



HODDLE GRID HERITAGE REVIEW

Volume 1: Built & Urban
Heritage – Methodology

July 2020

Prepared for
City of Melbourne

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Spatial Vision

Report Register

This report register documents the development and issue of the report entitled *Hoddle Grid Heritage Review – Volume 1: Built & Urban Heritage – Methodology* undertaken by Context in accordance with our internal quality management system. (Issue 5 was also undertaken in consultation with GJM Heritage.)

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LIST OF TECHNICAL VOLUMES

The Hoddle Grid Heritage Review is reported in a **Summary Report** and a series of technical volumes as follows:

Volume 1: Built & Urban Heritage – Methodology

Volume 1 explains the methodology used to select and assess the heritage values of precincts and individual places identified by the City of Melbourne and others as requiring assessment. This Volume also presents the steps undertaken to ensure that all likely heritage places have been identified and either assessed within the present project or recommended for future assessment.

Volume 2: Built and Urban Heritage – Assessed Places & Precincts

Volume 2 contains heritage assessments and recommendations for individual places and precincts. The material is in the form of citations suited to the recognition of a place on the Schedule to the Heritage Overlay in the Melbourne Planning Scheme. Volume 2 is divided into two volumes:

- Volume 2a – Precincts, pre-1945 places, revisions to existing individual Heritage Overlay
- Volume 2b – Postwar Thematic Environmental History and postwar places

Volume 3: Aboriginal Heritage

Volume 3 explains the approach to Aboriginal heritage for the Hoddle Grid Heritage Review. It explores the concept of shared heritage, the scope of contemporary Aboriginal heritage and the policy context. It describes the important role played by the three Traditional Owner organisations. Volume 3 explains the thematic analysis that was applied in framing the history (Volume 4) and describes how places were identified, mapped and an expanded Aboriginal Places List created. It also briefly outlines the pre-contact Aboriginal archaeological component. Through a co-research model, the three Traditional Owner organisations selected and researched specific places, and these are presented in this volume along with recommendations for recognition and interpretation of Aboriginal history and values. One place is recommended for inclusion in Heritage Overlay and the citation is therefore presented in Volume 2.

Volume 4: Aboriginal History - Hoddle Grid

Volume 4 presents a history of the Hoddle Grid study area in relation to Aboriginal history, connections and places. It builds on an earlier project (Context, 2010), adopts an Aboriginal and shared history thematic framework, develops each theme briefly and identifies place examples. The three Traditional Owner organisations recognised by the City of Melbourne (CoM) have been involved in reviewing the themes and identifying associated places.

Volume 5: Pre-Contact Aboriginal Archaeology of Hoddle Grid

Volume 5 presents an analysis of the pre-contact Aboriginal archaeology across the Hoddle Grid study area, considering prior land and water forms, vegetation and other factors that influenced Aboriginal land uses and activities over the estimated 40,000 years of Aboriginal occupation of south-eastern Australia. This information is then related to the evidence that has been uncovered through recent archaeological excavations. The result is a spatial model designed to predict the likelihood of uncovering evidence of pre-contact Aboriginal sites within the Hoddle Grid area. The model also considers past ground disturbance. It is designed so that it can be regularly updated. The model has been discussed with Traditional Owners and key government bodies, and recommendations are made on how to increase the assessment and management of Aboriginal cultural heritage ahead of redevelopment in the Hoddle Grid study area.

Volume 6: Communications & Engagement

Volume 6 documents the development and implementation of a Communications and Engagement Plan for the Hoddle Grid Heritage Review. Specific elements of engagement are detailed including the involvement of both internal and external stakeholders, engagement with Traditional Owner Organisations, the Participate Melbourne and Melbourne Conversations activities and the opportunities to develop interactive digital and other forms of public information.

ABBREVIATIONS

AHC	Australian Heritage Council
AV	Aboriginal Victoria
BP	Before Present
CASM	Corporate Affairs and Strategic Marketing
CBD	Central Business District
CHMP	Cultural Heritage Management Plan
CoM	City of Melbourne
ERG	External Reference Group
HCV	Heritage Council of Victoria
HGHR	Hoddle Grid Heritage Review
HERMES	Victoria's Heritage Database supported by Heritage Victoria
HO	Heritage Overlay
HV	Heritage Victoria
KHT	Koorie Heritage Trust
MMRA	Melbourne Metro Rail Authority
MMBW	Melbourne and Metropolitan Board of Works
PPN1	Planning Practice Note 1 – Applying the Heritage Overlay (August 2018)
VAHR	Victorian Aboriginal Heritage Register
VHI	Victorian Heritage Inventory
VHR	Victorian Heritage Register

1.0 INTRODUCTION

1.1 Background

This Volume is one of six technical volumes that report on the Hoddle Grid Heritage Review. This volume addresses urban and built heritage.

The Hoddle Grid Heritage Review commenced in April 2017 and has been carried out over a number of financial years, concluding in June 2020.

In shaping this project, the City of Melbourne (CoM) sought to set a new benchmark for cultural heritage that engaged with thematic and spatial analysis in new ways, to reveal a richer and more nuanced understanding of the cultural heritage that exists throughout the urban landscape of the central city.

An important aspect of the project was to engage with specific stakeholders around urban and built heritage, bringing their knowledge and perspectives into the project, and to gain a better appreciation of community-held heritage values. This was reflected in the project's objectives and in the methodology developed in response to the brief. The relevant objectives were to:

- Review all urban and built places previously identified in heritage studies that had not been afforded protection under the Planning Scheme;
- Engage with a variety of stakeholders to expand the place list beyond those places already identified;
- Refine the list of places to be assessed in the Hoddle Grid Heritage Review, and provide a rationale for either assessment or non-assessment;
- Assess and prepare citations for places that have the potential to meet the threshold of local significance;
- Undertake sufficient comparative analysis to enable a decision on local significance to be determined. This is based on which other places have been deemed to meet this threshold and are already on the Heritage Overlay;
- Provide a method by which all urban and built places have a preliminary social value check and undertake a social values assessment for those places indicated;
- Provide an integrated assessment for any urban and built places that have Aboriginal connections and values. This was not undertaken for postwar place assessments carried out by GJM Heritage.

The project was also designed to implement key aspects of the City's *Heritage Strategy* and *Aboriginal Heritage Action Plan 2015-18*, including undertaking the next stage of the *2010 Indigenous Heritage Study*.

1.2 Scope and methodology

This volume sets out the approach taken to both expand and refine the place list and the steps undertaken to provide a manageable list of places and precincts for assessment. This is outlined in Section 2.0. Section 3.0 sets out the standard methodology for a built heritage assessment with reference to some particular additional tasks undertaken for this Review.

The primary urban and built heritage tasks are summarised in Table 1.

Table 1 Tasks

Tasks	Pilot Stage	August 2017-June 2018	August 2018-June 2020
Preparatory tasks, stakeholder engagement, preliminary survey, desktop review	New template for recording places developed. 27 individual places recommended for assessment.	Place list expanded through stakeholder engagement and place nomination workshops. Desktop review and ground truthing through preliminary survey. 37 additional individual places and 6 precincts recommended for assessment. Further places put forward by CoM internal review.	74 additional individual places and 3 additional precincts recommended for assessment. Desktop review and ground truthing through field work.
Postwar thematic history	Draft postwar thematic history prepared.	Postwar thematic history finalised.	Postwar thematic history revised following peer review.
Social values		Social values checklist prepared and applied to priority places. Social values assessments undertaken.	Social values checklist applied. Social values assessments undertaken.
Research and assessment of places and precinct	27 places fully assessed.	37 individual places and 6 precincts fully assessed.	73 (was 74 – two places were combined) individual places and 1 precinct fully assessed. 1 individual place assessed by GJM Heritage
Peer Review			Peer review by GJM Heritage of: methodology; postwar thematic history; individual places and precincts assessed in 2017-18; and places and precincts recommended for assessment in 2018-20. List of 2018-20 individual places and precincts recommended for assessment revised 2017-18 place and precinct citations reviewed. Individual places and precincts assessed in 2018-20 reviewed and revised, and methodology report revised.

Tasks	Pilot Stage	August 2017-June 2018	August 2018-June 2020
Individual postwar places assessment by GJM Heritage			30 additional individual postwar places assessed by GJM Heritage. 11 x 2017-18 individual postwar place citations and 17 x 2018-20 individual postwar place citations prepared by Context revised by GJM Heritage.

1.3 The study area

The Hoddle Grid study area (Figure 1) extends slightly beyond Robert Hoddle’s surveyed grid. The boundary encompasses a section of the Yarra River or Birrarung, recognising that the history of the Hoddle Grid is inextricably linked to the presence of the river and that the grid plan is aligned with its course. In the west, the study area boundary extends to Wurundjeri Way, including the railway and part of the emptiness that was once Batman’s Hill, one of several hills that gave the city landscape its particular shape. To the north-east it extends to A’Beckett and Victoria streets.

While the study area has a clear boundary, engagement with stakeholders, and particularly the Aboriginal Traditional Owners has required that the project recognises that the Hoddle Grid study area should not be seen as isolated from its surroundings as many places, stories and connections cross this boundary.



Figure 1. Hoddle Grid Heritage Review study area. (Source: City of Melbourne)

1.4 Acknowledgements

The consultant team gratefully acknowledges the support provided by Tanya Wolkenberg, Suellen Hunter, Ros Rymer, Anne Laing and Jackie Donkin, the assistance provided by many other CoM staff, including (but not limited to) David Hassett, Jeanette Vaha'akolo and Shane Charles, and the contributions from members of the External Reference Group (ERG) including chairs Geoff Lawler and Emma Appleton.

The ERG has a wide skill set amongst its members, including history, archaeology, architecture, landscape architecture, planning, built heritage, and public art. External organisations represented were:

Aboriginal Victoria

Heritage Victoria

Department of Environment, Land, Water and Planning (DELWP)

National Trust of Australia (Victoria)

Property Council of Victoria

Planning Institute Australia (PIA)

Australian Institute of Landscape Architects (AILA)

Australian Institute of Architects (AIA)

Office of the Victorian Government Architect

2.0 APPROACH

2.1 Introduction

The Hoddle Grid Heritage Review builds on previous work undertaken by the City of Melbourne on urban and built heritage over many years. Previous heritage studies undertaken by the City of Melbourne focussing on built heritage include:

- Central Activities District Conservation Study, 1985;
- Central City Heritage Review, 1993;
- Review of Heritage Overlay listings in the CBD, 2002;
- Central City Heritage Review, 2011;
- Guildford and Hardware Laneways Heritage Study, 2017.

2.2 Place identification

The list of places for assessment was derived from four main sources:

- lists of places prepared by CoM drawn from previous heritage studies, in particular the 1993 Central City Heritage Review;
- a series of workshops, including with the HGHR External Reference Group (ERG);
- field surveys carried out by Context; and
- internal review carried out by CoM.

Place typologies

The places identified in the workshops represented a wide variety of built and urban typologies including interiors, public art, archaeological layers, artefacts, parks, plazas, reserves, laneways, urban design components, precincts and many buildings. Within the workshop sessions discussions were helpful in understanding some of the place types encountered, including:

- Layers beneath the city – including archaeological sites;
- Archaeology of the nineteenth century city;
- Aboriginal and intangible heritage;
- Entertainment as a historic theme and a land use, including several long-standing businesses in the study area;
- Office plazas and atriums as a type of ‘endangered’ place;
- Acknowledging changing values over time;
- Places in the central city that have historic or contemporary associations, such as those associated with dissent or protest;
- Statues and other public art that either have been moved or might move to different locations in the future, so not necessarily a fixed place;
- Acknowledging views and sightlines to or from important places.

Consultant field survey

A combination of desk-top research and a preliminary field survey was undertaken to confirm the integrity of places being considered for the list of places for assessment. The primary purpose of the preliminary field survey was to document the current integrity of all places identified through the workshops or on the CoM list. The consultants undertook survey work in

stages, dovetailing this work with the place identification workshops. A secondary purpose of the field survey was to identify any groups of places that potentially may form precincts.

City of Melbourne internal review

In April 2018 the CoM undertook an internal review of the study area in order to be satisfied that no places had been missed. The list resulting from the internal review was provided to Context for consideration in the 2018-20 component of the HGHR.

Places not assessed as part of Amendment C271

Some of the places that were not assessed as part of Amendment C271 (Guildford and Hardware Lane Study) were also added to the expanded places list. A number of places identified in workshops fell into the study area of the Guildford and Hardware Lane Study. Also, during 2017-18, some submitters to Amendment C271 expressed concerns about some places not recommended for inclusion in a heritage overlay within the Guildford and Hardware Lane Study.

Context was requested to review places graded under previous studies, nominated or referred places within the Guildford and Hardware Lanes study area to address these concerns. This led to a further 32 places being considered for assessment.

Table 2 Summary of HGHR places (long list)

Places	Number of places
Original list supplied by CoM	275
Workshop nominations	146
Late nominations and places noted during fieldwork by Context	14
Places not protected under Am.C271 and referred by CoM for review	32
Places identified by CoM internal review	55
Places that make up new precincts	10
Total number of entries considered in HGHR	532 ¹

2.3 Pilot Stage

The pilot stage of the HGHR was an introductory stage to test the methodology for the study and to provide updated assessments for postwar places that were not progressed under Melbourne Planning Scheme Amendment C186, 'Individual Heritage Places', 11 July 2012.

Amendment C186 implemented the findings of the Central City (Hoddle Grid) Heritage Review, 2011 by Graeme Butler and Associates and included nine postwar places. An independent panel hearing was held to review Amendment C186 and consider submissions in late 2011. The panel recommended that Amendment C186 be adopted generally as exhibited. The Minister for Planning did not approve heritage protection for the nine postwar places and requested that a further review of postwar places in the Hoddle Grid be undertaken to ensure that the appropriate buildings be included in the Heritage Overlay on a permanent basis.

The pilot stage of the HGHR provided updated assessments for the nine postwar places not progressed in Amendment C186, and assessments of a further 20 individual places. Only seven

¹ Some caution is attached to these numbers as sometimes duplicate entries for places were recorded. Any identified duplicate entries were noted and deleted.

of the nine postwar places from Amendment C186 were recommended for inclusion in a Heritage Overlay.

The 20 individual places were recommended for assessment from the CoM list of over 200 places assembled by the CoM from previous studies (listed above in Section 2.1). The 20 places were recommended using the following exclusion factors:

- places that had been substantially altered or demolished since the list had been assembled (not to be progressed).
- places that were partially within an existing HO but that had been identified for a review of boundaries (low priority for assessment).
- places in the study area covered by the *Guildford and Hardware Laneways Heritage Study* (Lovell Chen, 2016).
- places within the Design and Development Overlay (DDO2) were deemed to be at lower risk of redevelopment and therefore a lower priority for assessment (this is based on a lowered threat rather than potential significance).
- desktop and ground truthing by fieldwork was subsequently carried out to further refine numbers and places of higher integrity chosen.

The main body of work for the HGHR differed from the pilot stage as it evolved to identify groups of places that could potentially form precincts.

2.4 Refining the list of potential heritage places

2.4.1 Introduction

In order to develop a manageable work program over a two year period within the budgetary constraints of the project, it was necessary to refine the expanded list of potential heritage places. The following factors were considered in developing a workable list of potential heritage places:

- Places identified as either particularly early, rare or fine examples, or having exceptionally strong historic or other heritage values (warrant assessment);
- Places that make up new precincts (warrant assessment);
- Places that may warrant assessment as individual places or as part of potential precincts, but which required further comparative exercises and/or desktop research to determine if assessment warranted.

The assessment of places was phased over two financial years.

The scope of the project for the 2017-18 financial year was established at around 70 individual places, or a lesser number of places if precincts were to be part of the mix, recognising that the amount of work to assess a precinct is much greater than for a single place.

The scope of the project for the 2018-20 financial year was established at around 70-75 individual places, or a lesser number of places if precincts were to be part of the mix.

2.4.2 2017-18 work program

The 2017-18 preliminary assessment work noted places with an indicated strong history, architectural quality or other heritage value (including potential social value), and a high to relatively high integrity, to help achieve a manageable list for the 2017-18 assessment work.

The process for selection was also informed by comparative analysis using photographs of typologically similar places, for example government places, retail, warehouse and manufacturing places, postwar residential apartment towers and offices.

The comparative process was aided by a checklist developed to benchmark on the basis of integrity for large typological groups of places within the HGHR study area. The checklist was specifically developed to guide an understanding of integrity in relation to places in the HGHR

that have undergone many changes to various elements. The checklist helped to interrogate a place's legibility in terms of the values for which it may be significant. This is related to, but intended to be more inclusive than assessing intactness in terms of alterations, or departure from original or early form, design or intention.

Part of the preliminary assessment work involved the identification of potential precincts. From nine potential precincts identified in the preliminary survey and subsequently reviewed by the CoM, six precincts were assessed as part of the 2017-18 work, and three were assessed in 2018-20. One precinct assessed in 2017-18 was not a new precinct but formed an extension to the existing 'Little Lon' Precinct.

The assessment of a precinct was to include a single statement of significance for the precinct, and separate statements for any place that met the local threshold of significance in its own right.

2.4.3 2018-20 work program

The assessment work carried out in 2018-20 commenced with a preliminary assessment process. The initial task sought to arrive at a manageable list for the 2018-20 assessment, and involved excluding places on the following grounds:

- places and precincts already assessed in the pilot stage or the 2017-18 HGHR work;
- places assessed as unlikely to meet the local threshold;
- places confirmed as demolished;
- places beyond the scope and study area boundary of HGHR; and
- duplicate entries.

Places with a build date later than 1975 were omitted as a result of the definition of an end date for the postwar period, as recommended in the peer review. 1975 was considered appropriate because the period 1945-75 is consistent with the time span for postwar heritage in other prominent existing studies of postwar heritage, including the 'Survey of Post-War Built Heritage in Victoria: Stage One and Two' (2008) by Built Heritage, the 'Melbourne's Marvellous Modernism' report (2014) by the National Trust of Australia (Victoria), and the Central City (Hoddle Grid) Heritage Review (2011) by Graeme Butler & Associates.

A list of 173 places resulted. The resultant list became subject to a further refinement process in a workshop with CoM planners/staff in order to arrive at a manageable short list. The process drew on current and historic images, limited historical research and preliminary comparative analysis.

Of the 173 individual places, 74 were progressed to full assessment as individual places.

The following three precincts were progressed for further assessment which included detailed field survey and historical research:

- King Street (near the corner, and including part of, Little Bourke Street);
- Russell Street (near the corner of Little Lonsdale Street); and
- Queen Street (between Flinders Lane and Little Bourke Street).

After further research, field work and review by GJM Heritage, all three precincts were not progressed on account of their small size and lack of visual and historical cohesion. Some places from the proposed Queen Street precinct dating from the period 1945-70s were considered to have potential significance in their own right and were assessed in the postwar component of the HGHR.

Following the peer review, the proposed Little Collins Street precinct, fully assessed in 2017-18, was not recommended for inclusion in the HO on the basis of its small size and lack of visual and historical cohesion. It was considered that two buildings within the precinct may warrant inclusion in the Heritage Overlay and were therefore assessed as individual places.

2.5 Peer Review

GJM Heritage was engaged by CoM to carry out a peer review of Volumes 1 and 2 of the HGHR 2018. The work produced for the Urban and Built Heritage component of the HGHR was peer reviewed at key stages in the project, commencing after completion of the 2017-18 work.

The following outputs from the project were peer reviewed:

- Methodology;
- postwar thematic history;
- citations prepared for places and precincts assessed in 2017-18;
- the list of places and potential precincts to be assessed during 2018-20;
- citations prepared for places and precincts assessed in 2018-20;
- the list of places not recommended for assessment in the HGHR.

Changes brought about by the peer review process included:

- editorial changes;
- changes to the Criteria applied to individual places, in particular Criterion C (archaeological), Criterion E (aesthetic), Criterion G (social) and Criterion H (associative);
- changes to the recommendations for some individual places and precincts.

The substantive changes recommended by the peer reviewer are summarised in Table 3.

Table 3 Substantive changes recommended by the peer reviewer

Substantive changes
Delete the Little Collins Street Precinct and assess the following individual places: <ul style="list-style-type: none"> • 114-122 Exhibition Street • 57-67 Little Collins Street
Delete two individual places: <ul style="list-style-type: none"> • 8-12 Market Street (Former Southern Cross Assurance Building) • 53-57 Queen Street (SDA House)
Delete 25 Bennetts Lane from the Little Lonsdale Precinct as it has been demolished.
Remove two non-contributory places from proposed precincts: <ul style="list-style-type: none"> • 272-282 Lonsdale Street (Drewery Lane Precinct) • 11-13 Exhibition Street (Flinders Lane East Precinct)
Remove the thin sliver of heritage overlay applying to the western side of Oliver Lane within the Flinders Lane East Precinct and make the following changes: <ul style="list-style-type: none"> • Include all of 24-30 Russell Street in the precinct boundary as a contributory place (specify in the Inventory that it is only the eastern elevation to Oliver Lane that is contributory). • Identify 14-22 Russell Street as a non-contributory place. • Include all of 142-148 Flinders Street in the precinct boundary with that part of the site on the VHR as a significant place and the remainder of the site as a contributory place.
Correct the categories for two places within the Swanston Street North Precinct: <ul style="list-style-type: none"> • 261-263 Swanston Street (change from non-contributory to contributory) • 265-267 Swanston Street (change from contributory to non-contributory)
Change the categories for two places within the Swanston Street North Precinct: <ul style="list-style-type: none"> • 271 Swanston Street (change from contributory to non-contributory)

-
- 273 Swanston Street (change from contributory to non-contributory)
-

Change the categories for two places within the Swanston Street South Precinct:

- 145 Swanston Street (change from contributory to non-contributory)
 - 147 Swanston Street (change from contributory to non-contributory)
-

Remove the application of Criterion C.

Remove the application of Criterion G where there is a lack of evidence that places have social significance.

Remove the application of Criterion E where places are typical examples of building types and do not display any particular aesthetic characteristics beyond what is usual for the class of place.

Remove the application of Criterion H where this association is related to the architect who designed the building and it is not a notable example of their work, or the association is not of importance to the history of the City of Melbourne.

Define the postwar period as 1945-1975.

Expand existing Heritage Overlays for the following places to incorporate additional elements identified in the HGHR:

- HO737 – Former Melbourne City Power Station
 - HO1005 – Former Gothic Chambers and Warehouse
 - HO1041 – Former Markillie’s Prince of Wales Hotel
 - HO1052 – Former Thomas Warburton Pty Ltd Complex
-

A key finding from the peer review was that in the absence of a comprehensive review of postwar buildings within the Hoddle Grid, the postwar buildings recommended for inclusion in the Heritage Overlay could not be supported. This was particularly the case given the Minister for Planning’s previous position in respect of Amendment C186. It was recommended that CoM undertake a full gap study of postwar places within the Hoddle Grid. This recommendation was supported by CoM and the work was undertaken by Context and GJM Heritage.

The Postwar Thematic Environmental History (TEH) prepared by Context in the early stages of the HGHR was reviewed and updated by GJM Heritage in light of the further analysis of postwar places. The revised TEH assisted in identifying historical associations with particular themes, and provided a broader historical context for each place.

3.0 METHODOLOGY

3.1 Introduction

This section documents the standard assessment methods for built heritage places according to current heritage frameworks and practice. It also includes a discussion of approach to social values developed specifically for the HGHR, and its application to a range of places.

3.2 Methodology

3.2.1 Place and precinct histories

The HGHR has used two thematic histories that have been developed for the City of Melbourne.

City of Melbourne Thematic Environmental History

The role of the *City of Melbourne Thematic Environmental History* (Context, 2011) is not to provide a comprehensive account of the social and economic history of the municipality. It is intended as a concise document that takes a broad-brush approach, setting out the key themes that have influenced the historical development of a municipality and helping to explain how and why the built and human-influenced environments of that municipality look as they do today.

A Thematic Environmental History is an essential part in a municipality's heritage study, helping ensure that the places that reflect and represent the historical development of the municipality are recognised. The City of Melbourne Thematic Environmental History was completed in 2011 and sets out fifteen key themes.

Postwar Thematic Environmental History

To understand more about the development of capital cities in the postwar period, and to provide a basis for comparison for postwar places, a Post World War II Thematic History was prepared as part of Stage 1 of the HGHR. This was based on a thematic structure provided by Susan Marsden in her book *Urban Heritage: the rise and postwar development of Australia's capital city centres* (Marsden, 2000) undertaken for the Australian Council of National Trusts and Australian Heritage Commission. This piece of work has been used in the initial assessment of several postwar places.

Following the peer review (see Section 2.5) the postwar thematic history was revised by GJM Heritage to broaden the thematic context provided in Marsden and to focus on the three decade period 1945-75. The thematic structure was also amended to reflect the 2011 *City of Melbourne Thematic Environmental History*, which itself is derived from *Victoria's Framework of Historical Themes* (Heritage Council of Victoria, February 2010). The revised TEH assisted in identifying historical associations with particular themes, and provided a broader historical context for each place.

Place histories

Documentary sources for researching place and precinct histories have included a wide range of material from maps and photos to published histories, unpublished reports, and primary research in public repositories such as the State Library of Victoria. PROV, and newspapers through Trove. Wherever possible use has been made of historic photos. One place (295 King Street) provides a specific example of an integrated history that incorporates Aboriginal perspectives and accommodates multiple and layered values.

3.2.2 Social values checklist

A social value checklist was developed as a specific outcome of the HGHR. The purpose is to assist in identifying places where social value is likely or possible and to guide researchers and assessors in preparing assessments under Criterion G. Criterion G is defined in PPN1 as:

Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).

Note that this criterion also includes the significance of a place to Aboriginal people as part of their continuing and developing cultural traditions.

For a place to have social significance, it needs to have a strong or special association with a community or cultural group (or several), and that association needs to be able to be demonstrated. A simple preliminary sieve was developed to test likely social value. The first question is about the use of the place - is it private or public or quasi-public? This resulted in a proposed place type list where social value is either likely, possible or unlikely.

A house for example is typically a private place and while many families may have lived there over time, it is very unlikely to have an associated community or cultural group (in terms of the definitions above). However, a house that became a school will have had an associated 'community or cultural group' at that time.

The checklist was applied to all of the recommended individual places and precincts by working through the steps of identifying any likely community connections, who they might be, what their anticipated nature, duration and continuity with a place might be, and describing their associations.

In testing this method for social value at the local level in 2017-18, it was apparent that this approach could be done before places were researched, using it to establish an appropriate research method before and alongside other documentary research. In 2018-20, a preliminary sieve (step 1) was undertaken before the individual place history research. If community connections were indicated, the connections were further tested (step 2), by seeking out information from online sources that might help confirm and elaborate potential associations, or demonstrate whether these connections still exist. Further to this two-step approach, direct engagement with associated communities or cultural groups (step 3) was carried out for the potential places on an as-needed basis.

If social value was indicated, a social value analysis is incorporated in 'Community Connections' in each place citation and an assessment for Criterion G was prepared.

Nine individual places were assessed to be of either social significance or have this potential, and this process is documented in the social value analysis (Appendix A4).

3.2.3 Field work

In addition to the preliminary survey work described in Section 2.2, field work was carried out by team members.

2017-18 survey work was undertaken during late October and early November 2017 with further work on the precinct boundaries done in January and March 2018. The consultant team inspected and photographed places not only from the main street but also from the laneways wherever possible.

The survey identified potential precincts where groups of places demonstrated distinctive characteristics or where there is a high concentration of low-rise places. The consultant team noted an additional 14 places and a possible nine precincts during the late October and early November 2017 fieldwork.

2018-20 survey work was undertaken in October 2018, March 2019 and May 2019. The field work carried out included inspection of all individual places and inspection of two of the three potential precincts. The survey team inspected and photographed all places not only from the main street but also from the laneways wherever possible.

Historical research for the places and precincts also informed the field work. Some field work resulted in a requirement for further historical research in response to specific questions.

To assist in identification and inform comparative analysis for the postwar component of the Review every major and 'little' street within the Hoddle Grid was walked by Jim Gardner and Ros Coleman of GJM Heritage to identify those buildings that:

- appeared to fall within the postwar construction period (1945-1975);
- appeared to retain a high level of integrity to their postwar construction, particularly above street level (noting that most buildings within the Hoddle Grid have been subject to some level of alteration at street level); and
- were not already covered by an individual Heritage Overlay. Postwar buildings within existing heritage precincts where the values of the precinct articulated in their statements of significance did not relate to the postwar phase of development where also identified.

Preliminary investigation occurred to confirm build dates, Heritage Overlay status and likely integrity and, as a result, 30 additional postwar buildings of potential significance were identified for full assessment by GJM Heritage.

3.2.4 Assessment

Criteria

In accordance with the *Planning Practice Note 1: Applying the Heritage Overlay* (Jan. 2018 and Aug. 2018) (PPN1), heritage places are no longer assigned a letter grade, but are identified as meeting either the threshold of 'State Significance' or 'Local Significance'. Places of local significance can include places that are important to a particular community or locality. PPN1 advises that assessment of whether a place meets the local or State threshold should be determined in relation to model heritage criteria which are as follows:

Criterion A: Importance to the course or pattern of our cultural or natural history (historical significance).

Criterion B: Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).

Criterion C: Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).

Criterion E: Importance in exhibiting particular aesthetic characteristics (aesthetic significance).

Criterion F: Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance).

Criterion G: Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).

Criterion H: Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).

In the context of the HGHR study area, where the criteria say, 'our cultural or natural history', it should be understood as the City of Melbourne's or as the 'central city's' cultural or natural history. For each individual place and precinct, a discussion was prepared for each of the criteria considered to have met the threshold of local significance.

Thresholds

PPN1 advises that thresholds to be applied in the assessment of significance are state significance and local significance. 'Local significance includes those places that are important to a particular community or locality'.

In order to apply a threshold, comparative analysis was undertaken to substantiate the significance of each place. The comparative analysis draws on other similar places within the study area, including those that have previously been included in a heritage register or overlay. Places identified to be of potential state significance should undergo limited analysis on a

broader (statewide) comparative basis. The HGHR found that the Flinders Street Railway Viaduct has potential state significance.

The CoM previously used a letter grading system for places, and where a place was graded as a result of a previous heritage study, this is noted on the front page. Where a letter grading has not previously been assigned the term ‘ungraded’ is used. Each citation also notes the origin of the various gradings applied to the place and the previous heritage studies. Amendment C258 assigns places a category of either significant, contributory or non-contributory to each place included within a Heritage Overlay.

3.2.5 Statements of significance

For each individual place or precinct found to meet the threshold of local significance for at least one criterion, a statement of significance was prepared, summarising the most important facts and the significance of the place/precinct.

