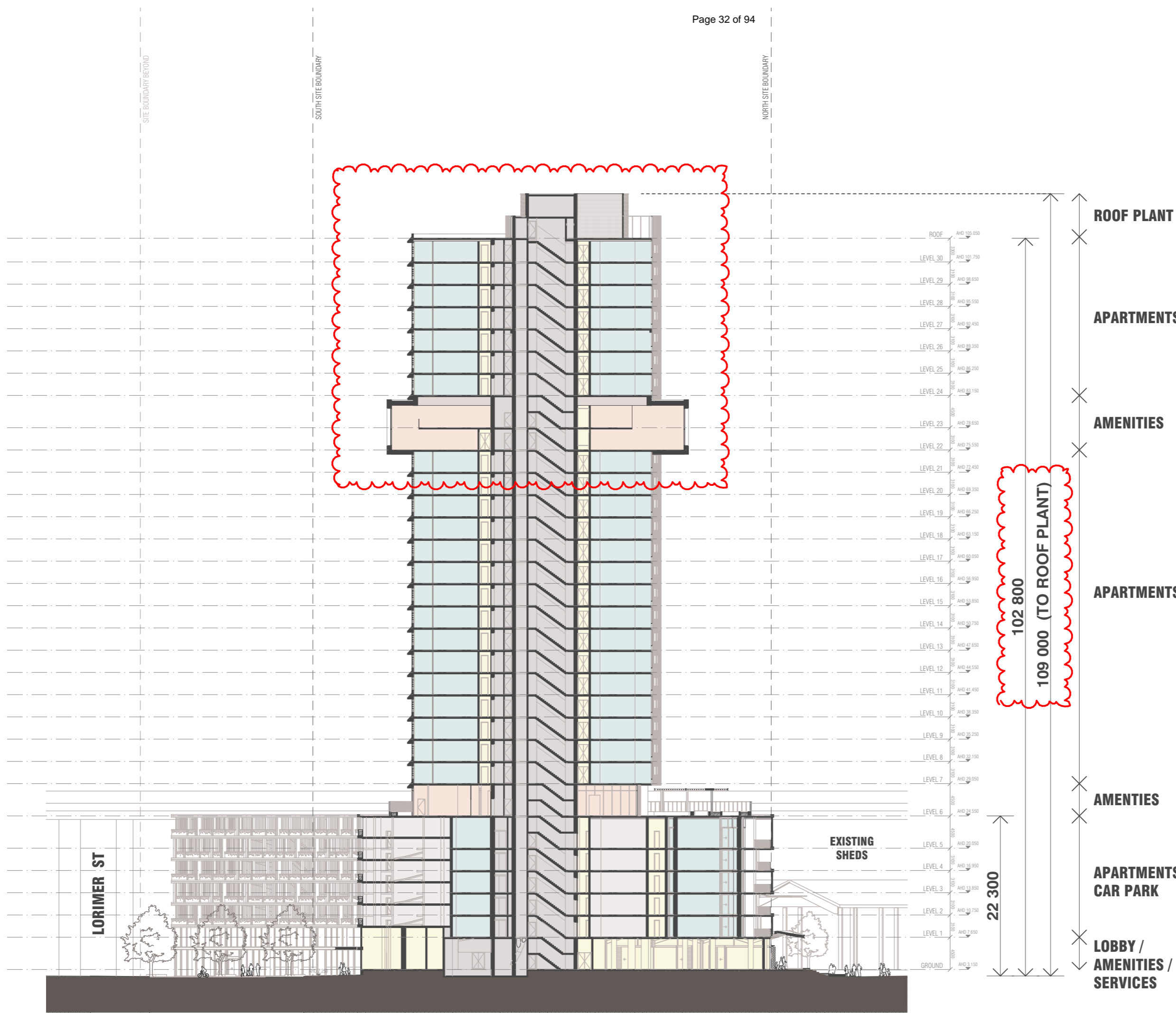
DRAWING TITLE
 WEST GROUND ELEVATION 02

ISSUE PURPOSE	SCALE
TOWN PLANNING	1:50@A3

REV.	DRAWING NO.
B	TP236

Bibliotek - BMSR0023 - BIMcloud Base for ARCHICAD 23/21052 - Lorimer Street/102 - Lorimer St General

REVISION		
-	ISSUE FOR TOWN PLANNING SUBMISSION	JH 15.12.2021
A	PLANNING RFI RESPONSES	JH 26.05.2022
> B	PLANNING RFI RESPONSES	JH 11.08.2022



ROOF	AHD 105.050
LEVEL 30	AHD 101.750
LEVEL 29	AHD 98.650
LEVEL 28	AHD 95.550
LEVEL 27	AHD 92.450
LEVEL 26	AHD 89.350
LEVEL 25	AHD 86.250
LEVEL 24	AHD 83.150
LEVEL 23	AHD 78.650
LEVEL 22	AHD 75.550
LEVEL 21	AHD 72.450
LEVEL 20	AHD 69.350
LEVEL 19	AHD 66.250
LEVEL 18	AHD 63.150
LEVEL 17	AHD 60.050
LEVEL 16	AHD 56.950
LEVEL 15	AHD 53.850
LEVEL 14	AHD 50.750
LEVEL 13	AHD 47.650
LEVEL 12	AHD 44.550
LEVEL 11	AHD 41.450
LEVEL 10	AHD 38.350
LEVEL 9	AHD 35.250
LEVEL 8	AHD 32.150
LEVEL 7	AHD 29.050
LEVEL 6	AHD 24.550
LEVEL 5	AHD 20.050
LEVEL 4	AHD 16.950
LEVEL 3	AHD 13.850
LEVEL 2	AHD 10.750
LEVEL 1	AHD 7.650
GROUND	AHD 3.150

ROOF PLANT

APARTMENTS

AMENITIES

APARTMENTS

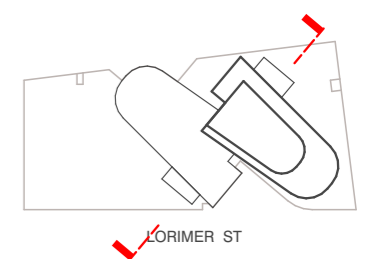
AMENITIES

APARTMENTS / CAR PARK

LOBBY / AMENITIES / SERVICES

102 800
109 000 (TO ROOF PLANT)

22 300



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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.
EH	11.08.2022	JH	11.08.2022	21052

PROJECT
BOLTE PRECINCT WEST
194 LORIMER STREET
DOCKLANDS VIC 3008

DRAWING TITLE
SECTION AA

ISSUE PURPOSE	SCALE
TOWN PLANNING	1:500@A3

REV.	DRAWING NO.
B	TP250

B:\bolton - BMAS\RFI23 - BMAS\Bolt West\RFI\23\1052 Lorimer Street\1052 Lorimer St General