Each statement was prepared in accordance with *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance* (rev. 2013), using the PPN1 criteria and applying the thresholds of local or state significance. Each assessment is summarised in the format recommended by PPN1, namely:

What is significant? - This section should be brief, usually no more than one paragraph or a series of dot points. There should be no doubt about the elements of the place that are under discussion. The paragraph should identify features or elements that are significant about the place, for example, house, outbuildings, garden, plantings, ruins, archaeological sites, interiors as a guide to future decision makers. Clarification could also be made of elements that are not significant. This may guide or provide the basis for an incorporated plan which identifies works that may be exempt from the need for a planning permit.

How is it significant? - Using the heritage criteria above, a sentence should be included to the effect that the place is important. This could be because of its historical significance, its rarity, its research potential, its representativeness, its aesthetic significance, its technical significance and/or its associative significance. The sentence should indicate the threshold for which the place is considered important.

Why is it significant? - The importance of the place needs to be justified against the heritage criteria listed above. A separate point or paragraph should be used for each criterion satisfied. The relevant criterion should be inserted in brackets after each point or paragraph. Each point or paragraph, for example “(Criterion G)”. An example statement of significance has been prepared for guidance, see Appendix A.

3.2.6 Gradings within precincts

Once it had been established that an identified heritage precinct satisfied one or more of the PPN1 criteria at a local level each property in the identified precinct was given a category of either significant, contributory or non-contributory. A category schedule for each place is included for each precinct citation.

Table 4 Heritage grading definitions – Melbourne Planning Scheme²

Clause 22.04-17

A ‘significant’ heritage place is individually important at state or local level, and a heritage place in its own right. It is of historic, aesthetic, scientific, social or spiritual significance to the municipality. A ‘significant’ heritage place may be highly valued by the community; is typically externally intact; and/or has notable features associated with the place type, use, period, method of construction, siting or setting. When located in a heritage precinct a ‘significant’ heritage place can make an important contribution to the precinct.

² These definitions are proposed by Amendment C258 to the Melbourne Planning Scheme.

A 'contributory' heritage place is important for its contribution to a heritage precinct. It is of historic, aesthetic, scientific, social or spiritual significance to the heritage precinct. A 'contributory' heritage place may be valued by the community; a representative example of a place type, period or style; and/or combines with other visually or stylistically related places to demonstrate the historic development of a heritage precinct. 'Contributory' places are typically externally intact but may have visible changes which do not detract from the contribution to the heritage precinct.

A 'non-contributory' heritage place does not make a contribution to the cultural significance or historic character of the heritage precinct.

3.2.7 Mapping and curtilages

PPN1 states the following in regard to the mapping of heritage places:

The Heritage Overlay applies to both the listed heritage item and its associated land. It is usually important to include land surrounding a building, structure, tree or feature of importance to ensure that any development, including subdivision, does not adversely affect the setting, context or significance of the heritage item. The land surrounding the heritage item is known as a 'curtilage' and will be shown as a polygon on the Heritage Overlay map. In many cases, particularly in urban areas and townships, the extent of the curtilage will be the whole of the property (for example, a suburban dwelling and its allotment).

On this basis, there are two types of mapping for places and precincts recommended by the HGHR:

- Individual places to be mapped to the extent of the title boundaries. Almost all individual places are to be mapped in this way.
- Precincts, which cover multiple properties. Precinct maps have been prepared, which show the significant, contributory and non-contributory places within each precinct and the recommended precinct boundary. These maps are included at the start of each precinct citation and with the Statement of Significance.

3.2.8 Statutory recommendations

The statutory recommendations for places and precincts assessed to be of local significance are made in accordance with relevant policies and guidelines set out in the PPN1. This describes additional controls that can be triggered in the Schedule to the Heritage Overlay for a place or precinct. Recommendations for these particular controls are made where these are appropriate.

On 31 July 2018 Amendment VC148 proposed changes to Planning Schemes throughout Victoria in respect of Cl.43.01 Heritage Overlay. This Amendment makes mandatory the inclusion of statements of significance for each place in the schedule attached to the Heritage Overlay as an Incorporated Document. Heritage design guidelines may also be incorporated for a heritage place, however this is optional rather than being a requirement of the scheme.

External painting

This is to control paint colours and may be particularly important if evidence of an early colour scheme survives. Note that a planning permit is always required to paint a previously unpainted surface (e.g., face brick, render, stone, concrete, timber shingles). Paint controls are recommended for only one of the individual places (Hoyts Mid City Cinemas).

Interior controls

Internal alteration controls are to be used sparingly and on a selective basis for special interiors of high significance.

In accordance with the Panel recommendation for Amendment C186, a broader understanding of interiors is required before internal alteration controls are applied. In response, a framework for a study into interiors was drafted as part of the 2018-20 component of the HGHR but has not progressed at this stage.

Therefore, while several places assessed in the HGHR may have interiors worthy of consideration, interior controls have not been pursued at this time.

Trees

Tree controls are to be applied only where a tree (or trees) has been assessed as having heritage value. No tree controls have been recommended for any of the places identified in the HGHR.

Fences and outbuildings

Fences and outbuildings are not a feature of the Hoddle Grid study area and this control has not been used for any place in the HGHR.

Victorian Heritage Register

The Heritage Council determines whether or not to include a place or object in the Victorian Heritage Register following the recommendation of the Executive Director, Heritage Victoria. One place assessed in the HGHR is recommended for assessment under the *Heritage Act 2017*:

- Flinders Street Railway Viaduct was found to have potential State significance and warrants nomination to the Victorian Heritage Register.

Prohibited uses

The prohibited uses control allows additional uses not normally permitted in a given zone, subject to a planning permit. It is most frequently used to give redundant buildings a wider range of future use options to ensure their long-term survival, where such use will not affect the significance of the place and the benefits obtained can be applied towards the conservation of the heritage place.

The prohibited use control has not been recommended for any place. Furthermore, the Capital City Zone which applies to the whole of the study area allows for a very wide range of uses either by right or by permit, therefore it is not considered necessary to trigger this provision.

Aboriginal heritage place

The HGHR has undertaken further work on Aboriginal places within the study area. This is contained within Volumes 3-5 of the review.

4.0 KEY FINDINGS

4.1 Individual places

A total of 141 individual places are considered to meet the threshold for local significance when assessed against the PPN1 criteria, and thus are worthy of protection in the Heritage Overlay. All individually significant places are listed in Appendix A1. Citations for these places are in Volume 2: Built and Urban Heritage – Assessed Places & Precincts.

The approach and methodology is explained in Volume 1: Built and Urban Heritage – Assessed Places & Precincts (this volume).

Individual HO revisions

The following places are recommended as extensions to existing HOs, as assessment revealed historic links with adjoining properties with an individual HO. Therefore, for the following places, updated citations for and extensions to the curtilages of the existing HOs are recommended.

Table 5 Recommendations for individual HO revisions

Places assessed in HGHR	Existing HO	Notes	Recommendation
Gothic Chambers warehouse, 3 Kirks Lane	HO1005 – Gothic Chambers, 418-420 Bourke Street	<p>3 Kirks Lane, a late Victorian, four-storey brick warehouse, was built at the same time as the adjacent Gothic Chambers building at 418-420 Bourke Street, to a design by Charles D'Ebro.</p> <p>The building was used in association with the Gothic Chambers from the 1890s to the 1970s.</p>	<p>Amend HO1005 (418-420 Bourke Street, Melbourne) to reflect the following changes:</p> <ul style="list-style-type: none"> HO1005 (418-420 Bourke Street, Melbourne) should also be applied to the Gothic Chambers warehouse at 3 Kirks Lane. Further, it is recommended that the entry in the Schedule to the Heritage Overlay be changed to 'Gothic Chambers and warehouse'418-420 Bourke Street and 3 Kirks Lane, Melbourne'. Amend the map for HO1005 to match the changes noted above.
Thomas Warburton Pty Ltd, 384-386 Bourke Street	HO1052 – 365-367 Little Bourke Street	<p>The site at 365-367 Little Bourke Street comprises three Victorian period warehouses, all of which were developed for and operated by Thomas Warburton Pty Lt, an ironmongery and hardware supply business.</p> <p>The subject land at 384-386 Bourke Street, comprises a pair of two-storey Victorian shop-residences completed in 1865 (front) and a three-storey brick warehouse building at the rear (Warburton Lane), both constructed for T Warburton Pty Ltd.</p> <p>The two-storey building fronting 384-386 Bourke</p>	<p>Amend HO1052 (365-367 Little Bourke Street, Melbourne) to reflect the following changes:</p> <ul style="list-style-type: none"> HO1052 (365-367 Little Bourke Street, Melbourne) should be applied to the former Thomas Warburton complex of buildings at 384-386 Bourke Street, and the 1912 warehouses in 2-6 and 8-14 Rankins Lane, Melbourne. It is also recommended that a new citation and Statement of Significance be prepared for HO1052, which is consistent with the revised curtilage. Further, it is recommended that the entry in the Schedule to the Heritage Overlay be changed to 'Former Thomas Warburton Pty Ltd complex, 365-367 Little Bourke Street, 384-386 Bourke Street and 2-6 and 8-14 Rankins Lane, Melbourne'. Amend the map for HO1052 to match the changes noted above.

Places assessed in HGHR	Existing HO	Notes	Recommendation
		Street is the oldest surviving building established by and occupied for 100 years by the business.	
Former Markillie's Prince of Wales Hotel, Downie Street (rear of 562-564 Flinders Street)	HO1041 – 562-564 Flinders Street	<p>The building at the rear of 562-564 Flinders Street fronting Downie Street was built in 1927 as an extension to the then Prince of Wales Hotel.</p> <p>From 1927 until today, the Downie Street building functions as an integral part of the 562-564 Flinders Street.</p>	<p>Amend HO1041 (562-564 Flinders Street, Melbourne) to reflect the following changes:</p> <ul style="list-style-type: none"> HO1041 (562-564 Flinders Street, Melbourne) should also be applied to the former Markillie's Prince of Wales Hotel's rear wing in Downie Street. Further, it is recommended that the entry in the Schedule to the Heritage Overlay be changed to 'Markillie's Prince of Wales Hotel, 562-564 Flinders Street and Downie Street, Melbourne'. Amend the map for HO1041 to match the changes noted above.
Former Electricity Supply Store, 602-606 Little Bourke Street, and CitiPower substation, (part of) 620-648 Little Bourke Street	HO737 – 204-240 Spencer Street	<p>Both the former Electricity Supply Store (built in stages in 1949 and 1955) and CitiPower substation (built c1910-25) were developed as part of the broader Spencer Street Power Station that closed in 1982.</p> <p>The 2008 redevelopment of the former Spencer Street Power Station site resulted in physical changes and disintegration of the buildings in that complex.</p>	<p>Amend HO737 (204-240 Spencer Street, Melbourne) to reflect the following changes:</p> <ul style="list-style-type: none"> HO737 should be applied to the former Melbourne City Council Power Station buildings at (Part of) 617-639 Lonsdale Street, 651-659 Lonsdale Street, 602-606 Little Bourke Street and 620-648 Little Bourke Street Melbourne. It is also recommended that a new citation and Statement of Significance be prepared for HO737, which is consistent with the revised curtilage. Further, it is recommended that the entry in the Schedule to the Heritage Overlay be changed to 'Former Melbourne City Council Power Station buildings, (Part of) 617-639 Lonsdale Street, 651-659 Lonsdale Street, , 602-606 Little Bourke Street and 620-648 Little Bourke Street Melbourne'. Amend the map for HO737 to match the changes noted above. HO950 'Overhead Water Tank, Spencer Street, Melbourne' (VHR H2117) should be retained, and it is recommended that the entry in the Schedule to the Heritage Overlay be changed to HO950 'Overhead Water Tank, Watertank Way, Melbourne'.

Places with Aboriginal values

Two individual places assessed were found to have past and contemporary Aboriginal heritage values.

- The former Koorie Heritage Trust building at 295-305 King Street (now demolished) was the first 'permanent' home for the Trust (between 2003-2015), an organisation which has played a significant role in asserting Aboriginal identity and expressing traditional and

contemporary culture. 295 King Street would be subject to a CHMP should any development with significant ground disturbance be proposed as it lies within an area of cultural heritage sensitivity.

- The former Morris House at 114-122 Morris Street was built as offices for the Charity Organisation Society (COS) in 1924 and occupied by COS and the Victorian Society for the Prevention of Cruelty to Children. Research undertaken in preparing this citation demonstrated the building's associations with welfare provision to Aboriginal people and others.

These two places are recommended for inclusion on the Heritage Overlay for their heritage significance under Criteria A, D, G and H (former Koorie Heritage Trust) and Criteria A and D (former Morris House). For these two places, a 'No' is recommended in the 'Aboriginal heritage place?' column of the schedule to the Heritage Overlay, because these places are recommended to be subject to the requirements of the Planning Scheme under the *Planning and Environment Act 1987* and not the *Aboriginal Heritage Act 2006*.

4.2 Precincts

A total of five precincts are considered to meet the threshold for local significance when assessed against the PPN1 criteria, and thus are considered worthy of protection in the Heritage Overlay. The precincts are listed in Appendix A2. Citations for these places are in Volume 2: Built and Urban Heritage – Assessed Places & Precincts

4.3 Precinct extension

One precinct in Little Lonsdale Street is an extension to the Little Lon Precinct. It has been named Little Lonsdale Street Precinct to distinguish it from its predecessor. The precinct extension is included with the other precinct list in Appendix A2 and the citation is in Volume 2: Built and Urban Heritage – Assessed Places & Precincts.

4.4 Future work

During the HGHR, a number of places were identified that may be appropriate for further assessment in the future. These are:

- Places built post-1975
- Places with individual or precinct HOs that may be subject to future precinct review work;
- Places likely to be considered for future thematic heritage studies.

5.0 RECOMMENDATIONS

5.1 Adoption and implementation

It is recommended that Melbourne City Council adopt and implement the recommendations of the Hoddle Grid Heritage Review (2020), which comprises this Volume 1 and Volume 2, by preparing a planning scheme amendment to the Melbourne Planning Scheme that will:

- Add the individual places assessed as being of local significance listed in Appendix 0A1 to the Heritage Overlay of the Melbourne Planning Scheme with the schedule entries as shown in the place citations. In addition to the general planning permit requirements of Clause 43.01 (Heritage Overlay), specific controls have been recommended for some individual places in accordance with PPN1.
- Amend the curtilages of existing HO737, HO1005, HO1041 and HO1052 of the Melbourne Planning Scheme and incorporate the revised Statement of Significance for the place as detailed in the relevant citations in Appendix A1.
- Add the precincts assessed as being of local significance listed in Appendix 0 to the Heritage Overlay of the Melbourne Planning Scheme with the schedule entries as shown in the place citations. The extent of registration is the whole of each precinct as shown on the precinct map in the citation. The category of each property (significant, contributory or non-contributory) is shown on the precinct map and in the category schedule at the end of the citation.

The places listed in Appendix A6 are not recommended for inclusion in the Heritage Overlay of the Melbourne Planning Scheme as part of the HGHR. Inclusion of places in Appendix A6 does not preclude their assessment in future heritage studies, acknowledging that understanding of heritage values and the scope of heritage reviews may change in the future.

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- Melbourne Planning Scheme Amendment C258.

Other key sources utilised in the HGHR were:

- Previous studies, for existing documentation
- Building permit records and plans (post-1960), provided by City of Melbourne
- City of Melbourne Building Application Index
- City of Melbourne rate books
- Certificates of Title
- Sands & McDougall directories
- Trove digitised newspapers, pictures and photos collection
- State Library of Victoria online picture and map collection
- Public Record Office Victoria collections, including:
 - City of Melbourne early building records collection 1850-1915
 - City of Melbourne building plans and permits collection 1916-1960
 - Melbourne Building Application Index (City of Melbourne) 1916-1993
 - Historic plans collection
- National Archives of Australia picture collection
- National Library of Australia picture collection
- City of Melbourne Libraries' online Heritage Collection
- Melbourne & Metropolitan Board of Works plans
- Mahlstedt Fire Survey Plans
- Miles Lewis, Australian Architectural Index
- Key architectural journals for the period, including:
 - *Journal of proceedings (Royal Victorian Institute of Architects)*
 - *Architect*
 - *Architecture in Australia*
 - *Cross-Section*
- Key twentieth century architectural sources, including:
 - Butler, Graeme (1983), *Twentieth Century Architecture and Works of Victoria* (also titled *Twentieth Century Architecture Register of Royal Australian Institute of Architects*), prepared for the Royal Australian Institute of Architects [citations]
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APPENDICES

A1 PLACES RECOMMENDED FOR HERITAGE OVERLAY

Individual pre-1945 places

No.	Place name	Address	Precinct
1.	Grange Lynne Pty Ltd	183-189 A'Beckett Street MELBOURNE	-
2.	Shops, residence and former bank	146-150 Bourke Street MELBOURNE	-
3.	Former Malcolm Reid and Co Department Store	151-163 Bourke Street MELBOURNE	-
4.	Patersons Pty Ltd	152-158 Bourke Street MELBOURNE	-
5.	Shop	171 Bourke Street MELBOURNE	-
6.	Shops	173-175 Bourke Street MELBOURNE	-
7.	Former Rockman's Showrooms Pty Ltd	188 Bourke Street MELBOURNE	-
8.	Shop and residences	201-207 Bourke Street MELBOURNE	-
9.	Former Sharpe Bros Pty Ltd	202-204 Bourke Street MELBOURNE	-
10.	Shop and residences	209-215 Bourke Street MELBOURNE	-
11.	Former Palmer's Emporium	220 Bourke Street MELBOURNE	-
12.	Former John Danks & Son	393-403 Bourke Street MELBOURNE	-
13.	Offices	422-424 Bourke Street MELBOURNE	-
14.	Commercial building	480 Bourke Street MELBOURNE	-
15.	Former Victorian Amateur Turf Club	482-484 Bourke Street MELBOURNE	-
16.	Warehouse	1-5 Coverlid Place MELBOURNE	-
17.	Warehouse	11-15 Duckboard Place MELBOURNE	Flinders Lane East Precinct
18.	Shops, care and office	7-9 Elizabeth Street MELBOURNE	-
19.	Excelsior House former Excelsior Chambers	17-19 Elizabeth Street MELBOURNE	-
20.	Former Universal House	25 Elizabeth Street MELBOURNE	-
21.	Former Cassells Tailors Pty Ltd	341-345 Elizabeth Street MELBOURNE	-
22.	Former Morris House	114-122 Exhibition Street MELBOURNE	-
23.	Warehouse	353 Exhibition Street MELBOURNE	-
24.	Swiss Club of Victoria	87-89 Flinders Lane MELBOURNE	Flinders Lane East Precinct

No.	Place name	Address	Precinct
25.	Former Bank of New South Wales	137-139 Flinders Lane MELBOURNE	Flinders Lane East Precinct
26.	Former Gordon Buildings	384-386 Flinders Lane MELBOURNE	-
27.	Flinders Street Railway Viaduct	Flinders Street (Queen street to near Spencer Street) MELBOURNE	-
28.	Dreman Building	96-98 Flinders Street MELBOURNE	-
29.	Former Sunday School Union of Victoria	100-102 Flinders Street MELBOURNE	-
30.	Epstein House	134-136 Flinders Street MELBOURNE	Flinders Lane East Precinct
31.	Willis' Building	490 Flinders Street MELBOURNE	-
32.	CitiPower former Melbourne City Council substation	23-25 George Parade MELBOURNE	-
33.	Former Zander's No.2 Store	11 Highlander Lane MELBOURNE	-
34.	Warehouse	11A Highlander Lane MELBOURNE	-
35.	Former Melbourne Shipping Exchange	25 King Street MELBOURNE	-
36.	Warehouse	26-32 King Street MELBOURNE	-
37.	Warehouse	171-173 King Street MELBOURNE	-
38.	Former factory	203-207 King Street MELBOURNE	-
39.	Great Western Hotel	204-208 King Street MELBOURNE	-
40.	Former Paramount House	256-260 King Street MELBOURNE	-
41.	Former Koorie Heritage Trust building and Zander's No.2 Warehouse	295-305 King Street MELBOURNE (now demolished)	-
42.	Former Walton and Scott engineering works	307-309 King Street MELBOURNE (now demolished)	-
43.	Turn Verein Hall	30-34 La Trobe Street MELBOURNE	-
44.	Former Duke of Kent Hotel	293-299 La Trobe Street MELBOURNE (now demolished)	-
45.	Melbourne House	354-360 Little Bourke Street MELBOURNE	-
46.	Former Printcraft House	428-432 Little Bourke Street MELBOURNE	-
47.	Downs House	441-443 Little Bourke Street MELBOURNE	-
48.	Shop	37 Little Collins Street MELBOURNE	-

No.	Place name	Address	Precinct
49.	Former Wenley Motor Garage	39-41 Little Collins Street MELBOURNE	-
50.	Former Craig, Williamson Pty Ltd complex	57-67 Little Collins Street MELBOURNE	-
51.	Shocko House, former Godfrey's Building	188-194 Little Collins Street MELBOURNE	-
52.	Collins Gate	377-379 Little Collins Street MELBOURNE	-
53.	Former Law Institute House	382 Little Collins Street MELBOURNE	-
54.	Henty House	499-503 Little Collins Street MELBOURNE	-
55.	Warehouses	577-583 Little Collins Street MELBOURNE	-
56.	Commercial building	582-584 Little Collins Street MELBOURNE	-
57.	Former Melbourne and Metropolitan Tramways Building	616-622 Little Collins Street MELBOURNE	-
58.	Warehouse	34-36 Little La Trobe Street MELBOURNE	-
59.	Warehouse	27-29 Little Lonsdale Street MELBOURNE	-
60.	Residences	120-122 Little Lonsdale Street MELBOURNE	Little Lonsdale Street Precinct
61.	Former Tuberculosis Bureau	364-370 Little Lonsdale Street MELBOURNE (now demolished)	-
62.	Shops	470-472 Little Lonsdale Street MELBOURNE	-
63.	Residences	474 Little Lonsdale Street MELBOURNE	-
64.	Shops and residences	53-57 Lonsdale Street MELBOURNE	-
65.	Shops and offices	359-363 Lonsdale Street MELBOURNE	-
66.	Warehouse	410-412 Lonsdale Street MELBOURNE	-
67.	Former Andrew Jack, Dyson & Co Pty Ltd	594-610 Lonsdale Street MELBOURNE	-
68.	Former Kantay House	12-18 Meyers Place MELBOURNE	-
69.	The Waiters Restaurant	20 Meyers Place MELBOURNE	-
70.	CitiPower former Melbourne City Council substation	10-14 Park Street MELBOURNE	-

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No.	Place name	Address	Precinct
71.	Former Princes Bridge Lecture Room	Princes Walk, Birrarung Marr MELBOURNE	-
72.	Former Victoria Club building	131-141 Queen Street MELBOURNE	-
73.	Shop	215 Queen Street MELBOURNE	-
74.	Former Ridgway Terrace	20 Ridgway Place MELBOURNE	-
75.	Melbourne Theosophical Society, former Russell House	124-130 Russell Street MELBOURNE	-
76.	Shop	166 Russell Street MELBOURNE	-
77.	Sanders and Levy building	149-153 Swanston Street MELBOURNE	Swanston Street South Precinct
78.	Former Bank of Australasia	152-156 Swanston Street MELBOURNE	Swanston Street South Precinct
79.	Shop and residence	215-217 Swanston Street MELBOURNE	Swanston Street North Precinct
80.	Former Manchester Unity Oddfellows Building	335-347 Swanston Street MELBOURNE	-
81.	CitiPower former Melbourne City Council substation	11-27 Tavistock Place MELBOURNE	-
82.	Metropolitan Hotel	263-267 William Street MELBOURNE	-

Revisions to existing individual heritage overlays

No.	Place name	Address	Precinct
1.	Former Melbourne City Council Power Station (HO737)	(Part of) 617-639 Lonsdale Street, 651-669 Lonsdale Street, 602-606 Little Bourke Street and 620-648 Little Bourke Street Melbourne	-
2.	Gothic Chambers and warehouse (HO1005)	418-420 Bourke Street and 3 Kirks Lane MELBOURNE	-
3.	Former Markillie's Prince of Wales Hotel (HO1041)	562-564 Flinders Street and rear in Downie Street MELBOURNE	-
4.	Thomas Warburton Pty Ltd Complex (HO1052)	384-386 Bourke Street, 365-367 Little Bourke Street, 2-6 and 8-14 Rankins Lane MELBOURNE	Part Guildford and Hardware Laneways Precinct

Individual postwar places

No.	Place name	Address	Precinct
1.	Hoyts Mid City Cinemas	194-200 Bourke Street MELBOURNE	-
2.	Royal Mail House	253-267 Bourke Street MELBOURNE	-
3.	Former Coles and Garrard Building	376-378 Bourke Street MELBOURNE	-
4.	Former Dalgety House	457-471 Bourke Street MELBOURNE	-
5.	Law Institute of Victoria, former London Assurance House	468-470 Bourke Street MELBOURNE	-
6.	AMP Tower and St James Building Complex	527-555 Bourke Street MELBOURNE	-
7.	Office Building	589-603 Bourke Street MELBOURNE	-
8.	Apartment building	13-15 Collins Street MELBOURNE	Collins Street East Precinct
9.	Coates Building	18-22 Collins Street MELBOURNE	-
10.	Former Reserve Bank of Australia	56-64 Collins Street MELBOURNE	-
11.	Former Gilbert Court	100-104 Collins Street MELBOURNE	-
12.	Wales Corner	221-231 Collins Street MELBOURNE	-
13.	Former Commercial Banking Company of Sydney Building	251-257 Collins Street MELBOURNE	-
14.	Former Bank of Adelaide Building	265-269 Collins Street MELBOURNE	-
15.	Former Allans Building	276-278 Collins Street MELBOURNE	-
16.	Former MLC Building	303-317 Collins Street MELBOURNE	-
17.	Former Colonial Mutual Life Assurance Building and plaza with 'Children's Tree' Sculpture	308-336 Collins Street MELBOURNE	-
18.	Former AMP Building	344-350 Collins Street MELBOURNE	-
19.	Former Commonwealth Banking Corporation Building	359-373 Collins Street MELBOURNE	-
20.	Former Legal & General House	375-383 Collins Street MELBOURNE	-

No.	Place name	Address	Precinct
21.	Praemium House, former Atlas Assurance building	404-406 Collins Street MELBOURNE	-
22.	Royal Insurance Group	430-442 Collins Street MELBOURNE	-
23.	Former Guardian Building	454-456 Collins Street MELBOURNE	-
24.	Former Australia-Netherlands House	468-478 Collins Street MELBOURNE	-
25.	Office Building	516-520 Collins Street MELBOURNE	-
26.	Former Hosies Hotel	1-5 Elizabeth Street MELBOURNE	-
27.	Former Australia Pacific House	136 -144 Exhibition Street MELBOURNE	-
28.	Former Bryson Centre	174-192 Exhibition Street MELBOURNE	-
29.	Former Exhibition Towers	287-293 Exhibition Street MELBOURNE	-
30.	Former Batman Automatic Telephone Exchange	376-382 Flinders Lane MELBOURNE	-
31.	Former State Savings Bank	258-264 Little Bourke Street MELBOURNE	-
32.	Former Methodist Church	130-134 Little Collins Street MELBOURNE	-
33.	Equitable House	335-349 Little Collins Street MELBOURNE	-
34.	Cowan House	457-469 Little Collins Street MELBOURNE	-
35.	Stella Maris Seafarers' Centre	588-600 Little Collins Street MELBOURNE	-
36.	Former AMP Building	402-408 Lonsdale Street MELBOURNE	-
37.	Laurens House	414-416 Lonsdale Street MELBOURNE	-
38.	Lonsdale Exchange Building	447-453 Lonsdale Street MELBOURNE	-
39.	Former Union House	43-51 Queen Street MELBOURNE	-
40.	Former National Bank of Australasia Stock Exchange Branch	85-91 Queen Street MELBOURNE	-
41.	Former Ajax House	103-105 Queen Street MELBOURNE	-
42.	Former RACV Club	111-129 Queen Street MELBOURNE	-
43.	Former South British Insurance Company Ltd Building	155-161 Queen Street MELBOURNE	-

No.	Place name	Address	Precinct
44.	Former Sleigh buildings (H C Sleigh Building & former Sleigh Corner)	158-172 Queen Street MELBOURNE	-
45.	Former Houston Building	184-192 Queen Street MELBOURNE	-
46.	Former Law Department's building	221-231 Queen Street MELBOURNE	-
47.	Former State Savings Bank of Victoria	233-243 Queen Street MELBOURNE	-
48.	Lyceum Club	2-18 Ridgway Place MELBOURNE	-
49.	Former Russell Street Automatic Telephone Exchange and Postal Building	114-120 Russell Street MELBOURNE	-
50.	Treasury Gate	93-101 Spring Street MELBOURNE	-
51.	Park Tower	199-207 Spring Street MELBOURNE	-
52.	Former State Savings Bank of Victoria	45-63 Swanston Street MELBOURNE	-
53.	Former Dillingham Estates House	114-128 William Street MELBOURNE	-
54.	Office Building	178-188 William Street MELBOURNE	-
55.	Nubrik House	269-275 William Street MELBOURNE	-

A2 PRECINCTS RECOMMENDED FOR HERITAGE OVERLAY

Precincts

No.	Place	Location
1.	Precinct	Drewery Lane MELBOURNE
2.	Precinct	Flinders Lane East MELBOURNE
3.	Precinct extension	Little Lonsdale Street MELBOURNE
4.	Precinct	Swanston Street North MELBOURNE
5.	Precinct	Swanston Street South MELBOURNE

A3 SOCIAL VALUE CHECKLIST

Introduction

This social value checklist has been developed as part of the Hoddle Grid Heritage Review.

It is intended to be used in two ways:

1. To provide a preliminary assessment of whether or not a place is likely to have social value, and,
2. If it does appear likely to have social value, to guide the person doing the research and assessment.

The checklist is structured into three parts:

Part 1: Defining social significance provides a brief explanation of the way in which social value is interpreted in heritage practice today. It includes the key questions that need to be answered to establish or demonstrate that a place has social significance or not, along with some key definitions.

Part 2: Steps to test for social values offers a step by step approach, based on a simple decision tree (Steps 1 and 2). Step 3 then guides detailed investigation where this is warranted.

Part 3: Supporting material provides more detailed information that can be used in applying the sieves in Part 2.

This version is a draft for testing on the priority list places being assessed in 2017-18. Because application of the process proposed in this checklist requires some background information, it is proposed that Steps 1 and 2 will be undertaken as basic information becomes available on each place. It should be anticipated that through its application, the checklist may be revised.

Part 1: Defining social significance

The criterion

Criterion (g) as defined in Victoria is:

Strong or special association with a particular present-day community or cultural group for social, cultural or spiritual reasons.³

Key elements

There are 3 key questions that need to be answered to establish or demonstrate that a place has social significance.

Key question	Relevant definition
<p>173. Is there a particular community/ies or cultural groups associated with the place?</p> <ul style="list-style-type: none"> - Can you describe each community/cultural group? - Do they recognise or might they describe themselves as a community (or cultural group)? 	<p>Community can be defined geographically ('a local community') or by something shared – shared experience, ethnicity, culture or cultural background, and other factors. Within a geographical community there are likely to be many 'culturally defined communities'.</p> <p>A cultural group is a group of people within a society or community with a shared ethnic or</p>

³ Heritage Council of Victoria, 2019, *The Victorian Heritage Register Criteria and Threshold Guidelines*, revised April 2019.

<ul style="list-style-type: none"> - Are they recognisable by an outside person as a ‘community’ or group? - Does this community or group exist today? 	<p>cultural background (Macquarie Dictionary 4th edition 2005). The NHL guidance notes that ‘shared social organisation, culture and spiritual or other fundamental values are identifiers of a community or cultural group’</p> <p>The difference between a community and a cultural group may be simply one of scale.</p> <p>Particular means ‘a specific or identifiable’ community or cultural group.</p>
<p>173. What is the nature of their association?</p> <ul style="list-style-type: none"> - What is the extent, duration and continuity of the association? - Is the association a ‘direct association’ with this place? - Is it a strong and/or special association? - Is it a continuing association? 	<p>Association means the direct and demonstrable connections that exist between people and a place and that reflects a common interest (drawn from the Burra Charter, Article 1.15)</p> <p>Strong means of great force, potency, cogency.⁴</p> <p>Special means of a distinct or particular character; distinguished or different from what is ordinary; usual; extraordinary; exceptional in amount or degree.</p> <p>Strong and special is usually considered in relation to ‘significance indicators’.</p>
<p>173. What are the social, cultural and/or spiritual reasons?</p> <ul style="list-style-type: none"> - Why is the association strong or special for each particular community or cultural group? 	<p>These reasons can be represented by significance indicators (see Attachment 3) which serve to elaborate the criteria.</p>

Some other definitions

Use means the functions of a place, including the activities and traditional and customary practices that may occur at the place or are dependent on the place. (Burra Charter, Article 1.10). [Explanatory Note: Use includes for example cultural practices commonly associated with Indigenous peoples such as ceremonies, hunting and fishing, and fulfillment of traditional obligations. Exercising a right of access may be a use]

Meanings denote what a place signifies, indicates, evokes or expresses to people (Burra Charter Article 1.16)

Associations (plural) is a term used in the Burra Charter (Article 1.15): Associations mean the connections that exist between people and a place. [Explanatory Note: Associations may include social or spiritual values and cultural responsibilities for a place.]

Modifiers

- There is no restriction on the size of the community or the number of communities that may have an association with the place
- It is not necessary for everyone in a community to value the place or value it equally
- The association and the values arising should be strong, continuing, broadly based and out of the ordinary (beyond ‘utility’ values), including evidence of use developing into deeper attachment that goes beyond utility value – for example, where:
 - there is a regular or long-term use of/engagement with the place

⁴ Macquarie Dictionary 4th Edition, 2005

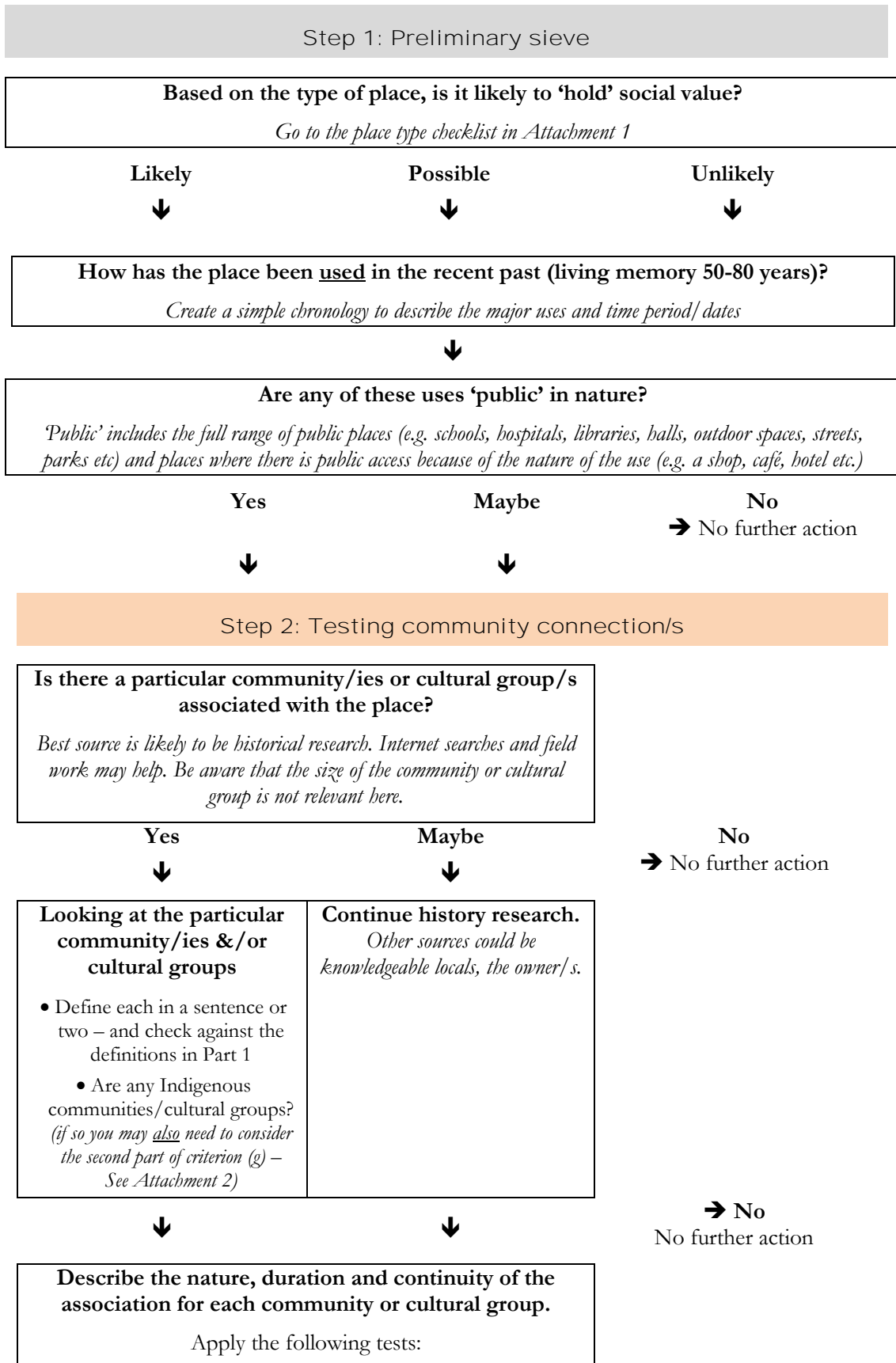
- there is an intense period of use or engagement with the place and that creates a strong connection
- there is an enduring ceremonial, ritual, commemorative, spiritual or celebratory use of the place by that community
- there is a deep sense of ownership/stewardship and/or connectedness to the place or object
- the place symbolically represents some aspect of the past which contributes to a sense of identity for the community.

Exclusion factors can also be useful:

- Where the relationship with the place cannot be established (i.e. there is no evidence of a relationship between the community and the place)
- Where the values are not held very strongly, or where another place or places are more highly valued by the same community for similar reasons
- Where the relationship and the values arising have not been held for a considerable length of time or where the attachment appears to be a short-term response to an event at, or a proposed change to, the place
- Where the place is valued for reasons of amenity or utility value only
- Where the place is valued only in preference to a proposed alternative (e.g. where change is proposed and is being objected to)
- Where the association is not considered to be an association 'beyond the ordinary' or
- Where the value is to a past community or cultural group only (in which case another criterion might be applicable).

It is important to note that values may differ between defined 'communities' and therefore the community or communities that hold the values need to be specified in the statement of significance.

Information or research needed to answer the key questions



- Does the association have ‘duration’?
A rule of thumb could be 25 years to demonstrate transmission from one generation to another, but a shorter period may be acceptable in special circumstances (e.g. Federation Square – City Square)
Duration may be demonstrated through a continuing use, or through active remembrance of the place, connection through activities elsewhere
- Does the association continue today?
If it is a past association, then it may form part of historical significance (criterion (a) and (b) in particular)
- Is there evidence of a **strong or special and direct** association between the place and the **particular** community or cultural group?
HCV uses these tests:
 - regular or long-term use of/engagement with the place/object or
 - the enduring ceremonial, ritual, commemorative, spiritual or celebratory use of the place/object.*If the association passes these tests, continue below.*



Based on the preliminary sieves (above) it appears likely that the place will meet criterion (g).
Step 3 requires detailed investigation.

Step 3: Detailed investigation

173.175 **For each community or cultural group write a sentence or dot points on what you know about the nature, duration and continuity of their association.**

173.175 **What additional evidence might you need to understand any aspects of their association/s and the values they hold in relation to this place? What sources might be available to you, or what additional research might you consider?**

Direct methods	Focus groups, discussion groups, meetings
	Interviews, oral history
	Surveys: online, on-site
	Visiting the place with people: walks, back-tos
	Cultural mapping: in person, online (e.g. <i>Participate Melbourne</i>)
Indirect methods	Social media research
	Historical research
	Documents: newspapers, local media, research by others
	Observation

2.3 Analyse the information (evidence) you have collected against the significance indicators. (Significance indicators are like sub-criterion; they suggest reasons why a place might meet the criterion)

2.4 Is there a need for comparative assessment?

Various heritage significance assessment systems propose that there should be a comparison of one place to another to determine if it is more or less significant. This needs to be done in relation to each criterion, in accordance with the *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

In relation to criterion (g), this should compare places that have a strong or special association for the particular community/cultural group (or communities/groups) and for similar or related reasons.

A comparison on architectural styles for example, would not demonstrate the relative significance of a place as part of its association for a community.

Evidence

What evidence do you need? What evidence is insufficient?

The evidence needs to be sufficient to demonstrate the key elements of the criteria and answer the ‘tests’ above. This suggests that each particular community/cultural group needs to be identified, and evidence obtained as to the nature and duration of their association and whether that association has generated feelings of connection that are strong and special.

The methods of data collection should be described and any limitations or issues documented. It is useful to gather evidence from multiple sources, rather than just one source – for example, through an online survey, interviews and observation. In qualitative social research this is described as ‘triangulation’. Using more than one method and different sampling strategies to collect data can help assure the validity of the data. As well, different methods may also help capture different dimensions of the same phenomenon.

Generally, the evidence should come directly from the ‘particular community or cultural group’ however in some circumstances this may not be possible.

Documenting the place

What documentation is needed?

As well as documenting the physical nature of the place and its history – preferably through to the present time – the associations need to be documented in relation to the place. For example, an association may be with just part of the place, or with a wider place or locality, or with a place that has since been demolished.

Statement of significance format

The standard format is shown in the left-hand column, and some key phrases relevant to social significance in the right-hand column:

What is significant?	Typical example
<p>This section of the statement is dedicated to description of the place or object and constitutes statements of fact about size, layout, construction date, designers and builders, materials, and so on. While this section should be brief, usually no more than a paragraph or a series of dot points following a single sentence, there should likewise be no doubt about the elements of the place or object which are under discussion. The paragraph should identify features or elements that are significant about the place. The statement should identify features or elements that are significant about the place as a guide to future decision makers.</p>	<p>The community hall built to a design by xxx in xxx, including the grounds and the large oak tree at the front of the hall.</p> <p>Elements that contribute to the significance of the place include (but are not limited to):</p> <ul style="list-style-type: none"> • The form and scale of the original building, the grounds and the large oak tree at the front; and • Its continuing traditions and use...

How is it significant?	Typical example
This section is the shortest part of the statement and always takes the same form. The place or object is stated to be of historic, rarity, scientific, representative, aesthetic, social and/or associative significance to the State of Victoria.	The (place) is of social significance to the State of Victoria – or to the Municipality
Why is it significant?	Typical example
This part explains the exact nature of the significance claimed in the above section. It is extremely important not to fall back on mere statements of fact which should be in the first section. Rather than saying, for example, that a place or object is the oldest surviving example, the statement should read “the (place or object) is historically important (or significant) as the oldest known surviving example of”...”. Significance should never be implied, it should always be explicit.	The place is of social significance as ... (e.g. a community meeting place) that has strong and special associations with the xxx community (or cultural group) for over xxx years. Then refer to the relevant significance indicators and the evidence that demonstrates it has social significance.

Establishing relative significance?

National	NHL guidance says that ‘to be nationally important the community recognition is usually beyond the region or the state’ and asks that there is a link between the place and a ‘uniquely Australian cultural activity’ or a ‘direct association with a nationally important story’.
State	Heritage Council of Victoria guidance (HCV 2019) ⁵ says: <ul style="list-style-type: none"> • a place or object that is of heritage value to wider Victoria has the potential to be recognised as being of state level cultural heritage significance (and may be included in the VHR). (HCV 2019: 3) • on criterion (g) it says th’t ‘evidence must be provided for the RESONANCE at the state level of the social value of a place/object ... that is: the social value resonates across the broader Victorian community as part of a story that contributes to Victo’ia’s ident’ty’. This concept is then expanded on further (HCV 2019: 18).
Local	Planning Practice Note 1 (PPN1 2018) says: <ul style="list-style-type: none"> • “‘Local Significance’ includes those places that are important to a particular community or locality.’ (PPN1 2018)

⁵ Heritage Council of Victoria, 2019, *The Victorian Heritage Register Criteria and Threshold Guidelines*, revised April 2019.

Attachment 1: Place type checklist

For a place to have social significance, it needs to have a strong or special association with a community or cultural group (or several), and that association needs to be able to be demonstrated.

A simple sieve might be – is the place private or public or quasi-public. A house for example is typically a private place and while many families may have lived there over time, it will not have an associated community or cultural group (in terms of the definitions above). However, a house that became a school will have had an associated ‘community or cultural group’ at that time.

A version that was developed for the national program of Comprehensive Regional Assessments for the development of Regional Forest Agreements is offered below.

1 Important to a community as a landmark, marker or signature

Specific significance indicators:

- Landmarks
- Signature places and ico–s - places used to symbolically represent a locality or community
- Locational markers - places that mark where you are in a landscape/locality and places that figure as landmarks in daily life
- Understanding history and environment ("our place in the world") - special and unusual features that help explain the local environment in all its diversity

Likely place characteristics:

Named landscape or built features

Entry or centre points of a locality

Place used as community signature

2 Important as a reference point in a community's identity or sense of itself

Specific significance indicators

- Strong symbolic qualities which define a community
- Spiritual or traditional connection between past and present
- Represents (embodies) important collective (community) meaning/s
- Association with events having a profound effect on a community
- Symbolically represents the past in the present (connects the past and the present)
- Represents attitudes, beliefs, behaviours fundamental to community identity

Likely place characteristics

Mythological sites

Places where continuing tradition/ceremony is practiced or where tradition is passed on

Places where the continuity/survival of a community is celebrated

Places where a community's identity has been forged such as disaster sites, foundation places, seminal events in a community's life

3 Strong or special community attachment developed from use and/or association

Specific significance indicators

- Essential community function leading to special attachment
- Longevity of use or association including continuity to the present

Likely place characteristics:

Places providing essential community functions such as schools, halls, churches

Community meeting places (of all types)

Places defended at times of threat (to the place) for reasons of attachment not just function

Places with a long tradition and continuity of community use or access.

Proposed place type checklist

Place type	Comment	Likely	Possible	Unlikely
Cemeteries	Ritual or ceremonial use	x		
Church, temple, other place of worship	Ritual or ceremonial uses	x		
Commercial office	Work places			x
Community centre, neighbourhood house, local learning centre	Places of social congregation		x	
Corner store, general store	If served as a community meeting place		x	
Council chambers, town halls and	Places of public decision-making	x		
Disaster, loss and suffering – shipwrecks, massacre sites, bushfires, floods etc	Places associated with human loss and suffering		x	
Dreaming/creation sites, songlines, major stories/events	Places linked to community identity	x		
Hospital, clinic	Community services/facilities		x	
Hotel	Places of social congregation	x		
House	Private residence			x
Industrial complex	Work places		x	
Memorials, including war memorials (<i>where there is a continuing use, annual event etc that involves an associated community or cultural group</i>)	Ritual or ceremonial use	x		
Migrant hostels/camps	Places of internment	x		
Museums and libraries	Community services/facilities		x	
Parks, recreation areas, picnic areas, swimming pools, camp sites	Community meeting place	x		
Parliament	Places of public decision-making	x		
Police and fire stations	Community services/facilities		x	
Post office	Long tradition of community use and activity		x	

Place type	Comment	Likely	Possible	Unlikely
POW/alien camps	Places of internment		x	
Prison, remand centre, reformatory, orphanage	Places of internment		x	
Protest sites	Places of public decision-making		x	
Public hall	Long tradition of community use and activity	x		
Quarantine stations	Places of internment		x	
Restaurant, café <i>(only if long established & a cultural icon)</i>	Work places Places of social congregation		x	
Retail shop, department store <i>(only if long established & a cultural icon).</i>	Work places			x
Shops: some types of shops also serve as places of social congregation and exchange e.g. milk bars, general stores, banks	Places of social congregation			
School, university, college	Places of education		x	
Social and community service clubs or groups – RSL, Elderly Citizens, clubs based on ethnicity etc	Places of social congregation	x		
Street, lane, arcade	Public spaces		x	
Theatre, cinema, performance space	Places of social congregation		x	
Town hall	Places of civil ceremony		x	
Utility services: substations, pumping station etc.				x

Notes:

1. With 'long tradition of community use and activity', the use or activity that has created the association may be quite 'ordinary' or everyday
2. Places of all types defended at times of threat (to the place) for reasons of attachment not just function may have social values.

Attachment 2: Significance indicators

This attachment includes significance indicators drawn from Australian states and territories that have developed guidance on applying the social value criterion. CRA refers to Comprehensive Regional Assessments, a series of projects undertaken by the Commonwealth and certain state governments in the 1990s. Victoria does not have specific significance indicators in the current HCV guidance (2019).

These may not represent all of the specific indicators that may be relevant in the assessment of a particular place, and there is considerable overlap between the indicators reflecting the way that each state or territory has encompassed and adapted them.

Indicator	State/Territory
Important to the community as a landmark, marker or signature	CRA 1 + QLD
An iconic and landmark place which the community frequently uses as a place of reference, including as a meeting place	ACT (place type)
Important to the community as a key landmark (built feature, landscape or streetscape) within the physical environment of Tasmania	TAS
Important to the community as a landmark within the social and political history of Tasmania	TAS
Important as a reference point in a community's sense of identity	CRA 2
Important to a community's sense of place	NSW
Contribute to a community's sense of identity	NSW
Important as a place of symbolic meaning and community identity	TAS
Associated with events having a profound effect on a particular community or cultural group	QLD
A place is valued as the site of an event which has had a profound effect on a community or cultural group	ACT
Symbolically representing the past in the present	QLD
Important in linking the past affectionately to the present	TAS
The site symbolically represents some aspect of the past which contributes to a sense of identity for the community or a cultural group	ACT
The community or cultural group has a deep sense of ownership/stewardship and/or connectedness to the place or object	ACT
An activity or meeting venue valued for its long association with community life	ACT (place type)
A place of essential community function leading to special attachment	CRA 3 + QLD
A popular meeting or gathering place	QLD
Important as a place of community service (including health, education, worship, pastoral care, communications, emergency services, museums, etc.)	TAS
Important as a place of public socialisation	TAS
Other indicators	
The community or a cultural group gathers for ritual or ceremonial purposes or for social or cultural (including recreational) interaction	ACT
Places and objects associated with Aboriginal people's ritual and ceremonial practices	ACT (place type)
A place which offers a valued customary experience	QLD

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Indicator	State/Territory
A place of ritual or ceremony	QLD
Important for its associations with an identifiable group	NSW
Esteemed by the community for their cultural values	NSW
If damaged or destroyed would cause the community a sense of loss	NSW

A4 SOCIAL VALUE ANALYSIS

Places assessed in the Hoddle Grid Heritage Review were considered against the ‘social value checklist’ (Appendix A3). **Step 1** of the social values checklist is the preliminary sieve and considers if a place may have possible or likely social values based on the type of place and use. A selection of places proceeded to the next step.

Step 2 of the social value checklist involves testing of the community connections for those places where social values were considered Possible or Likely. This was done by:

- considering the history (as documented in the citation) and present use/s to identify communities or cultural groups with a potential connection;
- seeking out information from online sources that might help confirm and elaborate potential associations or demonstrate that these connections do not or no longer exist.

Where a place was assessed as having strong associations with cultural group/s, full social value analysis was incorporated in ‘Community Connections’ in each place citation. Further to the two-step approach above, direct engagement with associated communities or cultural groups was carried out for the potential places on an as-needed basis.

Assisted by the ‘social value checklist’, the peer review determined that, among 12 places identified in the pilot stage and 2017-18 as having potential social value, three places (295-305 King Street, 2-18 Ridgway Place and 124-130 Russell Street) meet the threshold for social significance at the local level. Further research was carried out for two potential places (111-123 Queen Street and 263-267 William Street) to strengthen the argument for Criterion G.

The table below contains the list of all places and research notes for places considered or fully assessed for their social value as part of HGHR. The factors considered in the assessment of Criterion G are described under four column headings which correlate with the successive steps in the process:

- Step 1: Preliminary sieve – sorted into categories ‘Possible’, ‘Likely’ or ‘Unlikely’ considering the place type/s and recent use/s.
- Step 2 Community connections – details of identified cultural groups, and/or nature and duration of the connections for ‘Possible’ or ‘Likely’ places.
- Associations – further research notes on nature, duration, continuity of the associations, if any.
- Social significance (Criterion G) – draft (based on indicative values) or final (after full assessments) statements with additional notes where relevant.

Individual places

Individual pre-1945 places

No.	Place name	Address	Step 1 Preliminary Sieve	Step 2 Community connections	Associations	Social significance (Criterion G)
1.	Grange Lynne Pty Ltd	183-189 A'Beckett Street MELBOURNE VIC 3000	Former factory – work place. UNLIKELY			
2.	Shops, residence and former bank	146-150 Bourke Street MELBOURNE VIC 3000	1884 constructed 3 shops – retail and associated premises – many short-term from history. Bank has been long-term occupancy – 1922 (Bank of Victoria) – but no longer present. UNLIKELY			
3.	Former Malcolm Reid and Co Department Store	151-163 Bourke Street MELBOURNE VIC 3000	Retail and commercial, now residential use. UNLIKELY			
4.	Patersons Pty Ltd	152-158 Bourke Street MELBOURNE VIC 3000	Retail and commercial. UNLIKELY			

No.	Place name	Address	Step 1 Preliminary Sieve	Step 2 Community connections	Associations	Social significance (Criterion G)
5.	Shop	171 Bourke Street MELBOURNE VIC 3000	Retail shop. UNLIKELY		<p>The shop was occupied by chemists for over 100 years. The first occupier, E Guthiel, remained at 171 Bourke Street from 1867 to the mid-1870s; later occupiers included: Henry Gamble (mid-1870s-1883); James Lacey (1884-1910s); Bartholomew Farrer (1920s); and H Sutcliffe (1930s-1979) (S&Mc 1875-1942; Age 24 April 1979:42).</p> <p>In 1979, with the closure of Sutcliffe's pharmacy, the original pharmacy shop fittings dating from 1868 were removed from the premises. Only the brass-framed stained-glass windows from c1910 (leadlights above the shopfronts) remain today as a reminder of the old pharmacies (Butler 1984).</p> <p>In the early 1980s, the building was converted to a bank, housing the Statewide Building Society (which became the Bank of Melbourne in 1989) (Age 8 September 1982:28 & Age 3 June 189:4). Today, the building contains a restaurant.</p> <p>If the building was still in use as a pharmacy, it would have been assessed as POSSIBLE social significance, on the basis that pharmacies tend to be long established, they are places where people seek advice – and therefore may feel a stronger association – and where the waiting around that is often involved may indicate that they are a place of social congregation. However, this use ceased nearly 40 years ago.</p>	
6.	Shops	173-175 Bourke Street MELBOURNE VIC 3000	Retail shop. More a landmark building than anything else – corner site. POSSIBLE	Maybe – association with shoppers who have visited shop over decades; a landmark.	<p>Built 1857, served as retail shop since.</p> <p>Shoe shop since the 1890s – Whites Shoes – until 1970s, and then Florsheim Shoes from 1980s to the present.</p> <p>Florsheim Shoes started in Chicago in 1892; it is not known when they came to Australia.</p> <p>Windows filled with shoes would be a familiar and possibly much photographed city element.</p>	<p>The ground floor shoe shop at 173-175 Bourke Street is of <u>potential</u> social significance to Melbournians as a place to shop for shoes for almost 120 years. The windows filled with shoes and its corner location contributes to its importance as a local landmark.</p> <p><i>Research on the social values of this place has been inadequate to justify the application of Criterion G at this time, due to a lack of a particular and well-defined community/ies or cultural group/s associated with the place.</i></p>
7.	Former Rockman's Showrooms Pty Ltd	188 Bourke Street MELBOURNE	Retail shop. UNLIKELY			
8.	Shop and residences	201-207 Bourke Street MELBOURNE VIC 3000	Longstanding use of two shops as a single retail premises – continuing today. POSSIBLE?	Maybe? – association with shoppers who have visited shop over decades; a landmark	<p>Extract from citation: In the mid-1920s, the shops at 205-207 Bourke Street were purchased by George Mountford, hatter. In 1935, the whole block was also part of the estate of the late G Mountford (RB 1877-1935). The Mountfords, then hatters and now shoe retailers, had occupied three shops at 203-207 Bourke Street at one point until the mid-1930s. Today, the same business remains in the subject building, currently occupying the two shops at 205-207 Bourke Street, interconnected with the neighbouring two shops at 209-211 Bourke Street (RB 1935; MBI 'Bourke Street, 205-207', Ancestry.com).</p> <p>Mountfords – hatters and later shoe retailers – occupied the building from mid 1920s and remain in 205-207 Bourke Street today.</p>	<p>Mountfords at 205-207 Bourke Street is of potential social significance to Melbournians as a traditional retail business offering hats and later shoes for almost a century.</p> <p><i>Research on the social values of this place has been inadequate to justify the application of Criterion G at this time, due to a lack of a particular and well-defined community/ies or cultural group/s associated with the place.</i></p>
9.	Former Sharpe Bros Pty Ltd	202-204 Bourke Street MELBOURNE VIC 3000	Retail and commercial. UNLIKELY			
10.	Shop and residences	209-215 Bourke Street	Retail and commercial with residences above.			

No.	Place name	Address	Step 1 Preliminary Sieve	Step 2 Community connections	Associations	Social significance (Criterion G)
		MELBOURNE VIC 3000	UNLIKELY			
11.	Former Palmer's Emporium	220 Bourke Street MELBOURNE VIC 3000	Retail and commercial. UNLIKELY			
12.	Former John Danks & Son	393-403 Bourke Street MELBOURNE VIC 3000	Industrial and commercial. UNLIKELY			
13.	Offices	422-424 Bourke Street MELBOURNE VIC 3000	UNLIKELY			
14.	Commercial building	480 Bourke Street MELBOURNE VIC 3000	Interesting and long association as legal offices/chambers (Emmerton) and later others; but now a variety of uses. This is a key aspect of its historical significance. UNLIKELY			
15.	Former Victorian Amateur Turf Club	482-484 Bourke Street MELBOURNE VIC 3000	Built for the Victorian Amateur Turf Club (later known as the Melbourne Racing Club); they occupied the property for over 30 years, selling to the National Bank in 1958. This is a key aspect of its historical significance. UNLIKELY			
16.	Warehouse	1-5 Coverlid Place MELBOURNE VIC 3000	Built as a store for a hotel; in 1920 purchased and adapted for use as offices and a meeting room by the Total Abstinence Society (they had a Temperance Hall at 170-172 Russell Street). This long-			

No.	Place name	Address	Step 1 Preliminary Sieve	Step 2 Community connections	Associations	Social significance (Criterion G)
			term use possibly ceased in 1950s. UNLIKELY			
17.	Warehouse	11-15 Duckboard Place MELBOURNE VIC 3000	UNLIKELY			
18.	Shops, I and office	7-9 Elizabeth Street MELBOURNE VIC 3000	UNLIKELY			
19.	Excelsior House former Excelsior Chambers	17-19 Elizabeth Street MELBOURNE VIC 3000	UNLIKELY Many interesting uses over time; today primarily residential.			
20.	Former Universal House	25 Elizabeth Street MELBOURNE VIC 3000	Interesting Hordern connection which ended in 1-56 - an aspect of historical significance. UNLIKELY			
21.	Former Cassells Tailors Pty Ltd	341-345 Elizabeth Street MELBOURNE VIC 3000	This section of Elizabeth Street has been a focus of motorcycle retailing since the 1960s/70s – perhaps earlier. Perhaps ephemeral and unable to be controlled via planning scheme. POSSIBLE	Maybe – motorcyclists.	Unlikely – the research revealed the building's connection with the motorcycles/bikies dates from the 1990s, which is not particularly long, in comparison to other buildings in that section of Elizabeth Street that has b'en 'motor show'oms' or alike since the early 20th century.	
22.	Former Morris House	114-122 Exhibition Street MELBOURNE VIC 3000	Office. UNLIKELY			
23.	Warehouse	353 Exhibition Street MELBOURNE VIC 3000	UNLIKELY			
24.	Swiss Club of Victoria	87-89 Flinders Lane	Former warehouse. UNLIKELY			

No.	Place name	Address	Step 1 Preliminary Sieve	Step 2 Community connections	Associations	Social significance (Criterion G)
		MELBOURNE VIC 3000				
25.	Former Bank of New South Wales	137-139 Flinders Lane MELBOURNE VIC 3000	Established and served as a bank for many years. Currently an art gallery. POSSIBLE	Maybe – bank customers and staff until mid-1980s; Gallery customers 1989-present.	Both the original and past use – as a bank – and the current use as an art gallery for almost 30 years – are places which attract a wide variety of visitors/customers, often on a regular basis. The association is likely to be with the clientele of the bank and later the gallery, and with staff. From online images, the entry and main banking area appears to remain as the gallery area. The building interior has not been inspected.	Of <u>potential</u> social significance for its long association with the clientele of the current gallery and previously the bank, both serving as places of social congregation and exchange. <i>Research on the social values of this place has been inadequate to justify the application of Criterion G at this time, as the connection between a place and a community being too distant due to the place not fulfilling a specified role for some time.</i> <i>As a result, Criterion H (Special association with the life or works of a person, or group of persons, of importance in our history [associative significance]) has the potential to be met instead of Criterion G.</i>
26.	Former Gordon Buildings	384-386 Flinders Lane MELBOURNE VIC 3000	UNLIKELY			
27.	Flinders Street Railway Viaduct	Flinders Street (Queen street to near Spencer Street) MELBOURNE VIC 3000	Railway infrastructure. UNLIKELY			
28.	Dreman Building	96-98 Flinders Street MELBOURNE VIC 3000	Commercial. UNLIKELY			
29.	Former Sunday School Union of Victoria	100-102 Flinders Street MELBOURNE VIC 3000	Commercial. UNLIKELY			
30.	Epstein House	134-136 Flinders Street MELBOURNE VIC 3000	Commercial. UNLIKELY			
31.	Wilis' Building	490 Flinders Street MELBOURNE VIC 3000	Retail and residential – recent use as restaurant. UNLIKELY			

No.	Place name	Address	Step 1 Preliminary Sieve	Step 2 Community connections	Associations	Social significance (Criterion G)
32.	CitiPower former Melbourne City Council substation	23-25 George Parade MELBOURNE VIC 3000	Electricity substation. Utility services building. Publicly owned but no public access; did not serve as a daily workplace therefore unlikely to have a work-based group with strong or special associations. UNLIKELY			
33.	Former Zander's No.2 Store	11 Highlander Lane MELBOURNE VIC 3000	UNLIKELY			
34.	Warehouse	11A Highlander Lane MELBOURNE VIC 3000	UNLIKELY			
35.	Former Melbourne Shipping Exchange	25 King Street MELBOURNE VIC 3000	Primarily office use; built for the Melbourne Shipping Co which occup54ictobldg. until 1913; later owned by Cody family for long period with multiple tenants. UNLIKELY			
36.	Warehouse	26-32 King Street MELBOURNE VIC 3000	UNLIKELY			
37.	Warehouse	171-173 King Street MELBOURNE VIC 3000	UNLIKELY			
38.	Former factory	203-207 King Street MELBOURNE VIC 3000	UNLIKELY			
39.	Great Western Hotel	204-208 King Street MELBOURNE VIC 3000	Strong likelihood of social values as a pub – see other hotel examples for research ideas. POSSIBLE	General hotel patrons.	No record of a particu'ar 'g'oup' at the pub but when it closed 2 years ago there was significant online backlash (articles and social media). Interestingly, people protesting closure tended to be younger generation upset about the closure of corner pub as a typology, and because it was an affordable, accessible place for people from different classes, rather than necessarily being patrons themselves. From what I read, patrons were older, from more working-class backgrounds (not well represented in articles or social media commen-s) - the pub was appreciated as an unpretentious place where you could buy cheap food and beer.	The former Great Western Hotel is of social significance for its long connections with the city, serving as a social meeting place for a diverse clientele for more than 150 years. For city workers,

No.	Place name	Address	Step 1 Preliminary Sieve	Step 2 Community connections	Associations	Social significance (Criterion G)
					<p>Great Western Hotel, formerly known as Star of the West Hotel was Established in 1864, the Great Western Hotel continuously served as a town pub for over 150 years until its recent closure in 2017. In the latter decades of the twentieth-century the hotel was known as a venue offering affordable food, including 'legendary dim sim bolognaise' and \$2 a head pub meals in the 1970s (Age 31 May 1991:2; Age 22 July 1975:17). The Great Western Hotel was closed in March 2017. A newspaper article in the same year stated that the 'pub has been a long-term haunt for barristers and solicitors from the nearby court district, and journalists covering courts and crime' (Age 25 January 2017). Approval for partial demolition of the building and construction of a 26-storey tower was granted in 2017 (Age 25 January 2017).</p> <p>The Tanner family operated the Great Western Hotel from 1894 to 1920. Thomas Tanner was born in Bately, Yorkshire, England in 1854 (FreeBMD 1854:375). In the 1890s, Thomas Tanner, an active Freemason, was involved with a number of mining syndicates, including the South Lone Hand Extended mine and the Coramba Queen Gold Mining Company. Meetings of both companies were held in the Great Western Hotel (Age 27 June 1895:7; Age 1 October 1896:7). Tanner was nominated for the position of City Assessor for the Bourke Ward in 1906 and remained in this role until his death in 1909 (Age 24 September 1906:6; Argus 16 August 1909:1; Herald 20 August 1909:6). After Thomas' death, his wife Catherine Tanner continued to operate the Great Western Hotel until her death in 1920 (Argus 6 September 1920:1).</p> <p>Online research</p> <p>Online forums and articles found during the research involve:</p> <ul style="list-style-type: none"> • Reddit, 2017, More dodgy facad-sm - and Melbourne loses another-ub - Great Western Hotel, https://www.reddit.com/r/victoria/comments/6kc5q5/more_dodgy_facadism_and_melbourne_loses_another/ • Foursquare, last review 24 September 2013, https://foursquare.com/v/great-western-hotel/4b909d8af964a520479233e3 • Facebook page: Great Western Hotel, https://www.facebook.com/pages/Great-Western-Hotel/158675124159389 • Herald Sun, HERITAGE CBD PUB SAVED FROM DEMOLITION, https://myaccount.news.com.au/sites/heraldsun/subscribe.html?sourceCode=HSWEB_WRE170_a_GGL&mode=premium&dest=https://www.heraldsun.com.au/n55ictoria/great-western-hotel-in-melbourne-cbd-saved-from-demolition-by-developers/news-story/9dda5c3d79d9937626b9646e68e36b39&metype=anonymous • Melbourne Heritage Action, January 23 2017, HELP SAVE THE GREAT WESTERN HOTEL, https://melbourneheritage.org.au/2017/01/23/help-save-the-great-western-hotel/ • Age, 29 June 2017, Apartments to replace another Goldrush-era Melbourne pub facade set to stay, https://www.theage.com.au/n55ictorial/victoria/apartments-to-replace-another-goldrushera-melbourne-but-facade-set-to-stay-20170629-gx1426.html • Public, 3 July 2017, HUMBLE GREAT WESTERN TO GROW 26-STOREY TOWER, https://public.com.au/humble-great-western-grow-26-storey-tower/ • CBD News, 2 August 2017, Great Western Hotel to go, https://cbdnews.com.au/great-western-hotel-go/ • 04 July 2017, Is faux heritage the future?, https://blogs.crikey.com.au/theurbanist/2017/07/04/faux-heritage-future/ 	and the legal and media fraternity, the Great Western Hotel served as a place to meet, socialise and share stories. Regarded as 'old-fashioned', it attracted a clientele seeking the simple traditional pub-style – a bar, good beer, and simple, modestly-priced food. Closure of the hotel in October 2017 was marked by many regulars with farewell visits and online posts expressing a strong sense of connection to the hotel and an appreciation of its ambience, offering a traditional pub style then rare amongst city hotels. (Criterion G)
40.	Former Paramount House	256-260 King Street MELBOURNE VIC 3000	Office. UNLIKELY			
41.	Former Koorie Heritage Trust building and Zander's No.2 Warehouse	295-305 King Street MELBOURNE VIC 3000 (now demolished)	Aboriginal social and other values as former Koorie Heritage Trust (KHT) building, originally purchased for an Aboriginal women's organisation. Aboriginal cultural organisation serving Victorian Aboriginal people. Significant educational and	Victorian Aboriginal community. Wurundjeri.	<p>Koorie Heritage Trust (KHT) moved out of the building in 2015. Wurundjeri Elder Ron Jones has mentioned it numerous times as an important place. He states that the building was purchased by the State Government to accommodate an Aboriginal Women's Association – this may be linked to its purchase in 1968 by the Education Dept – or be post 1974 when the Education Dept moved out?</p> <p>Koorie Heritage Trust was established in 1985 when Uncle Jim Berg, Ron Castan, and Ron Merkel sued the University of Melbourne and the Museum of Victoria for the return of their collections of Indigenous cultural material. They wanted to ensure that the Indigenous community had access to their cultural heritage material <Wikipedia>. Note that the KHT website is more circumspect in its description of the KHT origins.</p> <p>The KHT has a history section–on its website - http://korieheritagetrust.com.au/about-us/history/ - which notes that KHT took up residence here in 2003, moving to its current location in Federation Square in 2015. It notes that: "Our many friends, supporters and community members still fondly remember our King Street home.</p>	The former Koorie Heritage Trust building at 295-305 King Street is of social significance to Aboriginal people and organisations across south-eastern Australia as the first 'permanent' home for the Trust, an organisation which has played a significant role in asserting Aboriginal identity and expressing traditional and contemporary culture. This first real home for KHT is remembered as an important and formative place that enabled the

No.	Place name	Address	Step 1 Preliminary Sieve	Step 2 Community connections	Associations	Social significance (Criterion G)
			<p>public activities were offered from this building. KHT moved.</p> <p>LIKELY</p>		<p>A central replica scar tree that rose from the ground floor reaching almost to the second floor, provided a metaphorical anchor to the building. Cast from a latex mould of the original tree located on Ebenezer Mission Station, the replica tree was created c.1988 for “Koorie”, the Trust’s first major exhibition at Museum Victoria.”</p> <p>“The design of our spaces at Federation Square continue to pay tribute to our time at King Street. In designing our new spaces, Lyons Architecture working with Indigenous Architecture and Design Victoria (IADV), incorporated original design features from King Street into the fabric of our new spaces as memories of our past.”</p> <p>“These original design features include the original metal trees from the ground and first floor permanent exhibition space at King Street, the boomerang design decal on the entrance doors, and Bunjil the creator, which perched atop the replica scar tree. There were other design features of the King Street building that we were unable to bring with us including particularly the replica tree. As a memory of the tree, IADV’s Jefa Greenaway designed a table in the shape of a canoe referencing the scar.</p> <p>In the King Street building, key spaces were also named after people who were a part of the history of the Trust, either an Elder or a highly respected supporter. These people and their memory remain important to us and while we are currently looking at renaming our new spaces using the original names, the people who are honoured are remembered below.”</p> <p>From 1988 t’ 1997 the Trust’s permanent exhibition and Keeping Place, Koorie, was open to the public in the former Museum of Victoria. In 2004 the Trust moved into new premises at 295 King Street, where its Cultural Centre contains a permanent exhibition, art galleries, educational facilities, a library and resource centre, a large multipurpose area and a retail ’hop. The Centre’s motto is Gnokan Danna Murra Kor-Ki (Give me your hand my friend) and Bridge the Cultural Gap.</p> <p>(Reference: Jim Berg And Angela Bishop, Koorie Heritage Trust Inc. in eMelbourne, accessed 12.6.2018.)</p>	<p>creation of an Aboriginal-directed central city focus for Aboriginal culture, stories, history and art. The incorporation of design elements from the King Street premises into the new premises at Federation Square demonstrates the important meanings and memories that remain connected to the King Street building. (Criterion G)</p>
42.	Former Walton and Scott engineering works	307-309 King Street MELBOURNE VIC 3000 (now demolished)	<p>Built for and associated with small scale manufacturing (brass workers and engine-rs) until 1960 - historical importance; since refurbished with new uses.</p> <p>UNLIKELY</p>			
43.	Turn Verein Hall	30-34 La Trobe Street MELBOURNE VIC 3000	<p>Community service club – membership based: Associated with German migration and establishment of cultural facilities. Place of social congregation for this community from 1871-1906.</p> <p>POSSIBLE</p>	<p>Maybe – longstanding connections with two community/cultural groups, both of which survive in some form.</p>	<p>Used by the Grand United Order of Oddfellows (GUOOF) from 1906 until the 1960s. Again, used as a place of social congregation.</p> <p>Uses between 1960s-1998 not known.</p> <p>In 1998 converted to residential apartments.</p> <p>Turn Verein Society amalgamated with another German organisation in c1915 to form Club Tivoli-Deutscher Verein. This organisation continues today in other premises.</p> <p>The GUOOF merged with Manchester Unity in 1985 (another Oddfellows society). Australian Unity as an entity was formed by the merger of the Australian Natives’ Association Friendly Society (ANA) and the Manchester Unity Independent Order of Oddfellows (Manchester Unity) in Victoria in 1993.</p>	<p>Turn Verein Hall is of <u>potential</u> local social significance for its long associations with two significant Victorians community organisations – Club Tivoli and GUOOF. Over a period of around 90 years, this building served as a place of congregation, supporting cultural, social, ritual and celebratory activities. Turn Verein Hall may represent important shared meanings for either or both of the organisations that continue today or for their members. The building may serve as a traditional connection back to the roots of either organisation and thereby contribute to a sense of collective identity. (Draft Criterion G – based on indicative values)</p> <p><i>Research on the social values of this place has been inadequate to justify the</i></p>

No.	Place name	Address	Step 1 Preliminary Sieve	Step 2 Community connections	Associations	Social significance (Criterion G)
						<p><i>application of Criterion G at this time, as the connection between a place and a community being too distant due to the place not fulfilling a specified role for some time.</i></p> <p><i>As a result, Criterion H (Special association with the life or works of a person, or group of persons, of importance in our history [associative significance]) has the potential to be met instead of Criterion G.</i></p>
44.	Former Duke of Kent Hotel	293-299 La Trobe Street MELBOURNE VIC 3000 (now demolished)	Hotels serve as important social/community meeting places. POSSIBLE	Former hotel patrons including former Argus staff. Strong links to 'New Theatre' group which was behind the hotel/ in the beer garden of hotel – hotel also used as a drinking and meeting place.	<p>The Duke of Kent Hotel served as a public drinking house from 1851 until it closed in 2015. The Duke of Kent also offered accommodation, although the number of rooms is not known. When the owner and licensee applied to continue the licence and proposed a major redevelopment in 1927, 'Licensing Inspector Walsh said that the present building was unsatisfactory. He thought that an hotel in the city should have more extensive accommodation than was now provided at the Duke of Kent Hotel' (Argus, 1 November 1927:13). The 1928 redevelopment resulted in a three-storey hotel being constructed to replace the 1851 single storey premises.</p> <p>An adjoining building – a warehouse built in c1928 – was incorporated into the hotel premises probably around 1959. Prior to that the upper storey of the warehouse had served as a performance venue for the New Theatre from 1937-1939 (their first performance venue since the formation of the group); the space was condemned in 1939 and it is assumed may have been unused until the whole warehouse was incorporated into the hotel.</p> <p>New Theatre was a radical group who were known for political plays and debates etc, especially their opposition of fascism in lead up to WWII. Hosted first Australian performance of a Bertold Brecht play.</p> <p>Hotels have and continue to play a distinct role in Australian social and cultural life. J.M. Freeland described hotels 's constituting 'one of the most socially significant, historically valuable, architecturally interesting, and colourful features of Australian society' (REF). While privately owned, hotels serve as communal spaces for the consumption and sale of alcohol, and as providers of accommodation. Hotels also generally offer food, ranging from a simple 'counter' lunch (literally eaten at the counter or bar) to a formal dining rooms to fine dining.</p> <p>Hotels are 'licenced premises' and how they operated was shaped by changing licencing requirements over time. For example, from the early years of the twentieth century there was a statutory limit on the number of hotels in a defined district. At the time of the major refurbishment of the Duke of Kent Hotel in 1928, there were around 100 hotels in Central Melbourne.</p> <p>The Duke of Kent is said to have the oldest continuous [sic] licence in Melbourne, first granted for another city location in 1843" (SMH, 9.7.2014).</p> <p>Within the city – and elsewhere – hotels are commonly located on a corner site, offering different entrances into specific internal spaces – the main bar, a lounge bar, a ladies' lounge. The Duke of Kent appears to have been a relatively traditional hotel, offering a variety of drinking spaces – public bar and ladies lounge – and accomod'tion.</p> <p>Melbourne's hotels, like the Duke of Kent, have and continue to provide informal meeting places to a wide range of community and professional groups, and important to sport, literature, politics and bohemia (Hotels, eMelbourne). Most hotels have a regular clientele or 'community'. The Duke of Kent has had a work-place based community for many years: the Duke of Kent facebook page illustrates many work-related gatherings and farewells (Duke of Kent Hotel, Facebook).</p> <p>The Herald Sun 's column 'Desperately Seeking' provides a snapshot of recent reunions planned for the Duke of Kent:</p> <ul style="list-style-type: none"> • ANZAC Day gatherings • The Duke of Kent and staff of the Argus <p>Comparisons: newspapers and hotels</p> <p>Staff at the other major Melbourne newspapers – The Age, Herald and Weekly Times and the Sun Pictorial – had their own favourite hotels. The Phoenix Hotel (82 Flinders Street) was the favoured watering hole for Herald staff; once owned by Collingwood football legend Lou Richards, the site is now occupied by the Phoenix Apartments. The Sun was published from the same offices in Flinders Street, and it is assumed staff also went to the Phoenix. The Age offices were in Collins Street until 1969, and staff were known to drink at the Australia Hotel (demolished in 1989).</p> <p>Charmaine Clift and George Johnston</p>	<p>The Duke of Kent Hotel is socially significant for its strong and enduring connection with former staff of The Argus newspaper. It is remembered as the favoured 'watering hole' of Argus staff, possibly from the late-1920s when the Duke of Kent Hotel was rebuilt as a three-storey hotel, close to the newly established and purpose-built Argus offices. Stories told about the place by Argus staff reveal they regarded the Duke of Kent Hotel as a 'second office', using the hotel to socialise, have an 'after work' drink, as a place to meet with contacts for stories, and to plan projects, doing editing and generally 'chew the fat'. Reunions of Argus staff have continued from 1958, one year after the Argus closed, through to 2017, and most reunions have been at the Duke of Kent. (Criterion G)</p>

No.	Place name	Address	Step 1 Preliminary Sieve	Step 2 Community connections	Associations	Social significance (Criterion G)
					<p>Charmaine Clift joined the Argus in 1946 and met the war correspondent George Henry Johnston. Their employers disapproved of their relationship and three months later both were summarily dismissed. (http://adb.anu.edu.au/biography/clift-charmian-9764)</p> <p>'One of Australia's greatest writers, George Johnston, conducted his affair with his colleague and literary collaborator, Charmian Clift, in its rooms in the 1940s.' (Herald Sun 28.8.201).</p> <p>References</p> <ul style="list-style-type: none"> • ABC News 2012, Tim'line: the women's movement, accessed on 18.2.2019 at <https://www.abc.net.au/news/2012-03-08/timeline3a-the-women27s-movement/3873294> • The Freeland quote is from emelbourne – it is probably from this publication ... the book is at one of the Moreland Libraries if someone-wants to check - 728.594 FRE • Freeland, J.M. 1966, The Australian pub. Melbourne University Press, Carlton, Vic. • Jim Usher, Interview, 16 February 2019. • Peter Gill, Interview, 16 February 2019. • 'arney, S 2014, 'If you want to aim high, com' up with a plan', Herald Sun (Melbourne, Australia), 28 Aug, p. 45, (online NewsBank). • Usher, Jim (editor) 2007, The Argus: Life and Death of a Newspaper, Australian Scholarly Publishing Pty Ltd, North Melbourne, Vic. • Hotels, eMelbourne: the city past and present, accessed on 3.2.2019 at http://www.emelbourne.net.au/biogs/EM00727b.htm • Duke of Kent Hotel, Facebook, accessed on 10.2.2019 at http://www.facebook.com/pages/Duke-of-Kent-Hotel/130529510328966. 	
45.	Melbourne House	354-360 Little Bourke Street MELBOURNE VIC 3000	Commercial. UNLIKELY			
46.	Former Printcraft House	428-432 Little Bourke Street MELBOURNE VIC 3000	Investigate use and associations up to the present in relation to Danish Club. Have they always been here - and previous premises? What might these premises express about the club and its activities? This may be limited to internal spaces? POSSIBLE	Maybe – Danish Club.	Unlikely – Danish Club only took up residence in building in 2014. Club is over 125 years old however had previously been housed on Beaconsfield Pde in Middle Park for most of that time. Appears as though the Club only occupies part of subject site.	
47.	Downs House	441-443 Little Bourke Street MELBOURNE VIC 3000	Former warehouse. UNLIKELY			
48.	Shop	37 Little Collins Street MELBOURNE VIC 3000	UNLIKLEY			

No.	Place name	Address	Step 1 Preliminary Sieve	Step 2 Community connections	Associations	Social significance (Criterion G)
49.	Former Wenley Motor Garage	39-41 Little Collins Street MELBOURNE VIC 3000	UNLIKELY			
50.	Former Craig, Williamson Pty Ltd complex	57-67 Little Collins Street MELBOURNE VIC 3000	Commercial. UNLIKELY			
51.	Shocko House, former Godfrey's Building	188-194 Little Collins Street MELBOURNE VIC 3000	Godfreys Buildings, built in 1901 with variety of occupants; purchased by CoM in 1959 and used in association with the adjoining substation until its sale in 1996. The name 'Shocko House' dates from then; now residential and shops/food outlets. UNLIKELY			
52.	Collins Gate	377-379 Little Collins Street MELBOURNE VIC 3000	Commercial. UNLIKELY			
53.	Former Law Institute House	382 Little Collins Street MELBOURNE VIC 3000	Historical association with Law Institute of Victoria. UNLIKELY			
54.	Henty House	499-503 Little Collins Street MELBOURNE VIC 3000	Commercial. UNLIKELY			
55.	Warehouses	577-583 Little Collins Street MELBOURNE VIC 3000	UNLIKELY			
56.	Commercial building	582-584 Little Collins Street MELBOURNE VIC 3000	UNLIKELY			
57.	Former Melbourne and Metropolitan Tramways Building	616-622 Little Collins Street MELBOURNE VIC 3000	UNLIKELY			

No.	Place name	Address	Step 1 Preliminary Sieve	Step 2 Community connections	Associations	Social significance (Criterion G)
58.	Warehouse	34-36 Little La Trobe Street MELBOURNE VIC 3000	UNLIKELY			
59.	Warehouse	27-29 Little Lonsdale Street MELBOURNE VIC 3000	UNLIKELY			
60.	Residences	120-122 Little Lonsdale Street MELBOURNE VIC 3000	UNLIKELY			
61.	Former Tuberculosis Bureau	364-370 Little Lonsdale Street MELBOURNE 3000 (now demolished)	UNLIKELY			
62.	Shops	470-472 Little Lonsdale Street MELBOURNE VIC 3000	UNLIKELY			
63.	Residences	474 Little Lonsdale Street MELBOURNE VIC 3000	UNLIKELY			
64.	Shops and residences	53-57 Lonsdale Street MELBOURNE VIC 3000	Place of social congregation. LIKELY	Maybe – associated communities: Melbourne community and Italian community	Restaurants/cafés since 1901, initially in 55-57, then from 1922 in 53-57. Associated with Italian families from 1901, including well known restaurant families – Molina family; David Triaca (1964-1984) trading as Café Latin; and Bill and Cheryl Marchetti (1984 -2001) trad'ng as Marchetti's Latin restaurant. Remains as two cafes today. Upstairs has probably been residential throughout the history of the building. Cafes – 2 in main building, one in rear extension. Continuous use as restaurants/cafes since 1901, and from 1901 to at least 2001 as an Italian restaurant, under various ownerships and names, including by some of Melbourne's best known Italian restaurateur families. Continuous association with Italian restaurateurs. Community.	53-57 Lonsdale Street is of <u>potential</u> local social significance for its long association with Italian restaurants and their clientele for nearly a century (1901-2001), including some of Melbourne's most influential Italian restaurateurs who introduced new cuisines and dining styles to Melbourne. Restaurants such as Triaca's Café Latin (located in these premises from 1964 to 1984 but first established in c1920 as a wine shop at 206 Exhibition Street) and then continu'ng as Marchetti's Latin (1984-2001) are traditional Melbourne dining venues, serving generations of Melbournians and reflecting the celebrated 'Italianisation' of food and wine culture during the twentieth century. (Draft Criterion G – based on indicative values)

No.	Place name	Address	Step 1 Preliminary Sieve	Step 2 Community connections	Associations	Social significance (Criterion G)
						<p>Research on the social values of this place has been inadequate to justify the application of Criterion G at this time, as the connection between a place and a community being too distant due to the place not fulfilling a specified role for some time.</p> <p>As a result, Criterion H (Special association with the life or works of a person, or group of persons, of importance in our history [associative significance]) has the potential to be met instead of Criterion G.</p>
65.	Shops and offices	359-363 Lonsdale Street MELBOURNE VIC 3000	UNLIKELY			
66.	Warehouse	410-412 Lonsdale Street MELBOURNE VIC 3000	UNLIKELY			
67.	Former Andrew Jack, Dyson & Co Pty Ltd	594-610 Lonsdale Street MELBOURNE VIC 3000	Former factory. UNLIKELY			
68.	Former Kantay House	12-18 Meyers Place MELBOURNE VIC 3000	Former factory. UNLIKELY			
69.	The Waiter's Restaurant	20 Meyers Place MELBOURNE VIC 3000	Italian restaurant opened quite early. Place of social congregation. POSSIBLE	Yes – associated communities: Patrons of the restaurants, potentially including Italian waiters.	<p>Associated with: migrant culture, alcohol licensing laws (they sold alcohol after hours) and its use by many high-ranking Victorians (such as parliamentarians and lawyers) due to its proximity to top end of town and its discrete nature. Place was also site of infamous seige. The downstairs bar which operated until the other year (has since been replaced by other bar) had won architectural awards and was a key place in the revival/format'ion of Melbourne's laneway bar culture.</p> <p>The Italian Waiters Club, opened in 1947, was established as a place for waiters, mainly of Italian, Spanish and Greek backgrounds, to come together and eat, drink and play cards after finishing work at their respective restaurants. The owner clandestinely sold alcohol to patrons, at a time when selling alcohol after 6.00pm was illegal in Melbourne. Fitted out with a kitchen in the 1950s, the restaurant became infamous for its clientele, which included politicians, police, journalists and gangsters, due to its isolated location and discreet nature (Cody 2018).</p> <p><u>W R (Wally) Crichton</u>, owner 1952-1959, occupier 1945-c1955:</p> <p>It is likely the Italian Waiters Club was established by Wallace (Wally) Roy Crichton, a well known Melbourne caterer, who owned the building from 1952 to 1959, and whose business occupied the building from 1945 to c1955. Crichton also owned a number of pastry shops in the suburbs in the 1930s and 1940s (Argus 24 July 1945:4).</p> <p>In the 1930s, Crichton advertised his services as 'caterer and hirer' for weddings, dinners and socials, with 'marquees, chairs, crockery etc' for hire from Anzac Hall in Collins Street (Herald 2 December 1933:38; Herald 28 May 1935:18).</p> <p>During the economic depression of the 1930s, Crichton, then president of the Flemington and Kensington branch of the All-For-Australian League, organised a soup kitchen from the Kensington Town Hall that provided about 100 meals a day, mostly to school children (Herald 6 August 1931:12).</p> <p>Crichton was a Melbourne City councillor for the Hopetoun Ward from 1945 to 1954, and was elected general president of the Victorian Chamber of Catering Industries in 1948 (Advocate 19 November 1945:2; Argus 27 August 1954:1; Argus 6 December 1948:3).</p>	The Italian Waiters Club is of social significance for its strong and enduring associations as a Melbourne eating institution, made famous by its 'secret' location, unlicensed drinking, the casalinga style of cooking and as a place to see many renowned Melburnians – politicians, journalists and sometimes underworld figures. It is an important place of informal social congregation for Melburnians, initially created as an informal club by waiters seeking a place to socialise after work, but soon becoming a highly desirable place to those 'in the know', with its anonymity forming part of the attraction. Its social significance is evidenced by its regular, long-term and continuous use as a casalinga style restaurant and informal

No.	Place name	Address	Step 1 Preliminary Sieve	Step 2 Community connections	Associations	Social significance (Criterion G)
					<p>An avid supporter of the Essendon Football Club, Crichton served the club continuously, sometimes in multiple roles, for an unbroken period of 34 years. Crichton was wounded in World War One and lost a leg. This ended any ambition of playing football but instead he became a successful and long-serving club administrator. He was appointed Essendon president 1941 and held the position until his death in 1959. As a mark of the esteem with which Wally Crichton is held, the Essendon Football Club's best and fairest award was renamed the Crichton Medal in his honour (Essendon 2019).</p> <p><u>Sabbadini family</u>, owner 1993-present, occupier 1970s-present:</p> <p>Carlo and Fernanda Sabbadini purchased the Italian Waiters Club, located at 20 Meyers Place, in the late 1970s after they migrated to Australia in 1949 from the Friuli-Venezia-Giulia region in Italy's north. Settling in Fitzroy in 1950, and Carlo started working in Melbourne's hospitality scene. The restaurant came into the spotlight in 1978 when 30 patrons in the restaurant were held under siege. The building was purchased by the Sabbadini family in the 1990s. The Waiters Restaurant continues to operate today under the management of Denis Sabbadini, the son of Carlo and Fernanda Sabbadini (CBD News 30 August 2016, Cody 2018).</p> <p>Online articles</p> <ul style="list-style-type: none"> Melbourn– places to eat - best Italian cafes: How Melbourne became an Italian city outside Italy, http://www.traveller.com.au/the-coffee-loving-mother-who-helped-end-a-restaurant-siege-gtxdts The Age, 'Proud histories', https://www.theage.com.au/lifestyle/proud-histories-20050412-gdzyha.html The Waiter's Club Siege, 1978, http://marvmelb.blogspot.com/2013/02/the-waiters-club-seige.html CBD News, 'Like father, like son', http://cbdnews.com.au/like-father-like-son/ Waiters Restaurant, https://www.br62victoria62.com.au/melbourne/cbd/restaurants/waiters-restaurant# Icon review: The Waiters Restaurant, https://www.goodfood.com.au/the-waiters-restaurant-melbourne/icon-review-the-waiters-restaurant-20180502-h0zj9u The Age, 'Trotter v Chopper, day of judgment', https://www.theage.62victoriaaational/victoria/trotter-v-chopper-day-of-judgment-20121130-2am3m.html 	meeting place for around 55-60 years, and longer if the early club period is included. (Criterion G)
70.	CitiPower former Melbourne City Council substation	10-14 Park Street MELBOURNE VIC 3000	Utility services building. Publicly owned but no public access. UNLIKELY			
71.	Former Princes Bridge Lecture Room	Princes Walk, Birrarung Marr MELBOURNE 3004	Lecture room for electrification of railway but no public access UNLIKELY			
72.	Former Victoria Club building	131-141 Queen Street MELBOURNE VIC 3000	Built for the Victoria Club, and occupied by them for many years. Variety of businesses: gallery, bar, café, training, offices. Victoria Club moved out in 1986. POSSIBLE	Maybe – club members as a cultural group.	<p>The Victoria Club still exists and used to be in the Rialto Building (1986 – to 2008) – they are no longer tenants there. I can't find any current listings. An ASIC search shows Victoria Club as a registered business name but gives no further details except that it was registered on 12/5/2015. (Victorian Club is also registered but is a sporting organisation).</p> <p>Message left at the Racing Museum and Hall of Fame? Re–earch Services - 400 Epsom Road, Flemington–, 1300 139 401 - contact@racingmuseum.com.au</p> <p>Cathcart, Michael, and Kate Darian-Smith (eds), <i>Place your bet: Gambling in Victoria</i>, The Australian Centre, University of Melbourne, Melbourne, 1996</p> <p>In a curious connection ...</p> <p>THOSE in the know say the late racecaller Bill Collins would be delighted. The traditional home of bookmakers and racing identities, the Victorian Club is looking for a new home and the money is on the Champions Australian Racing Museum at Federation Square. The 128-year-old club was forced to move out of the Rialto, its home for 20 years, due to rising rent, and is now based temporarily at the Naval and Military Club. Victorian Club general manager Max Williams told Diary nothing had been signed but the club hoped to relocate to the cobblestoned square e“rly next year. "We looked at a number of options, but th's is the one we're most interested in because of the connection to the "racing industry." (SMH 2008 https://www.smh.com.au/politics/federal/new-home-for-victorian-club-really-fits-the-bill-20080602-2kv0.html accessed 11.6.2018)</p>	The Victoria Club Building is of <u>potential</u> social significance for its long association and use by members of the Victoria Club. The Victoria Club closed around 2008-12 and no longer operates any premises. The Victoria Building was built by and was 'home' to club members – bookmakers - for nearly 60 years, their first permanent club rooms and the location of the event that brought them notoriety, and that may have ultimately impacted the ability of the club to survive.

No.	Place name	Address	Step 1 Preliminary Sieve	Step 2 Community connections	Associations	Social significance (Criterion G)
					<p>The membership of the Victoria Club could comprise a 'community' – we would need to demonstrate that they continue to exist.</p> <p>The Victoria Club has a clear association with the building at 131 Queen Street and because it was their long-term headquarters (the previous being in Bourke St) it may have strong associations for their members or for the organisation as a whole.</p>	<p>(Draft Criterion G – based on indicative values)</p> <p><i>Research on the social values of this place has been inadequate to justify the application of Criterion G at this time, as the connection between a place and a community being too distant due to the place not fulfilling a specified role for some time.</i></p> <p><i>As a result, Criterion H (Special association with the life or works of a person, or group of persons, of importance in our history [associative significance]) has the potential to be met instead of Criterion G.</i></p>
73.	Shop	215 Queen Street MELBOURNE VIC 3000	UNLIKELY			
74.	Former Ridgway Terrace	20 Ridgway Place MELBOURNE VIC 3000	Two-storey residence built in 1898 and remaining a residence today. UNLIKELY			
75.	Melbourne Theosophical Society, former Russell House	124-130 Russell Street MELBOURNE VIC 3000	Later use (1923 to 1972) for social and community service clubs. Place of social congregation. LIKELY	Australian Theosophical Society	<p>Early uses associated with commercial, manufacturing and retail.</p> <p>Australian Theosophical Society chartered 1895; purchased a building at 181-187 Collins St in 1916, and in 1936 built its headquarters there. In 1971 the ATS sold the building to the MCC for the City Square development. After leasing the Athenaeum Hall for a short period, ATS purchased 126 Russell Street and the building was 'completely refurbished' for the Society, with the building reopening in 1975 in this new format. The ground and first floors were the focus for the ATS's activities, and the upper levels were leased. Today retains Theosophical Society Bookshop (or TS Bookshop) and is the home to the Society.</p> <p>The Melbourne Theosophical Society (part of ATS) is an active, membership-based organisation.</p> <p>The Melbourne Theosophical Society has a continuing, long-standing and direct association with this building which was refurbished in 1975 for the Society to enable it to undertake activities for its members. Many of its activities and events are also open to the public. The spaces used by the Society are of primary importance in relation to criterion (g).</p>	124-130 Russell Street is of social significance for its long-standing associations with the Melbourne Theosophical Society as its headquarters and the location of its library, bookshop and meeting spaces. 124-130 Russell Street is of social significance as a long-standing meeting place where those interested in theosophy meet, learn and exchange ideas. (Criterion G)
76.	Shop	166 Russell Street MELBOURNE VIC 3000	Retail shop – currently a beauty salon. Variety of past uses, no recent uses appear likely to have generated a strong or special association. UNLIKELY			
77.	Sanders and Levy building	149-153 Swanston Street MELBOURNE VIC 3000	Shops and commercial. UNLIKELY			

No.	Place name	Address	Step 1 Preliminary Sieve	Step 2 Community connections	Associations	Social significance (Criterion G)
78.	Former Bank of Australasia	152-156 Swanston Street MELBOURNE VIC 3000	Originally a bank, then commercial and retail premises. No long-standing retailers. UNLIKELY			
79.	Shop & dwelling	215-217 Swanston Street MELBOURNE VIC 3000	Shop and residence with variety of occupiers over the years. UNLIKELY			
80.	Former Manchester Unity Oddfellows Building	335-347 Swanston Street MELBOURNE VIC 3000	Currently student accommodation. UNLIKELY			
81.	CitiPower former Melbourne City Council substation	11-27 Tavistock Place MELBOURNE VIC 3000	Utility services: closed as a substation possibly 1995 or later, then used as storage, for band rehearsal space and recently converted into corporate office space for Beon Energy Solutions, a subsidiary of CitiPower. UNLIKELY			
82.	Metropolitan Hotel	263-267 William Street MELBOURNE VIC 3000	Place of social congregation for more than 160 years, providing a meeting place for particular organisations and groups, as well as for informal meetings, social activities and celebrations. POSSIBLE	People from the law courts or Melbourne's 'law precinct' are noted as the clientele of the hotel.	<p>The Metropolitan Hotel is of social significance for its role as a place of social congregation. The social significance is evidenced by the regular, long-term, and continuous use as a hotel – a 'public house' – and continues to serve that function today. Aim of research was to identify the clientele – other research indicated that it was likely to be people from the law courts. In terms of proximity, the hotel is very close to the Melbourne Magistrates Court (233 William St), and not far from the County Court (at 250 William Street since 2002).</p> <p>From 1843, the Supreme Court occupied premises at the corner of Russell and La Trobe streets, next to the Old Melbourne Gaol and with the County Court nearby. In February 1884, new law courts were opened on the south-east corner of William and Lonsdale streets, to house the Supreme Court, the County Court and other courts. In 1969, the County Court moved to the south-west corner of those streets and in 2002 to the north-east corner. http://www.emelbourne.net.au/biogs/EM00413b.htm</p> <p>The Melbourne Magistrates' Court and its predecessors operated on the old Supreme Court site, at the corner of Russell and La Trobe streets, from the early 1890s until moving in 1994 to a new building in the legal precinct, on the north-west corner of William and Lonsdale streets. (http://www.emelbourne.net.au/biogs/EM00413b.htm)</p> <p>Increased legal business led the government to erect a new County Court building in William Street in 1969 (replaced in 2002 by a building on the diagonally opposite corner); (http://www.emelbourne.net.au/biogs/EM00845b.htm)</p> <p>According to e-Melbourne, the Metropolitan Hotel is close to Melbourne's current legal precinct: Melbourne's legal precinct is primarily the area bounded by Collins, William, Lonsdale and Queen streets, in or near which the legal profession, courts and government offices associated with the legal system are concentrated. (http://www.emelbourne.net.au/biogs/EM00845b.htm)</p> <p>Newspapers</p>	The Metropolitan Hotel is of social significance for its long connections with the city, as a place of social congregation for more than 160 years, providing a meeting place for particular organisations and groups, as well as for informal meetings, social activities and celebrations. The social significance of the Metropolitan Hotel is evidenced by the regular, long-term, and continuous use as a hotel – a 'public house' – serving the legal fraternity and court visitors in particular and continuing to serve that function today. (Criterion G).

No.	Place name	Address	Step 1 Preliminary Sieve	Step 2 Community connections	Associations	Social significance (Criterion G)
					<p>Legal connections evidence in newspaper searches. Articles that refer to the hotel include the following.</p> <ul style="list-style-type: none"> • 2017 - 'Y' not join us for our 50th anniversary, Herald Sun, October 15, 2–17, p. 5' • 2016 - Lawyers' pub, Metropolitan Hotel for sale, Simon Johanson, Business section, The Age March 9, 20–6, p. 28. • 2009 - Examples of community events and fund-aisers – • 2007 - Top newsman helped transfer 'frumpish tart' – OBITUARIES, John Lahey, The Age, October 5, 2–07, p. 7. • 2006 - SEE, DRINK AND TASTE VICTORIA, MX (Melbourne, Australia), March 24, 2–06, p. 19 • 2006 - Workers still enjoy a beer, but with caution, REKO –ENNIE, The Age - June 29, 2006, p– 11. • 1998 LAW - WHO SHAPES MELBOURNE, CAROLINE MILBURN, The Age, October 26, 19–8, p. 13. • 1997 - The view from the bar - Can I get you a drink? - The Drinking Issue, Suzanne Brown with Sophie Douez, Sunday Life section, The Age December 14, 1–97, p. 12 • 2013 - When murder takes on a life of its own - NAKED CITY--'DEADLY TRUTH - 'Interview techniques varied from regulation to robust', JOHN SILVESTER, The Age, 31 August 2013, p. 24. 	

Individual postwar places

No.	Place name	Address	Step 1 Preliminary Sieve	Step 2 Community connections	Associations	Social significance (Criterion G)
83.	Hoyts Mid City Cinemas	194-200 Bourke Street MELBOURNE VIC 3000	Former Hoyts cinema. UNLIKELY			
84.	Royal Mail House	253-267 Bourke Street MELBOURNE VIC 3000	Office & commercial – work place. UNLIKELY			
85.	Former Coles and Garrard Building	376-378 Bourke Street MELBOURNE VIC 3000	Retail and office – work place. UNLIKELY			
86.	Former Dalgety House	457-471 Bourke Street MELBOURNE VIC 3000	Office & commercial – work place. UNLIKELY			
87.	Law Institute of Victoria, former London Assurance House	468-470 Bourke Street MELBOURNE VIC 3000	Office – work place. UNLIKELY			
88.	AMP Tower and St James Building Complex	527-555 Bourke Street MELBOURNE VIC 3000	Office & commercial – work place. UNLIKELY			
89.	Office Building	589-603 Bourke Street	Office & commercial – work place.			

No.	Place name	Address	Step 1 Preliminary Sieve	Step 2 Community connections	Associations	Social significance (Criterion G)
		MELBOURNE VIC 3000	UNLIKELY			
90.	Apartment building	13-15 Collins Street MELBOURNE VIC 3000	Private residential apartment – 1960s. UNLIKELY			
91.	Coates Building	18-22 Collins Street MELBOURNE VIC 3000	Office & commercial – work place. UNLIKELY			
92.	Former Reserve Bank of Australia	56-64 Collins Street MELBOURNE VIC 3000	Office & commercial – work place. UNLIKELY			
93.	Former Gilbert Court	100-104 Collins Street MELBOURNE VIC 3000	Office & commercial – work place. UNLIKELY			
94.	Wales Corner	221-231 Collins Street MELBOURNE VIC 3000	Office & commercial – work place. UNLIKELY			
95.	Former Commercial Banking Company of Sydney Building	251-257 Collins Street MELBOURNE VIC 3000	Office & commercial – work place. UNLIKELY			
96.	Former Bank of Adelaide Building	265-269 Collins Street MELBOURNE VIC 3000	Office & commercial – work place. UNLIKELY			
97.	Former Allans Building	276-278 Collins Street MELBOURNE VIC 3000	Office & commercial – work place. UNLIKELY			
98.	Former MLC Building	303-317 Collins Street MELBOURNE VIC 3000	Office & commercial – work place. UNLIKELY			
99.	Former Colonial Mutual Life Assurance Building and plaza with	308-336 Collins Street MELBOURNE VIC 3000	UNLIKELY			

No.	Place name	Address	Step 1 Preliminary Sieve	Step 2 Community connections	Associations	Social significance (Criterion G)
	'Children's Tree' Sculpture					
100.	Former AMP Building	344-350 Collins Street MELBOURNE VIC 3000	Office & commercial – work place. UNLIKELY			
101.	Former Commonwealth Banking Corporation Building	359-373 Collins Street MELBOURNE VIC 3000	Office & commercial – work place. UNLIKELY			
102.	Former Legal & General House	375-383 Collins Street MELBOURNE VIC 3000	Office – work place. UNLIKELY			
103.	Praemium House, former Atlas Assurance building	404-406 Collins Street MELBOURNE VIC 3000	Office – work place. UNLIKELY			
104.	Royal Insurance Group	430-442 Collins Street MELBOURNE VIC 3000	Office – work place. UNLIKELY			
105.	Former Guardian Building	454-456 Collins Street MELBOURNE VIC 3000	Office & commercial – work place. UNLIKELY			
106.	Former Australia-Netherlands House	468-478 Collins Street MELBOURNE VIC 3000	Office & commercial – work place. UNLIKELY			
107.	Office Building	516-520 Collins Street MELBOURNE VIC 3000	Office & commercial – work place. UNLIKELY			
108.	Former Hosies Hotel	1-5 Elizabeth Street MELBOURNE VIC 3000	Hotels serve as important social/community meeting places. POSSIBLE	Hotel patrons – no connections identified beyond occasional use		
109.	Former Australia Pacific House	136-144 Elizabeth Street MELBOURNE VIC 3000	Office & commercial – work place. UNLIKELY			

No.	Place name	Address	Step 1 Preliminary Sieve	Step 2 Community connections	Associations	Social significance (Criterion G)
110.	Former Bryson Centre	174-192 Elizabeth Street MELBOURNE VIC 3000	Office, commercial hotel & commercial – work place. UNLIKELY			
111.	Former Exhibition Towers	174-192 Elizabeth Street MELBOURNE VIC 3000	Private residential UNLIKELY			
112.	Former Batman Automatic Telephone Exchange	376-382 Flinders Lane MELBOURNE VIC 3000	Utility services – work place. UNLIKELY			
113.	Former State Savings Bank	258-264 Little Bourke Street MELBOURNE VIC 3000	Office – work place. UNLIKELY			
114.	Former Methodist Church	130-134 Little Collins Street MELBOURNE VIC 3000	Church administration and meeting rooms POSSIBLE	No longer in Church ownership		
115.	Equitable House	335-349 Little Collins Street MELBOURNE VIC 3000	Office – work place. UNLIKELY			
116.	Cowan House	457-469 Little Collins Street MELBOURNE VIC 3000	Office – work place. UNLIKELY			
117.	Stella Maris Seafarer's Centre	588-600 Little Collins Street MELBOURNE VIC 3000	Potential – Although the building is from the early 1970s, the club has been established in a warehouse formerly there, and the current building was purpose-built and expanded to serve the club. POSSIBLE	Members of the Stella Maris centre – for the continuing use by the centre. The centre was built in 1972 and extended in 1981 to provide welfare services to those in the shipping trade. Members of the Catholic church (St Augustine's) – the seafarers have been always associated with the Catholic church behind the subject site.	(The St Vincent de Paul Society was founded in Australia on 5 March 1854 at St Francis' Church, Lonsdale Street, Melbourne by Fr Gerald Ward. Fr Gerald Archbold Ward was born in London 1806 and migrated to Australia on the 787-ton Digby on 7 September 1850 with Fr Patrick Dunne and 42 other passengers. Fr Ward died the 14 January 1858 at the age of 52. REF https://www.vinnies.org.au/page/About/FAQs/Who_founded_the_St_Vincent_de_Paul_Society_in_Australia/) In 1857 the Victorian Seaman's Mission was founded in Melbourne. In 1906/07 it merged with the organisation that is now known worldwide as the Mission to Seafarers. The first premises for the Mission was on an ex-prison hulk called the Emily anchored in Hudson Bay at Williamstown. The hulk was painted with the title "The Bethel Sailors' Church" but was known as the Bethel Floating Church. By the mid-1890's, there was a definite need to establish a new branch of the Mission in the central Melbourne area, as most ships at this stage were berthing along the Yarra River rather than at Port Melbourne. A decade later, after much negotiation and under the impetus of the Reverend Alfred Gurney Goldsmith, a site was leased from the Melbourne Harbour Trust fronting Australia Wharf in Siddeley Street, near to an existing Sailor's Rest. In 1917 the Mission moved to its current location a short distance away ... (https://missiontoseafarers.com.au/history/) This denominational approach – with both Catholic and Anglican churches offering support to seafarers reflects What does Stella Maris do: Stella Maris centres are part of the Catholic Church's official missionary work in its care of seafarers.	The Stella Maris Seafarer's Centre is of social significance for its strong association with a Catholic community of lay staff and volunteers, and religious staff, that offer a dedicated mission to seafarers through their work at the Centre and at Melbourne port. The Stella Maris Seafarers' Centre was created through the efforts of this community, and the association is long-standing. The social significance of the Stella Maris Seafarer's Centre is reflected through a strong sense of connection and shared community identity along with a sense of ownership and pride in the Centre

No.	Place name	Address	Step 1 Preliminary Sieve	Step 2 Community connections	Associations	Social significance (Criterion G)
					<p>These centres are a key component of the Apostleship of the Sea (AoS), an agency which is operated globally under the auspices of the Pontifical Council for the Pastoral Care of Migrant and Itinerant People in Rome. How many centres in Australia?</p> <p>Mission statement – To provide a 'home away from home' for all seafarers; ensuring the spiritual, social and material needs of seafarers are met – regardless of nationality, ethnicity, faith, gender or social standing.</p> <p>The Apostleship of the Sea provides pastoral care to all seafarers and maintains the Stella Maris Centre as a support base. Ship visitors make primary contact with ships' crews and spend time assisting them in various tasks.</p> <p>Chaplaincy services are coordinated through Stella Maris and offered to seafarers upon request.</p> <p>Stella Maris buses travel to and from the docks constantly and provide a much needed transport service for seafarers.</p> <p>At the Centre, seafarers are provided with an opportunity to communicate with family and loved ones, relax away from their work and living environment, and equip themselves with basic necessities. They are greeted with friendly faces - our staff and volunteers - who provide every possible assistance; naturally, many interesting conversations take place.</p> <p>Who is part of Stella Maris?</p> <p>Throughout its history, Stella Maris has relied on dedicated staff, volunteers, ship visitors and assisting priests, and they continue to care for seafarers with generous hearts - all in the spirit and tradition of the missionary work of the Apostleship of the Sea (http://stellamaris.org.au/)</p>	as a place and the services offered. (Criterion G)
118.	Former AMP Building	402-408 Lonsdale Street MELBOURNE VIC 3000	Office & commercial – work place. UNLIKELY			
119.	Laurens House	414-416 Lonsdale Street MELBOURNE VIC 3000	Primarily offices with variety of tenants and considerable changes over period 1956-present. UNLIKELY			
120.	Lonsdale Exchange Building	447-453 Lonsdale Street MELBOURNE VIC 3000	Utility service. UNLIKELY			
121.	Former Union House	43-51 Queen Street MELBOURNE VIC 3000	Office – work place. UNLIKELY			
122.	Former National Bank of Australasia Stock Exchange Branch	85-91 Queen Street MELBOURNE VIC 3000	Office – work place. UNLIKELY			
123.	Former Ajax House	103-105 Queen Street MELBOURNE 3000	Office – work place. UNLIKELY			
124.	Former RACV Club	111-129 Queen Street MELBOURNE	Community service club – membership based. The RACV	Associated with the RACV organisation, a membership-based	<p>Built for the RACV to serve both as offices and a social club for members with accommodation, bars, lounges and dining areas. The RACV can be considered a cultural group in terms of the definition.</p> <p>Occupied by RACV from 1961 to 2007. RACV has moved its city club and office facilities to 501 Bourke Street.</p>	The former RACV Club building is of social significance for its strong and long-standing

No.	Place name	Address	Step 1 Preliminary Sieve	Step 2 Community connections	Associations	Social significance (Criterion G)
		VIC 3000	<p>developed into a strong advocacy NGO.</p> <p>Place of social congregation.</p> <p>POSSIBLE</p>	club, and club members.	<p>The association has considerable duration and is a direct association.</p> <p>History (from http://www.racv.com.au/, accessed 13.6.2018)</p> <p>The RACV was formed as the Automobile Club of Victoria in 1903, intended as a 'social club for car and motorcycle owners to enjoy motor sports and touring'. The Club created opportunities for its members to engaging with 'motoring' as a leisure activity. The development of club premises in the city was followed by the creation of the Healesville country club in 1952. Today the RACV operates five resorts across Victoria as well as the City Club (now at 501 Bourke Street) and the Healesville Country Club.</p> <p>As well the Club developed road safety programs in schools, advocated for improvements to roads and road safety and established its roadside emergency assistance scheme.</p> <p>(Quote) 'The first Club premises were three rooms rented from the Reform Club, at 243 Collins Street, including a billiard room, reading room and luncheon room/bar. By 1908, increasing membership led to a move to the larger Equitable Building at 91 Elizabeth Street. With female members welcomed to the Club the following year, an afternoon tea room and ladies' lounge were added.'</p> <p>'The Club built its own headquarters at 94 Queen Street in 1925, including a fine dining room and even its own hairdresser. Key postwar developments included the 1952 country club at Healesville, complete with extensive sporting facilities, and new headquarters at 123 Queen Street, which the Club moved to in 1961.'</p> <p>Interviews</p> <p>Contacted two people from the organisation and was advised that:</p> <p>People felt a strong connection to the fmr RACV headquarters;</p> <p>The Club is a social club – so comparable to other clubs – with spaces for socialising, eating, library, billiard room, spaces for larger events, accommodation, sports areas (squash);</p> <p>people used club headquarters to socialise, to meet with colleagues (the building was in the financial district of Melbourne – for many the club was an extension of their office);</p> <p>The event spaces were used for weddings, anniversaries etc for members;</p> <p>It was an old-fashioned club – quite formal and there were many strong relationships between club members and staff (she suggested that these relationships were important for staff, many of whom were long serving – for example the doorman who knew Club members by name; and</p> <p>Club members felt a strong connection to the place, and after it was sold there was a period where the former club rooms were used for a night club and there were police incidents.</p> <p>Newspapers</p> <p>Looked for RACV via News Bank which includes recent media. The most prominent are stories about events – talks, lectures, announcements at the RACV club – along with the significant people in Melbourne society who met there. Clearly the 'clubs' theme is relevant. Articles that refer to the association include the following.</p> <ul style="list-style-type: none"> • 2007 - Past hurts forgotten, a tennis champion celebrates, Carolyn Webb, News section, The Age, 26 October 2007. • 2005 – Stephen Mayne running for RACV Board and conflict over 'declarations' in election material • 2005 – list of facilities in the new club (Bourke St) - Clubs facilities at their fingertips will include: • 2004 - Resurrecting a favourite pastime - SATURDAY READ (Greg Baum, The Age, 13 November 2004, Sport section, p. 2 • 2002 – Spy – Lawrence Money, The Age 26 May 2002, p. 20 • 2002 - 'Laws feed fear as poor go hungry' - FEEDING HABITS, Daniel Silkstone, The Age 7 April 2002, p. 12 • 2001 - STATE WATCH – VICTORIA, Philip Hopkins, Business Section, The Age, 26 March 2001, p. 4 • 2001 - STATE WATCH – VICTORIA, Philip Hopkins, Business Section, The Age, 29 January 2001, p. 4 • 2000 - STATE WATCH – VICTORIA, Business Section, The Age, 1 May 2000, p. 5 • 1999 – A kinder, gentler Jeff? - (PART ONE) – FEATURES, Michael Gordon, The Age, 6 March 1999 • 1998 - Trick or tripe', John Lethlean, Epicure, The Age, 13 October 1998, p. 1 • 1996 – Hospitality in the real world, News section, The Age, 24 January 1996, p. 24. • 1995 - SNAKES AND LADDERS, News Section, The Age, 10 October 1995. • 1995 - The Jan Wade Story, Peter Wilmoth, The Age, 28 May 1995, p. 1. 	<p>association with the RACV Club members, staff and board.</p> <p>Designed as a central city meeting place for members, the club facilities served as a place of social congregation for RACV members for more than 45 years. Members used the Club as a place for business and for personal celebrations and events, resulting in a strong and continuing sense of connection to the premises even after the club had moved to its new premises. (Criterion G)</p>

No.	Place name	Address	Step 1 Preliminary Sieve	Step 2 Community connections	Associations	Social significance (Criterion G)
					<ul style="list-style-type: none"> 1995 - Rising to the challenge to keep the balance, Rachel Buchanan, News Section, The Age, 9 January 1995. 	
125.	Former South British Insurance Company Ltd Building	155-161 Queen Street MELBOURNE VIC 3000	Office – work place. UNLIKELY			
126.	Former Sleigh buildings (H C Sleigh Building & former Sleigh Corner)	158-172 Queen Street MELBOURNE VIC 3000	Office – work place. UNLIKELY			
127.	Former Houston Building	184-192 Queen Street MELBOURNE VIC 3000	Office & commercial – work place. UNLIKELY			
128.	Former Law Department's building	221-231 Queen Street MELBOURNE VIC 3000	Office – work place. UNLIKELY			
129.	Former State Savings Bank of Victoria	233-243 Queen Street MELBOURNE VIC 3000	Office & commercial – work place. UNLIKELY			
130.	Lyceum Club	2-18 Ridgway Place MELBOURNE VIC 3000	Community service club – membership based – for professional women: Place of social congregation. Continuing use as the Lyceum Club. LIKELY	Associated with the Lyceum Club and its members. It is a club for professional women.	<p>The building was built and adapted regularly to meet the changing needs of the club and its membership. The organisation dates to 1912, and the building to 1959. The building was purpose built for the club and is its first permanent home (previous spaces were leased). Construction of the building enabled an expansion of the membership of the club and development of facilities for members.</p> <p>The Lyceum Club, as an organisation has been highly influential in the lives of generations of Victorian women.</p> <p>There is a direct association between the organisation, membership and the building that has endured for nearly 60 years.</p>	The Lyceum Club is of social significance for its strong and enduring association with the organisation and its membership. The building reflects the aspirations and needs of the organisation in providing and sustaining a place of social congregation and intellectual exchange amongst professional women. (Criterion G)
131.	Former Russell Street Automatic Telephone Exchange and Postal Building	114-120 Russell Street MELBOURNE VIC 3000	Utility services, former post office. UNLIKELY			
132.	Treasury Gate	93-101 Spring Street MELBOURNE VIC 3000	Private residential apartment – 1960s. UNLIKELY			

No.	Place name	Address	Step 1 Preliminary Sieve	Step 2 Community connections	Associations	Social significance (Criterion G)
133.	Park Tower	199-207 Spring Street MELBOURNE VIC 3000	Private residential apartment – 1960s. UNLIKELY			
134.	Former State Savings Bank of Victoria	45-63 Swanston Street MELBOURNE VIC 3000	Office & commercial – work place. UNLIKELY			
135.	Former Dillingham Estates House	114-128 William Street MELBOURNE VIC 3000	Office – work place. UNLIKELY			
136.	Office Building	178-188 William Street MELBOURNE VIC 3000	Office & commercial – work place. UNLIKELY			
137.	Nubrik House	269-275 William Street MELBOURNE VIC 3000	Office – work place. UNLIKELY			

Revisions to existing individual heritage overlays

No	Place name	Address	Step 1 Preliminary Sieve	Step 2 Community connections	Associations	Social significance (Criterion G)
138.	Former Melbourne City Council Power Station (HO737)	(Part of) 617-639 Lonsdale Street, 651-669 Lonsdale Street, 602-606 Little Bourke Street and 620-648 Little Bourke Street MELBOURNE	Electricity substation. Utility services building. Publicly owned but no public access. UNLIKELY			
139.	Gothic Chambers and warehouse (HO1005)	418-420 Bourke Street and 3 Kirks Lane MELBOURNE	Retail and commercial. UNLIKELY			
140.	Former Markillie's Prince of Wales Hotel (HO1041)	562-564 Flinders Street and rear in Downie Street MELBOURNE	Now a residential hotel. UNLIKELY			

No	Place name	Address	Step 1 Preliminary Sieve	Step 2 Community connections	Associations	Social significance (Criterion G)
141.	Thomas Warburton Pty Ltd Complex (HO1052)	384-386 Bourke Street, 365-367 Little Bourke Street, 2-6 and 8-14 Rankins Lane MELBOURNE	Industrial and commercial. UNLIKELY			

Precincts

No	Place	Location	Social value
1.	Precinct	Drewery Lane	
2.	Precinct	Flinders Lane East	POSSIBLE - Associated with textile, garment and finishing trades well into 1970s
3.	Precinct	Little Lonsdale Street (precinct extension)	POSSIBLE – Associated with Bennett’s Lane Jazz Club (has since been demolished)
4.	Precinct	Swanston Street North	
5.	Precinct	Swanston Street South	

No	Place name	Address	Step 1 Preliminary Sieve	Step 2 Community connections	Associations	Social significance (Criterion G)
142.	Flinders Lane East	See map and citation	POSSIBLE Section of Flinders lane comprising buildings along the south side of the street from Russell Street east to 145 Flinders lane. It includes several laneways.	Maybe – primarily memory-based association with Melbourne community. ACDC Lane.	<p>Primary use of the buildings historically was as small-scale manufacturing, with new development associated with the ‘rag trade’ from the 1920s creating larger-scale factories. This use declined from the 1960s in Flinders Lane, being replaced by other uses including art-based activities, and more recently residential apartments and offices.</p> <p>Community memory that associates Flinders Lane with the ‘rag trade’ appears to continue to be interpreted via walking tours. A specific connection with the Jewish community is reflected in a current exhibition on the Jewish Museum.</p> <p>Of the lanes within the precinct ACDC Lane is the best known - there should be some reference to the naming of ACDC lane – (http://www.emelbourne.net.au/biogs/EM01680b.htm) and this CoM walk too – (https://whatson.melbourne.vic.gov.au/visitors/Documents/Melbourne_Music_Walk_June2017.pdf)</p> <p>‘In 2008, ACDC Lane contained cafés, restaurants and clubs as well as an installation by Lou Weis and Jan Van Schaik called ‘Over Logo’, and numerous other works of street art. An electrical fire in June 2008 caused some damage to the buildings of ACDC Lane, including the rock ‘n’ roll club ‘Cherry Bar’, but just two days later, the laneway hosted an all-ages rock concert amongst the scorched buildings’ (eMelbourne http://www.emelbourne.net.au/biogs/EM01680b.htm, accessed 11.6.2018)</p> <p>Anticipated nature, duration, continuity</p> <p>Having googled around a bit – I found a few things that offer a bit more social history: (https://artguide.com.au/art-plus/flinders-lane-walk; https://www.theweeklyreview.com.au/domain/1821351-fashionable-flinders-lane/)</p> <p><i>A walk down Flinders Lane reveals much about its fashionable past and the personalities, businesses and buildings that were once part of the rag trade.</i></p> <p><i>Melbourne’s Jewish community played a key role in creating the city’s rag trade – or schmatte business – and elements of this can be seen in the Calling Australia Home exhibition at the Jewish Museum of Australia.</i></p> <p><i>The new permanent exhibition tells some of the stories of generations of Australian Jews and looks at why they came to Melbourne, the lives they built here and how the Jewish community contributed to life in the city, including their leading role in the city’s rag trade.</i></p> <p><i>‘The fashion industry was at its height during the postwar era,’ says heritage architect, Chris Smith, who has led walks along Flinders Lane with Jewish Museum of Australia guide Marie Hirsh. Smith’s father-in-law was Morris Finkelstein, who ran a clothing business and showroom in Flinders Lane.</i></p> <p><i>‘There was the full range of fashion activities in the lane – from button and zipper suppliers to manufacturers, wholesalers and retailers,’ says Smith.</i></p>	Of potential social significance for its associations with the ‘rag trade’ for those involved – business owners, workers and shoppers – including for the Jewish community given their strong postwar associations which endure in memory and have been recently represented in the Calling Australia Home permanent exhibition in the Zelman Cowen Gallery of Australian Jewish History that opened in January 2016. The ‘rag trade’ connections of Flinders Lane may persist in the memory of Melbournians and appears to continue to be recalled through history walks that present this history to new audiences. <p>ACDC Lane has been a popular focus for street art in the city, popular for “physical embodiment of Melbourne’s enduring love affair with dirty, low-down rock ‘n’ roll. Home to the infamous Cherry Bar, where every young boon and swashbuckler has gotten into strife at some stage, this little corner</p>

No	Place name	Address	Step 1 Preliminary Sieve	Step 2 Community connections	Associations	Social significance (Criterion G)
					<p><i>"Rents were cheaper than in the main streets of the city, there were plenty of large warehouses and the lane was conveniently close to the wharves.</i></p> <p><i>"It was a very hard-working part of the city but there were some big society events, too. The annual Gown of the Year awards ceremony was a big affair and organisers would even roll out a red carpet in the lane for that occasion."</i></p> <p>The Jewish Museum reference is - Calling Australia Home is the new permanent exhibition in the Zelman Cowen Gallery of Australian Jewish History. Opened January 2016 (https://www.jewishmuseum.com.au/exhibitions/calling-australia-home/)</p> <p>Association</p> <p>I am not convinced that we could argue a strong case on social significance but suggest instead that there is a bit more in historical significance:</p> <p>renowned for its connection to the 'rag trade' or 'traditionally connected to Melbourne's rag trade' or 'widely recognised as once the home of the city's rag trade' – or 'well known as being the heart of the city's rag trade' - I am trying to get in the idea that people know about it and recognise this aspect of the history without going down the 'strong and special association path'.</p> <p>important associations with Melbourne's Jewish community, with many Jewish family businesses playing a role in the fashion, clothing and manufacturing businesses in Flinders Lane (H – i.e. history)</p>	<p><i>of the city is what kick-started the laneway lifestyle way back when."</i></p> <p>recognised as a has become a focus form street art in the city of Melbourne, (Draft Criterion G – based on indicative values)</p> <p><i>Research on the social values of this place has been inadequate to justify the application of Criterion G at this time</i></p>
143.	Little Lonsdale Street precinct	As pre precinct citation	<p>POSSIBLE</p> <p>Bennetts Lane Jazz Club – 25 Bennetts Lane (Contributory) – does this place create sufficient social value to apply to the whole of the precinct?</p> <p>Note that this place is Contributory so won't have its own citation.</p>	Yes – specifically for 25 Bennetts Lane (Jazz aficionados only)	<p>Past uses have been small scale manufacturing; jazz club for 28 years. Place type would be recognised as public – and attracting a particular audience (cultural group). LIKELY for this specific place.</p> <p>The following notes are my attempt to see if it is currently an active venue!</p> <p>Has a Facebook page – to quote "Bennetts Lane Jazz Club now has a new owner in David Marriner who believes in reassessing what it means to be "the world's best jazz club" (Lonely Planet). We will reopen in our new Flinders Lane premises in 2018 - YAY!"</p> <p>The Jazz Club closed in Feb 2017 (https://www.facebook.com/events/598851653648450/)</p> <p>Some references to its history and meaning:</p> <p>http://www.beat.com.au/music/live-music-venue-bennetts-lane-reopen (appears to be an article from 2017)</p> <p><i>"With a history stretching back over 24 years, Bennetts Lane played host to numerous jazz greats and local legends. Long-time manager Megg Evans will continue to work with the club alongside owner and entrepreneur David Marriner, who acquired Bennetts in early July.</i></p> <p><i>Freshly announced gigs to break in the new Bennetts' stage include performances from Sugarfoot Ramblers, Fem Belling, The Furbelows, Andrew Hagger, The Largerphones and Yvette Johansson.</i></p> <p><i>"We have a great vision for Bennetts Lane Jazz Club to return anew, just as dedicated, refreshed and renewed," said Evans in a statement. Bennetts Lane will open its doors once again on Thursday August 27, with a rumoured Brunswick location. Stay tuned to Beat for more details. "</i></p> <p>Perhaps Wiki – is the clearest - https://en.wikipedia.org/wiki/Bennetts_Lane_Jazz_Club</p> <p>EMelbourne: At the start of the twentieth century, Bennetts Lane was sordid and poorly lit. Police reports document complaints about drunken vagrant men and women in the alleys of the vicinity, and the Chinese residents of Exploration Lane reported frequent robberies and disturbances. In 1928, Bennetts Lane also contained a Salvation Army soup kitchen. In 2008, Bennetts Lane still offers little to look at, but at its far end a popular jazz club has been named in its honour. (http://www.emelbourne.net.au/biogs/EM01707b.htm)</p> <p>Its on Trip Adviser and seems to have reopened in the old location But links to website go to Facebook page and the last event seems to have been a pop-up near St Pauls....</p> <p>The David Marriner website says nothing about reopening - https://marrinergroup.com.au/history - a person from Marriner Group spoke at the second Melbourne Conversations walk and – we could get his details and ring him – he was full-bottle on history! But do we care enough?</p> <p>Its not a venue for the current Melbourne International Jazz Festival 2018 (http://www.melbournejazz.com/) – it may be that the JazzLab – in Brunswick and started by the man who started Bennetts Lane is now 'the' place!</p> <p>Anticipated nature, duration, continuity</p> <p>Reading the history, I am struck by the diversity of migrants who established businesses here in the 1890s-???. This seems – its not about 'immigration' but rather about migration and creating enterprises – this part of the city allowed that to happen (cheap rents??)</p> <p>Association</p>	

No	Place name	Address	Step 1 Preliminary Sieve	Step 2 Community connections	Associations	Social significance (Criterion G)
					<p>Bennett's Lane Jazz Club – 1992 onwards – does not warrant more than a mention as an historical land use – for example as – 'popular jazz club' or 'well-known jazz venue from 1992 onwards.</p> <p>Bennetts Lane has now been demolished.</p>	

A5 BENCHMARKING INTEGRITY FOR BUILT HERITAGE PLACES

Relating integrity to significance

A useful question to ask is whether the place is still **legible** in terms of the values for which it is significant. This is hard to do without the basic information of what the building was used for and when it was built and changed, because it goes beyond the fabric of what is seen.

Determining legibility in terms of the values for which a place is significant is a different question to ‘what is its level of alteration?’ However, the level of alteration still forms part of the consideration of integrity.

CoMMaps provide useful basic information on a place and it is useful to have this as a starting point.

It will commonly be the case that a place within the Hoddle Grid has:

- Historic value (associated with the broad themes and activities that have shaped the Hoddle Grid. (Criterion A)
- Representative value (to what class of place does it belong and is it a seminal or representative example?) This is where the comparative analysis and benchmarking lies. (Criterion D)
- Aesthetic value (what are the particular features or attributes of the place?) These may be tangible or intangible. Aesthetic value is not always about the visual. (Criterion E)

A small number of places may have technical value (Criterion F), and/or social value (Criterion G). Some may have also have associational value (Criterion H) or rarity value (Criterion B).

Common issues for the Hoddle Grid

In looking through many places of a similar type, or even across many types, it is useful to have some benchmarks that indicate what level of integrity a place may possess.

Upper floors

Additional floors on a building may lower integrity if they are visually dominate the historic elevation or where not part of the original design intent. One or two extra floors may be accommodated on a six-storey place without lowering the integrity to a great degree. Two additional floors on a two-storey building may make the heritage values of the place illegible.

Q. Is the class of place still legible (i.e. as an example of a mid-rise building?)

Ground floor alterations

Generally, the city centre has a high degree of alteration to ground floors. There will be very few places with intact shopfronts or entries. The extent will vary considerably but often it is the presence of other changes that will be more important.

Q. Is the ground floor alteration also combined with other alterations to the exterior?

Windows replaced across the whole façade

Many places will have a new set of window frames and glazing across the whole façade. Where the glazing system is an attribute of significance (i.e. a curtain wall office tower) loss of this may be important. Where a set of new window frames have simply been inserted into a masonry wall, this may not be so important, i.e. the windows are not a particular attribute of significance.

Balconies added to the front façade

Balconies added during conversion from office use to residential use may change a place's presentation profoundly and may be a factor in a place not reaching a threshold.

Façade only

A retained façade when the rest of the building has been demolished will rarely make the threshold as a place of significance in its own right. Its integrity is simply too low. An exception might be as part of a precinct if it is one of a related set of places so that it contributes to the precinct.

Refaced or recoated walls

Alterations to the traditional wall surfaces of brick, render or stone may reduce integrity and when combined with other alterations such as window replacement, may fall below threshold.

Benchmarking integrity

Benchmarking integrity is simply a method of comparison across many places to establish where a threshold for recommendation to the Heritage Overlay may be.

This is a comparative exercise for each locality and is in relation to the places being assessed. For the Hoddle Grid and the city centre in its entirety, the benchmark for integrity is quite low given the high degree of change that has happened to the area.

Looking at large numbers of places in typological groups across the Hoddle Grid a three-tier approach to benchmarking integrity has been adopted. This is based on classification into four different building morphologies and their common attributes. It has a three-tier scale of At, Above or Below benchmark.

There will also be exceptions that don't fall neatly into this approach or where there are additional attributes that may elevate a place to meet a threshold.

Building morphology and characteristics

Low Rise (One to three storeys), 1880s - 1910s

Masonry walls

Windows set within the walls

Roof form visible or with parapet

Small openings to ground floor (if manufacturing, residential or office use) or larger areas of glazing (retail use)

Medium Rise (Four to seven storeys), 1920s - 1940s

Masonry walls

Windows set within the walls or in horizontal bands

Ground floor may have larger areas of glazing

High Rise (above 8 storeys), 1950s - 1975

Steel or concrete structure with cladding or exposed concrete frame construction

Windows set within pre-cast panels or curtain wall

Variety of lightweight cladding materials may alternate with glazing to form a façade pattern

Large areas of glazing to ground floor

Benchmark indicators

Type of building	At benchmark	Above benchmark	Below benchmark
Low Rise (One to three storeys)	Original storey height and form legible, may have small-scale additions to upper floor such as those behind a parapet. Windows that reflect the original pattern of fenestration. Frames and sashes may have been replaced. Ground floor changed. Wall surfaces of the original materials.	Original scale maintained -no upper floor additions. Original glazing pattern and good evidence of frames/sashes. Ground floor may be changed but not excessively. Wall surfaces of the original materials.	Original scale not legible e.g. two or more stores added. Glazing pattern considerably changed. Ground floor changed. Wall surfaces changed by coating or recladding. Façade only remains.
Medium Rise (Four to seven storeys)	Original storey height and form legible, may have one or two floors added. Windows that reflect the original pattern of fenestration. Frames and sashes may have been replaced. Ground floor changed. Wall surfaces of the original materials. No balconies added.	Original scale maintained -no upper floor additions. Original glazing pattern and good evidence of frames/sashes. Ground floor may be changed but not excessively. Wall surfaces of the original materials. No balconies added.	Original scale not legible, four or more stores added. Glazing pattern considerably changed. Ground floor changed. Wall surfaces changed by coating or recladding. Balconies added. Façade only.
High Rise (above eight storeys)	Original scale of building legible but may have one or two storeys added. Glazing or curtain wall may have been replaced but still reflects original characteristics. Ground floor changed. No balconies added.	Original scale maintained -no upper floor additions. Original glazing pattern including early curtain wall glazing. Ground floor may be changed but not excessively. Wall surfaces of the original materials.	Original scale not legible. Curtain wall replaced, and glazing pattern considerably changed. Ground floor changed. Wall surfaces changed by recladding. Balconies added.

A6 PLACES NOT RECOMMENDED FOR HERITAGE OVERLAY

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Introduction

This document identifies places that were nominated for inclusion in the Hoddle Grid Heritage Review, but which were not progressed for assessment, and the reasons why. The reasons include one or more of the following:

- Substantially altered.
- Low integrity.
- Low architectural quality.
- Comparable with Contributory places in a precinct but not warranting an individual Heritage Overlay.
- Theme or place type represented in the Heritage Overlay.
- Demolished.



The document does not include:



- laneways, open spaces, streets or infrastructure such as cast iron urinals.
- places already included in the Heritage Overlay or the VHR.
- places built after 1975.
- places outside of the study area.

Extant places not progressed for assessment

Victorian (1851-1901)

<p>Property Name / Address / Property ID</p> <p>How the place was Identified</p>	<p>Photo</p>	<p>Date of Construction</p> <p>Explanation for exclusion</p>
<p>1. Saracen's Head Hotel / 387-391 Bourke Street / 541400</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985)</p> <p>Nominated</p>		<p>Date of construction: 1875, incorporating elements from 1847.</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity.
<p>2. 608-610 Collins Street / 102111</p> <p>Nominated</p>		<p>Date of construction: 1872</p> <ul style="list-style-type: none"> - Substantially rebuilt in 1912 and subsequently altered - Low integrity.

Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>3. 11 Coromandel Place / 102190</p> <p>Identified in City of Melbourne internal review</p>		<p>Date of construction: not confirmed</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity.
<p>4. 54 Hayward Lane / 516675</p> <p>Identified in City of Melbourne internal review</p>		<p>Date of construction: not confirmed (MMBW 1895 & Mashlstedt 1923 show same building footprint)</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered (Refurbished in 1986) - Low integrity. - Low architectural quality.

Property Name / Address / Property ID	Photo	Date of Construction
How the place was Identified		Explanation for exclusion
<p>5. 56 Hayward Lane / 516674</p> <p>Identified in City of Melbourne internal review</p>		<p>Date of construction: not confirmed (MMBW 1895 & Mashlstedt 1923 show same building footprint)</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered (Refurbished in 1986) - Low integrity. - Low architectural quality.
<p>6. 58 Hayward Lane / 516673</p> <p>Identified in City of Melbourne internal review</p>		<p>Date of construction: not confirmed (MMBW 1895 & Mashlstedt 1923 show same building footprint)</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered (Refurbished in 1986) - Low integrity. - Low architectural quality.



Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>7. 60 Hayward Lane / 516672</p> <p>Identified in City of Melbourne Internal review</p>		<p>Date of construction: not confirmed (MMBW 1895 & Mashlstedt 1923 show same building footprint)</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered (Refurbished in 1986) - Low integrity. - Low architectural quality.
<p>8. 184-186 King Street / 105388 & 105389</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: 1866</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Likely to be Contributory within an intact streetscape or precinct. - Individual HO not warranted.



<p>Property Name / Address / Property ID</p> <p>How the place was Identified</p>	<p>Photo</p>	<p>Date of Construction</p> <p>Explanation for exclusion</p>
<p>9. 273-275 King Street / 105316 & 105317</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: 1873</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Likely to be Contributory within an intact streetscape or precinct. - Individual HO not warranted.
<p>10. (Rear of) Kilkenny Inn / 248-250 King Street / 105378</p> <p>Contains two buildings:</p> <ul style="list-style-type: none"> - Corner hotel 1915 - 576-578 Lonsdale Street 1889 <p>248-250 King Street and 576-578 Lonsdale Street identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>	 	<p>Date of construction:</p> <ul style="list-style-type: none"> - Corner hotel built 1915 - 576-578 Lonsdale Street built 1889 <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. 

Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>11. Hotel Sophia / 277-287 King Street / 105318</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p> <p>Nominated</p>		<p>Date of construction: 1878</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity.
<p>12. Victorian Bond Store / 548-558 Little Bourke Street & 565 Lonsdale Street / 105861</p> <p>Identified in a previous heritage review (Central City Heritage Review, 1993)</p> <p>Identified in City of Melbourne internal review</p>		<p>Date of construction: 1887, 1985</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Excluded from Amendment (mapping correction required only) - Rear part included within HO700 (to be re-mapped)



Property Name / Address / Property ID	Photo	Date of Construction
How the place was Identified		Explanation for exclusion
<p>13. 378-380 Little Collins Street / 105958</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985)</p> <p>Nominated</p>		<p>Date of construction: not confirmed</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity.
<p>14. 421-423 Little Collins Street / 105932</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: c1878-1879</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered.

<p>Property Name / Address / Property ID</p> <p>How the place was Identified</p>	<p>Photo</p>	<p>Date of Construction</p> <p>Explanation for exclusion</p>
<p>15. 46 Little La Trobe Street / 105985</p> <p>Nominated</p>		<p>Date of construction: not confirmed</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity.
<p>16. 333-335 La Trobe Street / 105454</p> <p>Identified in City of Melbourne internal review</p>		<p>Date of construction: 1873</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered - Theme or place type already well represented in the Heritage Overlay by better examples.

<p>Property Name / Address / Property ID</p> <p>How the place was Identified</p>	<p>Photo</p>	<p>Date of Construction</p> <p>Explanation for exclusion</p>
<p>17. 38 Lonsdale Street / 110715</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p> <p>Identified in City of Melbourne internal review</p>		<p>Date of construction: not confirmed</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered in the 1950s. - Low architectural quality - Low integrity.
<p>18. 10-16 McKillop Street / 106375</p> <p><i>Also included in interwar section (12 McKillop refaced in 1920s, 14 McKillop Street refaced 1930s)</i></p> <p>Identified in a previous heritage review (Central City Heritage Review, 1993)</p> <p>Nominated</p>		<p>Date of construction: 1889</p> <ul style="list-style-type: none"> - No. 12 – refaced 1920s - No. 14 – refaced 1930s <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity. - Low architectural quality.



<p>Property Name / Address / Property ID</p> <p>How the place was Identified</p>	<p>Photo</p>	<p>Date of Construction</p> <p>Explanation for exclusion</p>
<p>19. 162-164 Russell Street / 108587</p> <p>Identified in a previous heritage review (Central City Heritage Review, 1993)</p>		<p>Date of construction: c1874-1880</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Comparable with Contributory places in a precinct. - Individual HO not warranted. - Theme or place type already well represented in the Heritage Overlay by better examples.
<p>20. 248-250 Russell Street / 108579</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p> <p>Nominated</p>		<p>Date of construction: early Victorian</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Comparable with Contributory places in a precinct. - Does not warrant individual Heritage Overlay.


<p>Property Name / Address / Property ID</p> <p>How the place was Identified</p>	<p>Photo</p>	<p>Date of Construction</p> <p>Explanation for exclusion</p>
<p>21. 264-266 Russell Street / 108575</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p> <p>Nominated</p>		<p>Date of construction: 1889</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Comparable with Contributory places in a precinct. - Does not warrant individual Heritage Overlay.
<p>22. 272 Russell Street / 108572</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985)</p>		<p>Date of construction: 1873</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Not enough evidence to recommend assessment.



Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>23. 296-298 Russell Street / 108568</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: 1874</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Comparable with Contributory places in a precinct. - Does not warrant individual Heritage Overlay.
<p>24. Great Southern Hotel / 44-64 Spencer Street / 108970</p> <p><i>Also included in interwar section (578-584 Flinders Lane built 1886, 44-54 Spencer Street built 1880 and 58-62 Spencer Street built mid 1920s)</i></p> <p>Three buildings:</p> <ul style="list-style-type: none"> - 578-584 Flinders Lane 1886 - 44-54 Spencer Street 1880 - 58-62 Spencer Street 1920s <p>578-584 Flinders Lane Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p> <p>Nominated</p>		<p>Date of construction:</p> <ul style="list-style-type: none"> - 578-584 Flinders Lane 1886 - 44-54 Spencer Street 1880 - 58-62 Spencer Street 1920s <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Low integrity. - Low architectural quality. - Theme (railway) already well represented in the Heritage Overlay by better examples.

<p>Property Name / Address / Property ID</p> <p>How the place was Identified</p>	<p>Photo</p>	<p>Date of Construction</p> <p>Explanation for exclusion</p>
<p>25. Royal Antediluvian Order of Buffaloes Grand Lodge of Victoria / 22 Sutherland Street / 109253</p> <p>Identified in a previous heritage review (Central City Heritage Review, 1993)</p>		<p>Date of construction: 1883, 1953</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity. - No tangible evidence remaining that overtly connects the RAOB to the place.
<p>26. Halkett House / 11-17 Victoria Street / 109676</p> <p>In initial Master List. Previously graded D. Previous study not specified.</p>		<p>Date of construction: c1869</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity.



Federation/Edwardian (1902-c1918)

<p>Property Name / Address / Property ID</p> <p>How the place was Identified</p>	<p>Photo</p>	<p>Date of Construction</p> <p>Explanation for exclusion</p>
<p>27. Croft Institute / 21-25 Croft Alley / 101216</p> <p>Nominated</p>		<p>Date of construction: 1919</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Comparable with Contributory places in a precinct. - Does not warrant individual Heritage Overlay.
<p>28. JB HI-FI / 239-243 Elizabeth Street / 103189</p> <p>Identified in City of Melbourne Internal review</p>		<p>Date of construction: late Victorian</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity. - Low architectural quality. - Theme or place type represented in the Heritage Overlay.



Property Name / Address / Property ID	Photo	Date of Construction
How the place was Identified		Explanation for exclusion
<p>29. Cecil Walker Cycles / 395-397 Elizabeth Street / 103217</p> <p>Identified in City of Melbourne Internal review</p>		<p>Date of construction: 1916</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Comparable with Contributory places in a precinct. - Does not warrant individual Heritage Overlay.
<p>30. 188-202 King Street (rear) / 592048</p> <p><i>Also included in interwar section (188 King Street built 1926, 192-194 King Street built 1917)</i></p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction:</p> <ul style="list-style-type: none"> - 188 King Street built 1926 - 192-194 King Street built 1917 <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Warehouses incorporated into a development of 2004. - Comparable with Contributory places in a precinct. - Does not warrant individual Heritage Overlay.

Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>31. 209-211 King Street / 105309</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: 1909</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Comparable with Contributory places in a precinct. - Does not warrant individual Heritage Overlay.
<p>32. Tramway Union Building / 232 King Street / 105380</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: 1916</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Not sufficiently strong association to warrant inclusion under Criteria A or H. - Comparable with Contributory places in a precinct. - Does not warrant individual Heritage Overlay.

<p>Property Name / Address / Property ID</p> <p>How the place was Identified</p>	<p>Photo</p>	<p>Date of Construction</p> <p>Explanation for exclusion</p>
<p>33. 318 King Street / 105371</p> <p>Identified in City of Melbourne internal review</p>		<p>Date of construction:</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Low architectural quality. - Low integrity.
<p>34. La Trobe Street Gallery / 301 La Trobe Street / 105450</p> <p>Identified in City of Melbourne internal review</p>		<p>Date of construction:</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity. - Low architectural quality. - Theme is represented by other places already on HO.
<p>35. 42-50 La Trobe Street / 105495</p> <p>42-44 La Trobe Street and 46-50 La Trobe Street both identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction:</p> <ul style="list-style-type: none"> - 42-44 La Trobe Street built 1915 - 46-50 La Trobe Street built 1915 <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Recent development, 42-44 La Trobe Street has been demolished, 46-50 La Trobe Street only façade retained.
<p>36. Sorry Grandma / 590-592 Little Bourke Street / 105858</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985)</p>		<p>Date of construction: 1916</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Comparable with Contributory places in a precinct. - Does not warrant individual Heritage Overlay.

Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>37. 62-66 Little Collins Street / 105968</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: by 1912</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Comparable with Contributory places in a precinct. - Does not warrant individual Heritage Overlay.
<p>38. Melbourne Cyclorama Company / 166-186 Little Collins Street / 105965</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: 1908 (façade)</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity.


Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>39. 400-404 Little Collins Street / 108112</p> <p>Identified as part of the Queen Street Precinct</p>		<p>Date of construction: 1913</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - In 1960 it was completely refurbished including substantial changes to the facade. In 1995 it was refurbished and subdivided. Subdivided further in 1999 and converted to residential units on the upper floors. - Substantially altered. - Does not warrant individual Heritage Overlay.
<p>40. 62-64 Little La Trobe Street / 105983</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: not confirmed.</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Potential contributory place in precinct. - Does not warrant individual Heritage Overlay. - Low architectural quality.
<p>41. 70-72 Little La Trobe Street / 105981</p> <p>Identified in City of Melbourne internal review</p>		<p>Date of construction: 1899</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Late example of the type. - Better examples already in the Heritage Overlay. - Substantially altered. - Low integrity.

Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>42. 10-22 Manton Lane / 106429</p> <p>Nominated</p>		<p>Date of construction: not confirmed.</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Comparable with Contributory places in a precinct. - Does not warrant individual Heritage Overlay.
<p>43. 22 Punch Lane / 107766</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: c1900</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered - Low architectural quality - Low integrity - Upstairs balcony may have been open at some stage

Property Name / Address / Property ID	Photo	Date of Construction	Explanation for exclusion
How the place was Identified			
<p>44. 207-213 Queen Street / 108076</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: 1910c</p>	<p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered - Low integrity
<p>45. 260-264 Queen Street / 108096</p> <p>Nominated</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: not confirmed.</p>	<p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered - Comparable with Contributory places in a precinct. - Does not warrant individual Heritage Overlay.
<p>46. 122 Russell St / 108590</p> <p>Identified in City of Melbourne Internal review</p>		<p>Date of construction: Around 1900</p>	<p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity. - Low architectural quality.



Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>47. 260-262 Russell Street / 108576</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: 1907</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Comparable with Contributory places in a precinct. - Does not warrant individual Heritage Overlay.

Interwar (c1919-c1940)




Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>48. Grant's Warehouse / 47-49 A'Beckett Street / 100152</p> <p>Nominated</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993, Review of Heritage Overlay listings in the CBD, 2002)</p>		<p>Date of construction: 1923</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Low integrity - Low architectural quality - Theme is represented by other examples already on HO.
<p>49. 51-53 A'Beckett Street / 100153</p> <p>Nominated</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993, Review of Heritage Overlay listings in the CBD, 200)</p>		<p>Date of construction: 1923</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity. - Low architectural quality. - Theme is represented by other examples already on HO.
<p>50. Former Bercy Cinema / 124-128 Bourke Street / 101217</p> <p>Identified in City of Melbourne internal review</p>		<p>Date of construction: 1920s</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - May have historic value as part of Bourke Street's cinema history. - Low integrity (the 1920s building).

Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>51. 165 Bourke Street / 101123</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: 1922</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - An addition on the top. - Low integrity. - Low architectural quality.
<p>52. Midtown Melbourne / 246-260 Bourke Street / 101199</p> <p>Identified in a previous heritage review (under address 184-206 Swanston Street - Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p> <p>Identified in City of Melbourne Internal review</p>		<p>Date of construction: 1930s (refurbished 1998)</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered - Low integrity - Low architectural quality
<p>53. 388 Elizabeth Street / 103305</p> <p>Identified in City of Melbourne internal review</p>		<p>Date of construction: c1920, not confirmed</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Low integrity - Low architectural quality - Theme is represented by other places already on HO.

Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>54. City Edge Apartments / 399-411 Elizabeth Street / 103218</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: 1934</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Modern three-storey addition without setback, non-original windows - see yellow part of building - Substantially altered
<p>55. Rear of Adina Apartments / 84-94 Flinders Street / 574438</p> <p>Nominated</p>		<p>Date of construction: c1920s</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Low architectural quality.
<p>56. 179 King Street / 105302</p> <p>Identified in a previous heritage review</p>		<p>Date of construction: 1928</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Comparable with Contributory places in a precinct. - Does not warrant individual Heritage Overlay.

Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>57. 181-183 King Street / 105303</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: around 1920</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Comparable with Contributory places in a precinct. - Does not warrant individual Heritage Overlay.
<p>58. 188-202 King Street (rear) / 592048</p> <p><i>Also included in Edwardian section (188 King Street built 1926, 192-194 King Street built 1917)</i></p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction:</p> <ul style="list-style-type: none"> - 188 King Street built 1926 - 192-194 King Street built 1917 <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Warehouses incorporated into a development of 2004 - Comparable with Contributory places in a precinct. - Does not warrant individual Heritage Overlay.

Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>59. 189-195 King Street / 105306</p> <p>Identified in a previous heritage review (under address 193-195 King Street- Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: 1921</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Comparable with Contributory places in a precinct. - Does not warrant individual Heritage Overlay.
<p>60. 197-199 King Street / 105307</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: 1925</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Comparable with Contributory places in a precinct. - Does not warrant individual Heritage Overlay.
<p>61. 212-224 King Street / 105383</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: 1937</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - very altered, new glazing and wall coating - Substantially altered - Low integrity - Low architectural quality
<p>62. 217-219 King Street / 105311</p> <p>Identified as part of King Street Precinct</p>		<p>Date of construction: 1924</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Comparable with Contributory places in a precinct.

Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
		<ul style="list-style-type: none"> - Does not warrant individual Heritage Overlay.
<p>63. The Wiltshire / 290-300 King Street / 105374</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: 1923</p> <ul style="list-style-type: none"> - Used as the PMG Parcels Office from 1948. - Refurbished, subdivided and converted to apartments in 1999. <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Low integrity. - Low architectural quality.
<p>64. 324 King Street / 105370</p> <p>Identified in City of Melbourne internal review</p>		<p>Date of construction: 1924</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Low integrity. - Low architectural quality.
<p>65. La Trobe Terrace / 123-129 La Trobe Street Melbourne VIC / 105440</p> <p><i>Also included in postwar section (123 La Trobe Street built 1935, 131 La Trobe Street built 1946)</i></p> <p>Nominated</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central</p>		<p>Date of construction:</p> <ul style="list-style-type: none"> - 123 La Trobe Street 1935 - 131 La Trobe Street 1946 <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered, defaced E W Tilley Buildings. - Low integrity. - Low architectural quality.

Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
City Heritage Review, 1993)		
66. 360 La Trobe Street / 105480 Identified in City of Melbourne internal review		<p>Date of construction: 1923</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity. - Low architectural quality. - Theme is represented by other places already on HO.
67. Hudson on La Trobe Apartments / 394-400 La Trobe Street / 105475 Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)		<p>Date of construction: 1929</p> <ul style="list-style-type: none"> - Converted to apartments in 1998 <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity. - Low architectural quality.



Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>68. Empire Apartments (Australian Building) / 402-408 La Trobe Street Melbourne VIC / 105474</p> <p>Nominated</p> <p>Identified in a previous heritage review (Central City Heritage Review, 1993)</p>		<p>Date of construction: 1928</p> <ul style="list-style-type: none"> - Six story office converted to apartments and with additional floors added <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - extensively altered. - Low integrity. - Low architectural quality.
<p>69. Excelsior / 384-390 Little Collins Street / 105956</p> <p>Nominated</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: 1939</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Part of Guildford and Hardware Laneways Study. - Altered: balcony added. - Low integrity. - Low architectural quality. - Theme is represented by other examples already on HO.
<p>70. 65-69 Little La Trobe Street / 105980</p> <p>Identified in City of Melbourne internal review</p>		<p>Date of construction:</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Only skin. - Substantially altered. - Low integrity. - Low architectural quality.


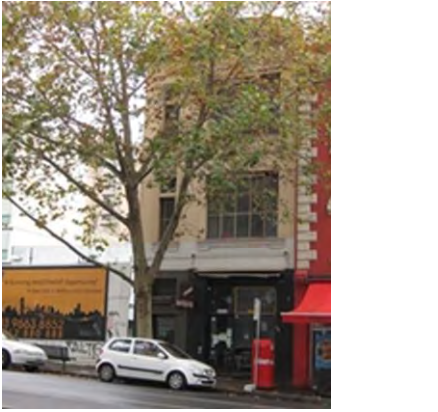
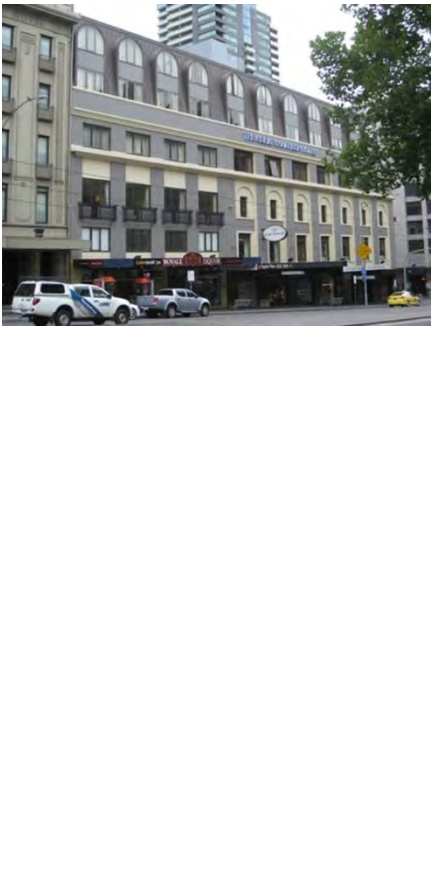
Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>71. 42-44 Little La Trobe Street / 105986</p> <p>Nominated</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: 1929</p> <ul style="list-style-type: none"> - Converted in 2005 <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Comparable with Contributory places in a precinct. - Does not warrant individual Heritage Overlay.
<p>72. 302-304 Little Lonsdale Street / 106042</p> <p>Nominated</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: 1922</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Part of Guildford and Hardware Laneways study - Low integrity. - Low architectural quality. - Theme or place type is represented by other examples already on HO.

Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>73. 322 Little Lonsdale Street / 106038</p> <p>Identified in City of Melbourne internal review</p>		<p>Date of construction: 1928</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Low integrity. - Low architectural quality.
<p>74. 361-365 Little Lonsdale Street / 106014</p> <p>Nominated</p>		<p>Date of construction: c1920s</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Low integrity. - Theme or place type is represented by other examples already on HO.

Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>75. 563 Little Lonsdale / 106025</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: 1923</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Comparable with Contributory places in a precinct. - Does not warrant individual Heritage Overlay.
<p>76. 355-357 Lonsdale Street / 105699</p> <p>Nominated</p>		<p>Date of construction: 1920</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity.
<p>77. Askew House / 364-372 Lonsdale Street / 105742</p> <p>Nominated</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: 1937</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity. - Low architectural quality. - Theme is represented by other examples already on HO.

<p>Property Name / Address / Property ID</p> <p>How the place was Identified</p>	<p>Photo</p>	<p>Date of Construction</p> <p>Explanation for exclusion</p>
<p>78. Universal Chambers / 572-574 Lonsdale Street / 105721</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: not confirmed</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity. - Low architectural quality.
<p>79. Men's Gallery / 597- 603 Lonsdale Street / 105716</p> <p>Nominated</p>		<p>Date of construction: 1928</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity. - Low architectural quality. - Unlikely to have social values.
<p>80. Substation / 17 Meyers Place / 106558</p> <p>Identified in City of Melbourne internal review</p>		<p>Date of construction: 1936</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Low architectural quality. - Theme is represented by other places already on HO.



Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>81. 10-16 McKillop Street / 106375</p> <p><i>Also included in Victorian section (both buildings originally constructed in 1889)</i></p> <p>Nominated</p>		<p>Date of construction: 1889</p> <ul style="list-style-type: none"> - No. 12 – refaced 1920s - No. 14 – refaced 1930s <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity. - Low architectural quality.
<p>82. Substation 113 / 12-14 Russell Place / 111393</p> <p>Identified in City of Melbourne internal review</p>		<p>Date of construction: 1930</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Low architectural quality. - Theme is represented by other places already on HO.



Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>83. 132-134 Russell Street / 108588</p> <p>Identified in City of Melbourne internal review</p>		<p>Date of construction: 1920s</p> <ul style="list-style-type: none"> - Original shopfront, altered upper storey <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity. - Low architectural quality.
<p>84. 300 Russell Street / 108567</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: 1925</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Comparable with Contributory places in a precinct. - Does not warrant individual Heritage Overlay.
<p>85. Great Southern Hotel / 44-64 Spencer Street / 108970</p> <p><i>Also included in Victorian section (578-584 Flinders Lane built 1886, 44-54 Spencer Street built 1880 and 58-62 Spencer Street built mid 1920s)</i></p> <p>Nominated</p> <p>Three buildings:</p> <ul style="list-style-type: none"> - 578-584 Flinders Lane 1886 - 44-54 Spencer Street 1880 - 58-62 Spencer Street 1920s <p>578-584 Flinders Lane Identified in a previous heritage review (Central Activities District Conservation</p>		<p>Date of construction:</p> <ul style="list-style-type: none"> - 578-584 Flinders Lane built 1886 - 44-54 Spencer Street built 1880 - 58-62 Spencer Street built mid 1920s <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Low integrity. - Low architectural quality. - Theme (railway) is represented by other examples already on HO.

Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
Study, 1985, Central City Heritage Review, 1993)		



Postwar (1945-1975)


Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>86. Wilder House / 41-45 A'Beckett Street / 100151 Nomination</p>		<p>Date of construction: 1955 Explanation for exclusion:</p> <ul style="list-style-type: none"> - Late example of the type. - Better and earlier examples represented in the Heritage Overlay. - Does not warrant individual Heritage Overlay.
<p>87. 169 Bourke Street / 101124 Identified in the City of Melbourne internal review</p>		<p>Date of construction: 1960</p> <ul style="list-style-type: none"> - Three storey shop with alterations to shopfront 2011. Upper level glazing has been replaced. <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Low architectural quality. - Comparable with Contributory places in a precinct. - Does not warrant individual Heritage Overlay.
<p>88. 449-455 Bourke Street / 108070 Identified in previous heritage review (Central Activities District Conservation Study, 1985)</p>		<p>Date of construction: 1961 Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered (1991) - Comparable with Contributory places in a precinct. - Does not warrant individual Heritage Overlay.




Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>89. 458-466 Bourke Street / 101182</p> <p>Identified in previous heritage review (Central Activities District Conservation Study, 1985)</p> <p>Identified by GJM in field work.</p>		<p>Date of construction: 1965</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Re-cladding of spandrels in an unsympathetic material has substantially altered the original design intent. - Diminished architectural integrity.
<p>90. Marland House / 562-574 Bourke Street / 101173</p> <p>In initial Master List. Previously graded D. Previous study not specified.</p>		<p>Date of construction: 1972</p> <ul style="list-style-type: none"> - Office tower refurbished including re-cladding of the façade between 1997 and 2003. <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. Low integrity. - Does not warrant individual Heritage Overlay.




Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>91. The Mark on Collins Apartments / 319-325 Collins Street / 110763</p> <p>Identified in previous heritage review (CAD Conservation Study 1985, Central City Heritage Study Review 1993).</p>		<p>Date of construction: 1965</p> <ul style="list-style-type: none"> - A 13 storey building formerly known as Embank House. This place has been converted to apartments and has additional floors and balconies added and the ground floor remodelled <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity. - Does not warrant individual Heritage Overlay.
<p>92. 351-357 Collins Street / 102091</p> <p>Identified in previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: 1968</p> <ul style="list-style-type: none"> - 23 storey precast office building designed by Buchan, Laird & Buchan. The façade has been reclad with glass and the ground floor altered. <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - - Substantially altered. - Low integrity. <p>Does not warrant individual Heritage Overlay.</p>

Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>93. 352-358 Collins Street / 102134</p> <p>Identified in previous heritage review (CAD Conservation Study 1985, Central City Heritage Study Review 1993).</p> <p>Nominated</p>		<p>Date of construction: 1969 or 1973 (not confirmed)</p> <ul style="list-style-type: none"> - 17 storey office tower. It is a late example of a modern office tower and possesses little architectural merit. The ground floor has been altered. <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Low architectural quality. - Late example of the type. - Does not warrant individual Heritage Overlay.
<p>94. 408-410 Collins Street / 102128</p> <p>Identified in previous heritage review (Central Activities District Conservation Study, 1985, Review of Heritage Overlay listings in the CBD, 2002)</p>		<p>Date of construction: 1957</p> <ul style="list-style-type: none"> - Facade which features a glass curtain wall was refurbished in 1987. <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity.

Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>95. Collins Street Tower / 480-490 Collins Street / 102118</p> <p>Identified in previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: 1966</p> <ul style="list-style-type: none"> - A 9-storey office tower built for the State Insurance Office. It was refurbished and further 9 storeys added in 1972. In 2005 it was refurbished and 2 levels added. The plaza was infilled with a 3 level podium. <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity.
<p>96. 31-39 Elizabeth Street / 103172</p> <p>Identified by GJM in field work.</p>		<p>Date of construction: c1963</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Modifications to the building have diminished the architectural integrity of the place. - Most impactful change has been the rendering of the originally exposed brick facades.




Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>97. Orbit House / 183 Elizabeth Street / 103179</p> <p>Identified in the City of Melbourne internal review</p>		<p>Date of construction: c1960s</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity. - Does not warrant individual Heritage Overlay.
<p>98. 49-51 Exhibition Street / 103594</p> <p>Identified in previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: 1967</p> <ul style="list-style-type: none"> - An 8 storey office building and subdivided in 1996. The glazing has been replaced. <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Low architectural quality. - Does not warrant individual Heritage Overlay.

Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>99. 96-102 Exhibition Street / 103628</p> <p>Identified in previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: 1965</p> <ul style="list-style-type: none"> - 11-storey building refurbished in 2003 with the façade replaced. <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity. - Does not warrant individual Heritage Overlay.
<p>100. 342-348 Flinders Street / 104004</p> <p>Identified in previous heritage review (Central Activities District Conservation Study, 1985)</p>		<p>Date of construction: 1956</p> <ul style="list-style-type: none"> - Federation House an 11 storey office building designed by Meldrum & Noad. Originally of 6 stories, an additional five levels were added in 1962. Refurbished in 1988 including a significant alteration to the facade. <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity. - Does not warrant individual Heritage Overlay.
<p>101. 213-215 King Street / 105310</p> <p>Identified as part of King Street Precinct</p>		<p>Date of construction: 1956</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Comparable with Contributory places in a precinct. - Does not warrant individual Heritage Overlay.




Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>102. La Trobe Apartments / 58-66 La Trobe Street / 105491</p> <p>Identified in previous heritage review (Central Activities District Conservation Study, 1985)</p>		<p>Date of construction: 1957</p> <ul style="list-style-type: none"> - Apartments refurbished in 2008. Currently in HO488 Police Headquarters complex 336-376 Russell Street. <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Does not warrant individual Heritage Overlay.
<p>103. Centro Apartments / 348-358 La Trobe Street / 105481</p> <p>Identified in previous heritage review (Central Activities District Conservation Study, 1985)</p>		<p>Date of construction: 1968</p> <ul style="list-style-type: none"> - 11-storey office designed by Bogle Banfield, refurbished to apartments in 1994 and façade significantly altered by the addition of balconies. <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity. - Does not warrant individual Heritage Overlay.
<p>104. Rear of 378-392 La Trobe Street / 105477</p> <p>Identified in previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: 1960s</p> <ul style="list-style-type: none"> - 1960s car park between 183 and 217 A'Beckett Street. May have historic and/or representative value as an early car park. <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Insufficient comparative understanding of building typology (garages).



Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>105. The Crossley Hotel / 47-55 Little Bourke Street / 105831</p> <p>Not sure how this building was identified?</p>		<p>Date of construction: 1967</p> <ul style="list-style-type: none"> - 7 storey flats refurbished in 1972 and 2004. <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity. - Does not warrant individual Heritage Overlay.
<p>106. The Hub Arcade / 318-322 Little Collins Street / 105960</p> <p>Nominated</p>		<p>Date of construction: 1966</p> <ul style="list-style-type: none"> - 3 storey office with ground level arcade. Currently within HO509 Post Office Precinct. <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Architecturally undistinguished building that does not meet the threshold for local significance in its own right.
<p>107. SkyLofts 601 on little Collins / 601 Little Collins Street / 105945</p> <p>Identified in previous heritage review (Central Activities District Conservation Study, 1985)</p>		<p>Date of construction: 1974</p> <ul style="list-style-type: none"> - An 8 storey former office building built for MMBW. Redeveloped, subdivided and converted to a storage facility in 2004 and apartments in 2012. Four additional floors added. <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity.



Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
		<ul style="list-style-type: none"> - Does not meet the threshold for local significance in its own right.
<p>108. 613-639 Little Collins Street / 108968</p> <p>Not sure how this building was identified</p>		<p>Date of construction: 1973</p> <ul style="list-style-type: none"> - MMBW building reclad in 1990s. <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity.
<p>109. 38-40 Little La Trobe Street / 105987</p> <p>Identified in previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: 1948 (two storeys), additional storey 1954.</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Late example of the type. - Better and earlier examples represented in the Heritage Overlay. - Does not warrant individual Heritage Overlay.




Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>110. 152-156 Little Lonsdale Street / 106048</p> <p>Identified in City of Melbourne internal review</p>		<p>Date of construction: 1963-66</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Low integrity. - Low architectural quality.
<p>111. Golden Square Parking / 217-231 Lonsdale Street / 105693</p> <p>Identified in previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: 1953</p> <ul style="list-style-type: none"> - Parking station currently in HO507 Little Bourke Street precinct. <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Utilitarian structure of limited architectural merit. - Historic theme better represented by other examples subject to heritage controls.
<p>112. 365 Lonsdale Street / 105701</p> <p>Identified in City of Melbourne internal review</p>		<p>Date of construction: 1920s</p> <ul style="list-style-type: none"> - A 3 storey office refurbished in 1960s. <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Low architectural quality. - Does not warrant individual Heritage Overlay.

Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>113. 382-384 Lonsdale Street / 105740</p> <p>Nominated</p> <p>Identified in previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: 1959</p> <ul style="list-style-type: none"> - A 5 storey office designed by Gawler and Boardman. Photo from 1959 shows that façade and ground floor has been refurbished. <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity. - There are better and earlier examples.
<p>114. MIT House / 386-392 Lonsdale Street / 105739</p> <p>Nominated</p> <p>Identified in previous heritage review (Central Activities District Conservation Study, 1985)</p>		<p>Date of construction: 1959</p> <ul style="list-style-type: none"> - A 13-storey office tower built for the Electrolytic Zinc Co. in 1959. Refurbished and façade changed in 1990 – see 1959 photo. <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity. - There are better and earlier examples.



Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
		
<p>115. Reed House, Formerly Southern Cross Assurance Co / 8-12 Market Street / 106439</p> <p>Identified in previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: 1961-1962</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Diminished integrity. - Does not warrant individual Heritage Overlay.
<p>116. Oaks on Market / 54-60 Market Street / 106436</p> <p>Nominated</p>		<p>Date of construction: 1964-66</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantial modifications have reduced the architectural integrity of the place. - These changes include the application of metal cladding to the vertical brick piers of the main facades, which has altered the original grid-like appearance of the façade. - Three-additional storeys have been added to the building, altering the original presentation.

Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>117. QBE House / 10-16 Queen Street / 108117</p> <p>Identified as a potential contributory place as part of the Queen Street Precinct</p>		<p>Date of construction: 1972</p> <ul style="list-style-type: none"> - Refurbished in 1992 - Ground floor appears to have been reclad with a metal like cladding. Awning added. - Above ground floor windows appear original. Façade appears intact. <p>Explanation for exclusion</p> <ul style="list-style-type: none"> - Diminished integrity. - Potential Contributory significance in a precinct. - Does not warrant individual Heritage Overlay.
<p>118. Perpetual Trustees /40-52 Queen Street / 108113</p> <p>Identified as a potential contributory place as part of the Queen Street Precinct</p>		<p>Date of construction: 1973</p> <ul style="list-style-type: none"> - Refurbished 1990 - Modifications to first few floors with new glazing and spandrel panels. <p>Explanation for exclusion</p> <ul style="list-style-type: none"> - Does not have a readily discernible architectural character. - Potential Contributory significance in a precinct. - Does not warrant individual Heritage Overlay.

Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>119. SDA House / Norwich Union Insurance Building / 53-57 Queen Street / 108063</p> <p>Identified in previous heritage review (Central Activities District Conservation Study, 1985)</p>		<p>Date of construction: 1958</p> <p>Explanation for exclusion</p> <ul style="list-style-type: none"> - Potential Contributory significance in a precinct. - Does not warrant individual Heritage Overlay.
<p>120. Bank of Singapore House / 97-101 Queen Street / 108066</p> <p>Identified as a potential contributory place as part of the Queen Street Precinct</p>		<p>Date of construction: 1967</p> <ul style="list-style-type: none"> - Appears to have been totally refurbished or built at a later time. <p>Explanation for exclusion</p> <ul style="list-style-type: none"> - Low architectural quality. - Potential Contributory significance in a precinct. - Does not warrant individual Heritage Overlay.



Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>121. 163-173 Queen Street / 108072</p> <p>Identified as a potential contributory place as part of the Queen Street Precinct</p>		<p>Date of construction: 1974</p> <ul style="list-style-type: none"> - Refurbished in stages from 2001 to 2003 <p>Explanation for exclusion</p> <ul style="list-style-type: none"> - Diminished integrity. - Potential Contributory significance in a precinct - Does not warrant individual Heritage Overlay.
<p>122. 174-176 Queen Street / 108106</p> <p>Identified as a potential non-contributory place as part of the Queen Street Precinct</p>		<p>Date of construction: 1950s</p> <ul style="list-style-type: none"> - Extensively refurbished 1990. <p>Explanation for exclusion</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity. - Does not warrant individual Heritage Overlay.
<p>123. 178-182 Queen Street / 108105</p> <p>Identified in previous heritage review (Central Activities District Conservation Study, 1985)</p> <p>Nominated</p>		<p>Date of construction: 1960</p> <ul style="list-style-type: none"> - Has been altered: a metal screen that extended over the glazed section has been removed. <p>Explanation for exclusion</p> <ul style="list-style-type: none"> - Low integrity. - Potential Contributory significance in a precinct. - Does not warrant individual Heritage Overlay.

Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>124. 224-236 Queen Street / 108101</p> <p>Identified as a potential contributory place as part of the Queen Street Precinct</p>		<p>Date of construction: 1958</p> <ul style="list-style-type: none"> - Significant alterations, not much of original character remains. <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Substantially altered. - Low integrity.
<p>125. 168 Russell Street / 108585</p> <p>Nominated</p> <p>Identified in previous heritage review (Central Activities District Conservation Study, 1985)</p>		<p>Date of construction: 1970.</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - It possesses little architectural merit. - Assessment is not recommended.
<p>126. 256-258 Russell Street / 108577</p> <p>Nominated</p>		<p>Date of construction: c1960s</p> <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - It possesses little architectural merit. - Assessment is not recommended.

Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>127. 49-51 Spring Street / 108979</p> <p>Identified in City of Melbourne internal review</p>		<p>Date of construction: 1973</p> <ul style="list-style-type: none"> - 12 storey office tower built 1973. Refurbished as apartments with 4 added storeys in 1999 to a design by Nation Fender Katsalidis. <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - An example of office conversion to residential use but otherwise as a class of places it does not warrant assessment at this time.
<p>128. The Clarion Gateway Apartments / 1-13 William Street / 103999</p> <p>Identified in previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: 1967</p> <ul style="list-style-type: none"> - Built in 1967 as Commonwealth office and converted in 1998 to apartments. <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Low integrity. - There are better and earlier examples. - Does not warrant individual Heritage Overlay.

Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>129. 15W (Former Monash House) / 15-33 William Street / 110091</p> <p>Identified in previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Date of construction: c1967</p> <ul style="list-style-type: none"> - A 20 storey office built 1967 and 1974 and refurbished in 2003 by Peddle Thorp including a four-storey extension in 2006. It is of some interest for its relatively intact plaza. <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Building substantially altered. - Low integrity. - There are better and earlier examples.
<p>130. Quest on William / 170-176 William Street / 110145</p> <p>Identified in previous heritage review (Central Activities District Conservation Study, 1985)</p>		<p>Date of construction: circa 1968, source: http://www.slv.vic.gov.au/pictoria/gid/slv-pic-aab82045</p> <ul style="list-style-type: none"> - A 15 storey former office building. Refurbished and converted to serviced apartments with the addition of the top three storeys to a design by Hayball Leonard Stent in 1997. <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Building substantially altered. - Low integrity. - There are better and earlier examples.

Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>131. The William / 189-203 William Street / 110099</p> <p>Identified in previous heritage review (Central City Heritage Review, 1993)</p> <p>Nominated</p>		<p>Date of construction: 1966</p> <ul style="list-style-type: none"> - Built in 1966. PMG and telecom offices from 1966, it has been significantly modified. <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Building substantially altered. - Low integrity. - There are better and earlier examples.
<p>132. Owen Dixon Chambers East / 205 William Street / 110100</p> <p>Identified in previous heritage review (Central Activities District Conservation Study, 1985)</p>		<p>Date of construction: 1961.</p> <ul style="list-style-type: none"> - This office building has been modified substantially and the glazed façade replaced in 2001-2005. The neighbouring Owen Dixon Chambers West had 6 floors added in 2013-2014. <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Building substantially altered. - Low integrity. - There are better and earlier examples.

Property Name / Address / Property ID How the place was Identified	Photo	Date of Construction Explanation for exclusion
<p>133. William Cooper Justice Centre / 223-229 William Street / 110101</p> <p>Not sure how this place was identified</p>		<p>Date of construction: 1969</p> <ul style="list-style-type: none"> - A 12 storey office tower built in 1969 and completely refurbished in 1990. <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Building substantially altered. - Low integrity. - There are better and earlier examples.
<p>134. AGC House / 277-287 William Street / 110108</p> <p>Identified in previous heritage review (Central Activities District Conservation Study, 1985)</p>		<p>Date of construction: 1962</p> <ul style="list-style-type: none"> - The façade of this 1962 13 storey building was replaced in 1985, with additional refurbishment and two floors in 2000. <p>Explanation for exclusion:</p> <ul style="list-style-type: none"> - Building substantially altered. - Low integrity. - There are better and earlier examples.




Demolished places

Victorian (1851-1901)

Property Name / Address / Property ID	Photo	Explanation for exclusion
<p>135. Rear of 394 Collins Street and 7-21 Austral Lane / 110666</p> <p>Identified in a previous heritage review (Central Activities District Conservation Study, 1985, Central City Heritage Review, 1993)</p>		<p>Demolished</p> <p>– Partly within HO607 (400-402 Collins Street)</p>
<p>136. 556-560 Flinders Street / 103986</p>		<p>Demolished</p>
<p>137. Former GMK House / 36-40 La Trobe Street / 105496</p>		<p>Demolished</p>



Federation/Edwardian (1902-c1918)

Property Name / Address / Property ID	Photo	Explanation for exclusion
138. Bennetts Lane Jazz Club / 25 Bennetts Lane/ 101023		Demolished
139. 131-135 Bourke Street / 101118		Demolished
140. 109-111 Little Lonsdale Street / 106006		Demolished

Interwar (c1919-c1940)

Property Name / Address / Property ID How the place was Identified	Photo	Explanation for exclusion
141. A'Beckett Tower / 19-37 A'Beckett Street / 500323		Demolished
142. 312-318 La Trobe Street / 105483		Demolished
143. Rewal House / 188-222 La Trobe Street / 105487		Demolished

Property Name / Address / Property ID How the place was Identified	Photo	Explanation for exclusion
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144. (Rear of) Australis Apartments / 593-611 Little Lonsdale Street / 106028



Demolished

145. Emporium Melbourne / 269-321 Lonsdale Street / 105698

Also included in Post war section



Demolished

Property Name / Address / Property ID How the place was Identified	Photo	Explanation for exclusion
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146. 12-14 Little La Trobe Street / 105992

Nominated in external stakeholders workshop



Demolished



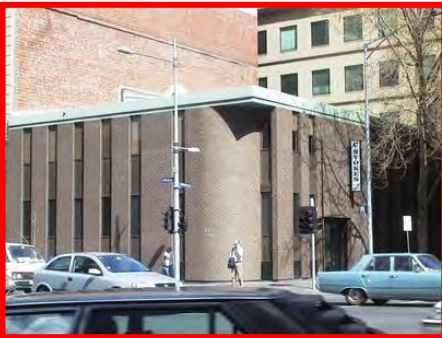
147. 16 Little La Trobe Street / 105991

Nominated in external stakeholders workshop



Demolished

Postwar (1945-1975)

Property Name / Address / Property ID	Photo	Explanation for exclusion
148. 41-43 Exhibition Street / 103968		Demolished
149. 148-156 Queen Street / 108109		Demolished
150. Stokes Building / 35 King Street / 105295		Demolished

Property Name / Address / Property ID How the place was Identified	Photo	Explanation for exclusion
151. 405-411 Bourke Street / 101148		Demolished
152. 433-455 Collins Street / 102100		Demolished
153. The Olderfleet Buildings (postwar building only) / 471-485 Collins Street / 102102		Demolished
154. 9-27 Downie Street / 102595		Demolished

Property Name / Address / Property ID	Photo	Explanation for exclusion
155. Southern Cross / 113-149 Exhibition Street / 103597 How the place was Identified		Nomination comment: Fieldwork comment: NEW BUILDING ON THE SITE Prioritisation comment: redeveloped, intangible attributes, remembered in naming Post commencement comment:
156. Port Phillip Arcade / Flinders Street /		Demolished
1. Emporium Melbourne / 269-321 Lonsdale Street / 105698 Also included in Interwar section		Demolished
		

A7 LIST OF ALL PLACES

This list comprises places listed in:

- Appendix 1 (Places recommended for Heritage Overlay)
- Appendix 2 (Precincts recommended for Heritage Overlay)
- Appendix 6 (Places not recommended for Heritage Overlay)

Address	Place name	How identified	Recommended for HO	When recommended for HO
19-37 A'Beckett Street MELBOURNE (Demolished)	A'Beckett Tower	Previous heritage review	No	
41-45 A'Beckett Street MELBOURNE	Wilder House	Nominated	No	
47-49 A'Beckett Street MELBOURNE	Grant's Warehouse	Nominated/Previous heritage review	No	
51-53 A'Beckett Street MELBOURNE		Nominated/Previous heritage review	No	
183-189 A'Beckett Street MELBOURNE	Grange Lynne Pty Ltd	Previous heritage review	Yes	Pilot Stage
11-21 Bennetts Lane MELBOURNE		Part of precinct	Yes (Little Lonsdale Precinct)	2017-18
23 Bennetts Lane MELBOURNE		Part of precinct	Yes (Little Lonsdale Precinct)	2017-18
25 Bennetts Lane MELBOURNE (Demolished)	Bennetts Lane Jazz Club	Nominated/Previous heritage review	No	
124-128 Bourke Street MELBOURNE	Former Bercy Cinema	City of Melbourne internal review	No	
131-135 Bourke Street MELBOURNE		Previous heritage review	No	

Address	Place name	How identified	Recommended for HO	When recommended for HO
(Demolished)				
146-150 Bourke Street MELBOURNE	Shops, residence and former bank	Previous heritage review	Yes	2017-18
152-158 Bourke Street MELBOURNE	Patersons Pty Ltd	Previous heritage review	Yes	Pilot Stage
151-163 Bourke Street MELBOURNE	Former Malcolm Reid and Co Department Store	Previous heritage review	Yes	2018-20
165 Bourke Street MELBOURNE		Previous heritage review	No	
169 Bourke Street MELBOURNE		City of Melbourne internal review	No	
171 Bourke Street MELBOURNE	Shop	Previous heritage review	Yes	2017-18
173-175 Bourke Street MELBOURNE	Shops	Previous heritage review	Yes	2017-18
188 Bourke Street MELBOURNE	Former Rockmans Showrooms Pty Ltd	Previous heritage review	Yes	2018-20
194-200 Bourke Street MELBOURNE	Hoyts Mid City Cinemas	Previous heritage review	Yes	Pilot Stage
201-207 Bourke Street MELBOURNE	Shop and residences	Previous heritage review	Yes	2017-18
202-204 Bourke Street MELBOURNE	Former Sharpe Bros Pty Ltd	Nominated/Previous heritage review	Yes	2018-20
209-215 Bourke Street MELBOURNE	Shop and residences	Previous heritage review	Yes	2017-18
220 Bourke Street MELBOURNE	Former Palmer's Emporium	Nominated/Previous heritage review	Yes	2017-18
246-260 Bourke Street MELBOURNE	Midtown Melbourne	Previous heritage review/City of Melbourne internal review	No	

Address	Place name	How identified	Recommended for HO	When recommended for HO
253-267 Bourke Street MELBOURNE	Royal Mail House	Previous heritage review/ GJM field work	Yes	2018-20
376-378 Bourke Street MELBOURNE	Former Coles and Garrard Building	Nominated/Previous heritage review	Yes	2018-20
384-386 Bourke Street MELBOURNE	Thomas Warburton Pty Ltd	Nominated	Yes (Extended individual HO)	2018-20
387-391 Bourke Street MELBOURNE	Saracen's Head Hotel	Nominated/Previous heritage review	No	
393-403 Bourke Street MELBOURNE	Former John Danks & Son	Nominated	Yes	2018-20
405-411 Bourke Street MELBOURNE (Demolished)		Nominated	No	
418-420 Bourke Street MELBOURNE	Gothic Chambers	Part of nominated place	Yes (Extended individual HO)	2018-20
422-424 Bourke Street MELBOURNE	Offices	City of Melbourne internal review	Yes	2018-20
449-455 Bourke Street MELBOURNE		Previous heritage review	No	
457-471 Bourke Street MELBOURNE	Former Dalgety House	Previous heritage review/GJM field work	Yes	2018-20
458-466 Bourke Street MELBOURNE		Previous heritage review/GJM field work	No	
468-470 Bourke Street MELBOURNE	Law Institute of Victoria, former London Assurance House	Previous heritage review	Yes	Pilot Stage
480 Bourke Street MELBOURNE	Commercial building	Previous heritage review	Yes	2017-18

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Address	Place name	How identified	Recommended for HO	When recommended for HO
482-484 Bourke Street MELBOURNE	Former Victorian Amateur Turf Club	Previous heritage review	Yes	2017-18
527-555 Bourke Street MELBOURNE	AMP Tower and St James Building Complex	Previous heritage review/GJM field work	Yes	2018-20
562-574 Bourke Street MELBOURNE	Marland House	City of Melbourne list	No	
589-603 Bourke Street MELBOURNE	Office Building	GJM field work	Yes	2018-20
13-15 Collins Street MELBOURNE	Apartment building	Nominated/Previous heritage review	Yes	2017-18
18-22 Collins Street MELBOURNE	Coates Building	Previous heritage review/ GJM field work	Yes	2018-20
56-64 Collins Street MELBOURNE	Former Reserve Bank of Australia	Previous heritage review/ GJM field work	Yes	2018-20
100-104 Collins Street MELBOURNE	Former Gilbert Court	Nominated/Previous heritage review/ GJM field work	Yes	2018-20
221-231 Collins Street MELBOURNE	Wales Corner	Previous heritage review/ GJM field work	Yes	2018-20
251-257 Collins Street MELBOURNE	Former Commercial Banking Company of Sydney Building	City of Melbourne internal review/ GJM field work	Yes	2018-20
265-269 Collins Street MELBOURNE	Former Bank of Adelaide Building	Previous heritage review/ GJM field work	Yes	2018-20
276-278 Collins Street MELBOURNE	Former Allans Building	Previous heritage review/ GJM field work	Yes	2018-20
303-317 Collins Street MELBOURNE	Former MLC Building	GJM field work	Yes	2018-20
308-336 Collins Street MELBOURNE	Former Colonial Mutual Life Assurance Building and	Nominated/Previous heritage review	Yes	2018-20

Address	Place name	How identified	Recommended for HO	When recommended for HO
	plaza with 'Children's Tree' Sculpture			
319-325 Collins Street MELBOURNE	The Mark on Collins Apartments	Previous heritage review	No	
344-350 Collins Street MELBOURNE	Former AMP Building	GJM field work	Yes	2018-20
351-357 Collins Street MELBOURNE		Previous heritage review	No	
352-358 Collins Street MELBOURNE		Nominated/Previous heritage review	No	
359-373 Collins Street MELBOURNE	Former Commonwealth Banking Corporation Building	GJM field work	Yes	2018-20
375-383 Collins Street MELBOURNE	Former Legal & General House	Nominated	Yes	2018-20
Rear of 394 Collins Street and Austral Lane MELBOURNE (Demolished)		Previous heritage review	No	
404-406 Collins Street MELBOURNE	Praemium House, former Atlas Assurance building	Previous heritage review	Yes	Pilot Stage
408-410 Collins Street MELBOURNE		Previous heritage review	No	
430-442 Collins Street MELBOURNE	Royal Insurance Group	Previous heritage review	Yes	Pilot Stage
433-455 Collins Street MELBOURNE (Demolished)	National Mutal Life Centre	Previous heritage review	No	
454-456 Collins Street MELBOURNE	Former Guardian Building	Previous heritage review/ GJM field work	Yes	2018-20
468-478 Collins Street MELBOURNE	Former Australia-Netherlands House	Nominated/ GJM field work	Yes	2018-20
471-485 Collins Street MELBOURNE (Demolished)	The Olderfleet Buildings (postwar building only)	Previous heritage review	No	

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Address	Place name	How identified	Recommended for HO	When recommended for HO
480-490 Collins Street MELBOURNE	Collins Street Tower	Previous heritage review	No	
516-520 Collins Street MELBOURNE	Office Building	GJM field work	Yes	2018-20
608-610 Collins Street MELBOURNE		Nominated	No	
11 Coromandel Place MELBOURNE		City of Melbourne internal review	No	
1-5 Coverlid Place MELBOURNE	Warehouse	City of Melbourne list	Yes	2017-18
21-25 Croft Alley MELBOURNE	Croft Institute	Nominated	No	
9-27 Downie Street MELBOURNE (Demolished)		Nominated	No	
5-7 Drewery Lane MELBOURNE		Existing VHR place/Part of precinct	Yes (Drewery Lane Precinct)	2017-18
2-20 Drewery Place MELBOURNE		Existing individual HO/Part of precinct	Yes (Drewery Lane Precinct)	2017-18
22 Drewery Place MELBOURNE		Previous heritage review	Yes (Drewery Lane Precinct)	2017-18
11-15 Duckboard Place MELBOURNE	Warehouse	Previous heritage review	Yes (Flinders Lane Precinct and individual HO)	Pilot Stage
1-5 Elizabeth Street MELBOURNE	Former Hosies Hotel	Previous heritage review/City of Melbourne internal review/ GJM field work	Yes	2018-20
7-9 Elizabeth Street MELBOURNE	Shops, care and office	City of Melbourne internal review	Yes	2018-20
17-19 Elizabeth Street MELBOURNE	Excelsior House former Excelsior Chambers	Previous heritage review	Yes	2017-18
25 Elizabeth Street MELBOURNE	Former Universal House	Previous heritage review	Yes	2017-18
31-39 Elizabeth Street MELBOURNE		GJM field work	No	
183 Elizabeth Street MELBOURNE	Orbit House	City of Melbourne internal review	No	

Address	Place name	How identified	Recommended for HO	When recommended for HO
239-243 Elizabeth Street MELBOURNE	JB HIFI	City of Melbourne internal review	No	
341-345 Elizabeth Street MELBOURNE	Former Cassells Tailors Pty Ltd	Previous heritage review	Yes	2018-20
388 Elizabeth Street MELBOURNE		City of Melbourne internal review	No	
395-397 Elizabeth Street MELBOURNE	Cecil Walker Cycles	City of Melbourne internal review	No	
399-411 Elizabeth Street MELBOURNE	City Edge Apartments	Previous heritage review	No	
1-3 Evans Lane MELBOURNE	Substation	Previous heritage review	Yes (Little Lonsdale Precinct)	2017-18
41-43 Exhibition Street MELBOURNE (Demolished)		Previous heritage review	No	
49-51 Exhibition Street MELBOURNE		Previous heritage review	No	
96-102 Exhibition Street MELBOURNE		Previous heritage review	No	
113-149 Exhibition Street MELBOURNE (Demolished)	Southern Cross	Previous heritage review	No	
114-122 Exhibition Street MELBOURNE	Former Morris House	Previous heritage review	Yes	2018-20
136 -144 Exhibition Street MELBOURNE	Former Australia Pacific House	GJM field work	Yes	2018-20
174-192 Exhibition Street MELBOURNE	Former Bryson Centre	GJM field work	Yes	2018-20
287-293 Exhibition Street MELBOURNE	Former Exhibition Towers	GJM field work	Yes	2018-20

Address	Place name	How identified	Recommended for HO	When recommended for HO
295-301 Exhibition Street MELBOURNE	Taweels Buildings	Previous heritage review	Yes (Little Lonsdale Precinct)	2017-18
303 Exhibition Street MELBOURNE		Previous heritage review	Yes (Little Lonsdale Precinct)	2017-18
305-307 Exhibition Street MELBOURNE		Part of precinct	Yes (Little Lonsdale Precinct)	2017-18
353 Exhibition Street MELBOURNE	Warehouse	Nominated	Yes	2018-20
2-14 Exploration Lane MELBOURNE		Part of precinct	Yes (Little Lonsdale Precinct)	2017-18
31-35 Flinders Lane MELBOURNE		Previous heritage review	Yes (Flinders Lane Precinct)	2017-18
37-45 Flinders Lane MELBOURNE		Previous heritage review	Yes (Flinders Lane Precinct)	2017-18
55 Flinders Lane MELBOURNE		Part of precinct	Yes (Flinders Lane Precinct)	2017-18
57-59 Flinders Lane MELBOURNE		Previous heritage review	Yes (Flinders Lane Precinct)	2017-18
61-73 Flinders Lane MELBOURNE	Sargood House	Existing individual HO/Part of precinct	Yes (Flinders Lane Precinct)	2017-18
75-77 Flinders Lane MELBOURNE	Alley Building	Existing individual HO/Part of precinct	Yes (Flinders Lane Precinct)	2017-18
87-89 Flinders Lane MELBOURNE	Swiss Club of Victoria	Previous heritage review	Yes (Flinders Lane Precinct and individual HO)	Pilot Stage
91-93 Flinders Lane MELBOURNE	Duckboard House	Previous heritage review	Yes (Flinders Lane Precinct)	2017-18
95-101 Flinders Lane MELBOURNE	Garden State Hotel	Nominated/Previous heritage review	Yes (Flinders Lane Precinct)	2017-18
103-105 Flinders Lane MELBOURNE		Previous heritage review	Yes (Flinders Lane Precinct)	2017-18
107-109 Flinders Lane MELBOURNE		Nominated/Previous heritage review	Yes (Flinders Lane Precinct)	2017-18

Address	Place name	How identified	Recommended for HO	When recommended for HO
121-123 Flinders Lane MELBOURNE	Austin House	Previous heritage review	Yes (Flinders Lane Precinct)	2017-18
125-127 Flinders Lane MELBOURNE	Higson Building	Existing individual HO/Previous heritage review	Yes (Flinders Lane Precinct)	2017-18
129-131 Flinders Lane MELBOURNE		Existing VHR place/Previous heritage review	Yes (Flinders Lane Precinct)	2017-18
133-135 Flinders Lane MELBOURNE		Previous heritage review	Yes (Flinders Lane Precinct)	2017-18
137-139 Flinders Lane MELBOURNE	Former Bank of New South Wales	Previous heritage review	Yes(Flinders Lane Precinct and individual HO)	2017-18
141-145 Flinders Lane MELBOURNE	Pawson House	Nominated/Existing individual HO	Yes(Flinders Lane Precinct)	2017-18
145-149 Flinders Lane MELBOURNE		Nominated/Existing individual HO	Yes(Flinders Lane Precinct)	2017-18
376-382 Flinders Lane MELBOURNE	Former Batman Automatic Telephone Exchange	Previous heritage review/Part of former precinct	Yes	2018-20
384-386 Flinders Lane MELBOURNE	Former Gordon Buildings	Previous heritage review	Yes	Pilot Stage
Flinders Street MELBOURNE (Demolished)	Port Phillip Arcade	Nominated	No	
Flinders Street (Queen street to near Spencer Street) MELBOURNE	Flinders Street Railway Viaduct	Nominated	Yes	2018-20
32 Flinders Street MELBOURNE		Part of precinct	Yes (Flinders Lane Precinct)	2017-18
84-94 Flinders Street MELBOURNE	Rear of Adina Apartments	Nominated	No	
96-98 Flinders Street MELBOURNE	Dreman Building	Previous heritage review	Yes	Pilot Stage
100-102 Flinders Street MELBOURNE	Former Sunday School Union of Victoria	Previous heritage review	Yes	Pilot Stage

Address	Place name	How identified	Recommended for HO	When recommended for HO
114-128 Flinders Street MELBOURNE		Part of precinct	Yes (Flinders Lane Precinct)	2017-18
130-132 Flinders Street MELBOURNE		Existing individual HO/Part of precinct	Yes (Flinders Lane Precinct)	2017-18
134-136 Flinders Street MELBOURNE	Epstein House	Previous heritage review	Yes (Flinders Lane Precinct and individual HO)	Pilot Stage
138-140 Flinders Street MELBOURNE		Previous heritage review	Yes (Flinders Lane Precinct)	2017-18
142-148 Flinders Street MELBOURNE	Duke of Wellington Hotel	Existing VHR place/Part of precinct	Yes (Flinders Lane Precinct)	2017-18
342-348 Flinders Street MELBOURNE		Previous heritage review	No	
490 Flinders Street MELBOURNE	Willis' Building	Previous heritage review	Yes	2018-20
556-560 Flinders Street MELBOURNE (Demolished)		Previous heritage review	No	
562-564 Flinders Street and rear in Downie Street MELBOURNE	Former Markillie's Prince of Wales Hotel (HO1041)	City of Melbourne internal review	Yes (Extended individual HO)	2018-20
23-25 George Parade MELBOURNE	CitiPower former Melbourne City Council substation	Previous heritage review	Yes	2017-18
54 Hayward Lane MELBOURNE		City of Melbourne internal review	No	
56 Hayward Lane MELBOURNE		City of Melbourne internal review	No	
58 Hayward Lane MELBOURNE		City of Melbourne internal review	No	
60 Hayward Lane MELBOURNE		City of Melbourne internal review	No	
11 Highlander Lane MELBOURNE	Former Zander's No.2 Store	Previous heritage review	Yes	Pilot Stage

Address	Place name	How identified	Recommended for HO	When recommended for HO
11A Highlander Lane MELBOURNE	Warehouse	Nominated/Previous heritage review	Yes	Pilot Stage
25 King Street MELBOURNE	Former Melbourne Shipping Exchange	Previous heritage review	Yes	2017-18
26-32 King Street MELBOURNE	Warehouse	Previous heritage review	Yes	2018-20
35 King Street MELBOURNE (Demolished)	Stokes Building	City of Melbourne internal review	No	
171-173 King Street MELBOURNE	Warehouse	Previous heritage review/Part of former precinct	Yes	2018-20
179 King Street MELBOURNE		Nominated/Previous heritage review/Part of former precinct	No	
181-183 King Street MELBOURNE		Previous heritage review/Part of former precinct	No	
184-186 King Street MELBOURNE		Previous heritage review	No	
188-202 King Street MELBOURNE		Previous heritage review	No	
189-195 King Street MELBOURNE		Previous heritage review/Part of former precinct	No	
197-199 King Street MELBOURNE		Previous heritage review/Part of former precinct	No	
203-207 King Street MELBOURNE	Former factory	Previous heritage review/Part of former precinct	Yes	2018-20
204-208 King Street MELBOURNE	Great Western Hotel	Previous heritage review	Yes	2018-20
209-211 King Street MELBOURNE		Previous heritage review/Part of former precinct	No	
212-224 King Street MELBOURNE		Previous heritage review	No	
213-215 King Street MELBOURNE		Part of former precinct	No	

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Address	Place name	How identified	Recommended for HO	When recommended for HO
217-219 King Street MELBOURNE		Part of former precinct/Part of former precinct	No	
232 King Street MELBOURNE	Tramway Union Building	Previous heritage review	No	
248-250 King Street MELBOURNE	(Rear of) Kilkenny Inn	Previous heritage review	No	
256-260 King Street MELBOURNE	Former Paramount House	Previous heritage review	Yes	2018-20
273-275 King Street MELBOURNE		Previous heritage review	No	
277-287 King Street MELBOURNE	Hotel Sophia	Nominated/Previous heritage review	No	
290-300 King Street MELBOURNE	The Wiltshire	Previous heritage review	No	
295-305 King Street MELBOURNE (Now demolished)	Former Koorie Heritage Trust building and Zander's No.2 Warehouse	Previous heritage review	Yes	2017-18
307-309 King Street MELBOURNE (Now demolished)	Former Walton and Scott engineering works	Previous heritage review	Yes	2017-18
318 King Street MELBOURNE		City of Melbourne internal review	No	
324 King Street MELBOURNE		City of Melbourne internal review	No	
3 Kirks Lane MELBOURNE	Gothic Chambers warehouse	Nominated	Yes (Extended individual HO)	2018-20
30-34 La Trobe Street MELBOURNE	Turn Verein Hall	Previous heritage review	Yes	Pilot Stage
36-40 La Trobe Street MELBOURNE (Demolished)	Former GMK House	Previous heritage review	No	
42-50 La Trobe Street MELBOURNE		Previous heritage review	No	
58-66 La Trobe Street MELBOURNE	La Trobe Apartments	Previous heritage review	No	
123-129 La Trobe Street MELBOURNE	La Trobe Terrace	Nominated/Previous heritage review	No	

Address	Place name	How identified	Recommended for HO	When recommended for HO
188-222 La Trobe Street MELBOURNE (Demolished)	Rewal House	Nominated	No	
293-299 La Trobe Street MELBOURNE (Now demolished)	Former Duke of Kent Hotel	City of Melbourne internal review	Yes	2018-20
301 La Trobe Street MELBOURNE	La Trobe Street Gallery	City of Melbourne internal review	No	
312-318 La Trobe Street MELBOURNE (Demolished)		City of Melbourne list	No	
333-335 La Trobe Street MELBOURNE		City of Melbourne internal review	No	
348-358 La Trobe Street MELBOURNE	Centro Apartments	Previous heritage review	No	
360 La Trobe Street MELBOURNE		City of Melbourne internal review	No	
Rear of 378-392 La Trobe Street MELBOURNE		Previous heritage review	No	
394-400 La Trobe Street MELBOURNE	Hudson on La Trobe Apartments	Previous heritage review	No	
402-408 La Trobe Street MELBOURNE	Empire Apartments (Australian Building)	Nominated/Previous heritage review	No	
47-55 Little Bourke Street MELBOURNE	The Crossley Hotel	City of Melbourne list	No	
258-264 Little Bourke Street MELBOURNE	Former State Savings Bank	Previous heritage review	Yes (Swanston Street North Precinct and individual overlay)	2017-18 (precinct) / 2018-20 (individual)
354-360 Little Bourke Street MELBOURNE	Melbourne House	Previous heritage review/City of Melbourne internal review	Yes	2018-20
365-367 Little Bourke Street MELBOURNE	Thomas Warburton Pty Ltd Complex	Part of nominated place	Yes (Extended individual HO)	2018-20

Address	Place name	How identified	Recommended for HO	When recommended for HO
428-432 Little Bourke Street MELBOURNE	Former Printcraft House	Previous heritage review	Yes	2018-20
441-443 Little Bourke Street MELBOURNE	Downs House	Previous heritage review/City of Melbourne internal review	Yes	2018-20
548-558 Little Bourke Street & 565 Lonsdale Street MELBOURNE	Victoria Bond Store	Previous heritage review/City of Melbourne internal review	No	
590-592 Little Bourke MELBOURNE	Sorry Grandma	Previous heritage review/Part of former precinct	No	
602-606 Little Bourke Street MELBOURNE	Former Melbourne City Council Power Station	Nominated/Part of former precinct	Yes (Extended individual HO)	2018-20
620-648 Little Bourke Street MELBOURNE	Former Melbourne City Council Power Station	City of Melbourne list	Yes (Extended individual HO)	2018-20
37 Little Collins Street MELBOURNE	Shop	Previous heritage review	Yes	Pilot Stage
39-41 Little Collins Street MELBOURNE	Former Wenley Motor Garage	Previous heritage review	Yes	Pilot Stage
57-67 Little Collins Street MELBOURNE	Former Craig, Williamson Pty Ltd complex	Previous heritage review	Yes	2018-20
62-66 Little Collins Street MELBOURNE		Previous heritage review/Part of precinct	No	
130-134 Little Collins Street MELBOURNE	Former Methodist Church	GJM fieldwork	Yes	2018-20
166-186 Little Collins Street MELBOURNE	Melbourne Cyclorama Company	Previous heritage review	No	
188-194 Little Collins Street MELBOURNE	Shocko House, former Godfey's Building	Previous heritage review	Yes	2017-18
318-322 Little Collins Street MELBOURNE	The Hub Arcade	Nominated	No	

Address	Place name	How identified	Recommended for HO	When recommended for HO
335-349 Little Collins Street MELBOURNE	Equitable House	Previous heritage review	Yes	2018-20
377-379 Little Collins Street MELBOURNE	Collins Gate	Previous heritage review	Yes	2018-20
378-380 Little Collins Street MELBOURNE		Nominated/Previous heritage review	No	
382 Little Collins Street MELBOURNE	Former Law Institute House	Nominated/Previous heritage review	Yes	2018-20
384-390 Little Collins Street MELBOURNE	Excelsior	Nominated/Previous heritage review	No	
400-404 Little Collins Street MELBOURNE		Part of former precinct	No	
421-423 Little Collins Street MELBOURNE		Previous heritage review	No	
457-469 Little Collins Street MELBOURNE	Cowan House	City of Melbourne internal review	Yes	2018-20
499-503 Little Collins Street MELBOURNE	Henty House	Previous heritage review	Yes	2018-20
577-583 Little Collins Street MELBOURNE	Warehouses	Previous heritage review	Yes	Pilot Stage
582-584 Little Collins Street MELBOURNE	Commercial building	Previous heritage review	Yes	Pilot Stage
588-600 Little Collins Street MELBOURNE	Stella Maris Seafarers' Centre	City of Melbourne list	Yes	2018-20
601 Little Collins Street MELBOURNE	SkyLofts 601 on little Collins	Previous heritage review	No	
613-639 Little Collins MELBOURNE		City of Melbourne list	No	

Address	Place name	How identified	Recommended for HO	When recommended for HO
616-622 Little Collins Street MELBOURNE	Former Melbourne and Metropolitan Tramways Building	Previous heritage review	Yes	Pilot Stage
12-14 Little La Trobe Street MELBOURNE (Demolished)		Nominated	No	
16 Little La Trobe Street MELBOURNE (Demolished)		Nominated	No	
34-36 Little La Trobe Street MELBOURNE	Warehouse	Previous heritage review	Yes	2018-20
38-40 Little La Trobe Street MELBOURNE		Previous heritage review	No	
42-44 Little La Trobe Street MELBOURNE		Nominated/Previous heritage review	No	
46 Little La Trobe Street MELBOURNE		Nominated	No	
62-64 Little La Trobe Street MELBOURNE		Previous heritage review	No	
65-69 Little La Trobe Street MELBOURNE		City of Melbourne internal review	No	
70-72 Little La Trobe Street MELBOURNE		City of Melbourne internal review	No	
27-29 Little Lonsdale Street MELBOURNE	Warehouse	City of Melbourne internal review	Yes	2018-20
109-111 Little Lonsdale Street MELBOURNE (Demolished)		Previous heritage review	No	

Address	Place name	How identified	Recommended for HO	When recommended for HO
100 Little Lonsdale Street MELBOURNE		Previous heritage review	Yes (Little Lonsdale Street Precinct)	2017-18
102-104 Little Lonsdale Street MELBOURNE		Previous heritage review	Yes (Little Lonsdale Street Precinct)	2017-18
106 Little Lonsdale Street MELBOURNE		Previous heritage review	Yes (Little Lonsdale Street Precinct)	2017-18
116-118 Little Lonsdale Street MELBOURNE		Existing HO precinct	Yes (Little Lonsdale Street Precinct)	2017-18
120-122 Little Lonsdale Street MELBOURNE	Residences	Existing HO precinct	Yes (Little Lonsdale Street Precinct and individual HO)	2017-18
124-126 Little Lonsdale Street MELBOURNE		Nominated/Existing HO precinct	Yes (Little Lonsdale Street Precinct)	2017-18
128-130 Little Lonsdale Street MELBOURNE	Leitrim Hotel	Existing VHR place/Existing HO precinct	Yes (Little Lonsdale Street Precinct)	2017-18
132 Little Lonsdale Street MELBOURNE		Nominated/Existing HO precinct	Yes (Little Lonsdale Street Precinct)	2017-18
134-144 Little Lonsdale Street MELBOURNE		Previous heritage review	Yes (Little Lonsdale Street Precinct)	2017-18
146-148 Little Lonsdale Street MELBOURNE		Previous heritage review	Yes (Little Lonsdale Street Precinct)	2017-18
152-156 Little Lonsdale Street MELBOURNE		City of Melbourne internal review	No	
273-275 Little Lonsdale Street MELBOURNE		Part of precinct	Yes (Drewery Lane Precinct)	2017-18
277-279 Little Lonsdale Street MELBOURNE		Previous heritage review	Yes (Drewery Lane Precinct)	2017-18
281 Little Lonsdale Street MELBOURNE		Previous heritage review	Yes (Drewery Lane Precinct)	2017-18

VOLUME 1: BUILT & URBAN HERITAGE – METHODOLOGY

Address	Place name	How identified	Recommended for HO	When recommended for HO
283-285 Little Lonsdale Street MELBOURNE		Previous heritage review	Yes (Drewery Lane Precinct)	2017-18
302-304 Little Lonsdale Street MELBOURNE		Nominated/Previous heritage review	No	
322 Little Lonsdale Street MELBOURNE		City of Melbourne internal review	No	
361-365 Little Lonsdale Street MELBOURNE		Nominated/Previous heritage review	No	
364-370 Little Lonsdale Street MELBOURNE (Now demolished)	Former Tuberculosis Bureau	Previous heritage review	Yes	2017-18
470-472 Little Lonsdale Street MELBOURNE	Shops	Previous heritage review	Yes	Pilot Stage
474 Little Lonsdale Street MELBOURNE	Residences	Previous heritage review	Yes	Pilot Stage
563-567 Little Lonsdale Street MELBOURNE		Previous heritage review	No	
593-611 Little Lonsdale Street MELBOURNE (Demolished)	(Rear of) Australis Apartments	Previous heritage review	No	
38 Lonsdale Street MELBOURNE		Previous heritage review/City of Melbourne internal review	No	
53-57 Lonsdale Street MELBOURNE	Shops and residences	Previous heritage review	Yes	2017-18
217-231 Lonsdale Street MELBOURNE	Golden Square Parking	Previous heritage review	No	
268-270 Lonsdale Street MELBOURNE	Pacific House	Previous heritage review	Yes (Drewery Lane Precinct)	2017-18
269-321 Lonsdale Street MELBOURNE	Emporium Melbourne	Previous heritage review	No	

Address	Place name	How identified	Recommended for HO	When recommended for HO
(Demolished)				
355-357 Lonsdale Street MELBOURNE		Nominated	No	
359-363 Lonsdale Street MELBOURNE	Shops and offices	Nominated/City of Melbourne internal review	Yes	2018-20
364-372 Lonsdale Street MELBOURNE	Askew House	Nominated/Previous heritage review	No	
365 Lonsdale Street MELBOURNE		City of Melbourne internal review	No	
382-384 Lonsdale Street MELBOURNE		Nominated/Previous heritage review	No	
386-392 Lonsdale Street MELBOURNE	MIT House	Nominated/Previous heritage review	No	
402-408 Lonsdale Street MELBOURNE	Former AMP Building	Nominated/ GJM field work	Yes	2018-20
410-412 Lonsdale Street MELBOURNE	Warehouse	Nominated	Yes	2018-20
414-416 Lonsdale Street MELBOURNE	Laurens House	Nominated/Previous heritage review	Yes	2017-18
447 Lonsdale Street MELBOURNE	Lonsdale Exchange Building	City of Melbourne internal review	Yes	2018-20
572-574 Lonsdale Street MELBOURNE	Universal Chambers	Previous heritage review	No	
594-610 Lonsdale Street MELBOURNE	Former Andrew Jack, Dyson & Co Pty Ltd	City of Melbourne internal review	Yes	2018-20
597-603 Lonsdale Street MELBOURNE	Men's Gallery	Nominated	No	
617-639 Lonsdale Street MELBOURNE	Former Melbourne City Council Power Station	Previous heritage review	Yes (Extended individual HO)	2018-20

Address	Place name	How identified	Recommended for HO	When recommended for HO
651-669 Lonsdale Street MELBOURNE	Former Melbourne City Council Power Station	Previous heritage review	Yes (Extended individual HO)	2018-20
10-22 Manton Lane MELBOURNE		Nominated	No	
8-12 Market Street MELBOURNE	Reed House, Formerly Southern Cross Assurance Co	Previous heritage review	No	
54-60 Market Street MELBOURNE	Oaks on Market	Nominated	No	
10-16 McKillop Street MELBOURNE		Nominated/Previous heritage review	No	
12-18 Meyers Place MELBOURNE	Former Kantay House	Nominated	Yes	2018-20
17 Meyers Place MELBOURNE	Substation	City of Melbourne internal review	No	
20 Meyers Place MELBOURNE	The Waiters Restaurant	Nominated	Yes	2018-20
10-20 Oliver Lane MELBOURNE		Existing VHR place/Part of precinct	Yes (Flinders Lane Precinct)	2017-18
22-30 Oliver Lane MELBOURNE		Existing VHR place/Part of precinct	Yes (Flinders Lane Precinct)	2017-18
10-14 Park Street MELBOURNE	CitiPower former Melbourne City Council substation	Previous heritage review	Yes	2017-18
Princes Walk, Birrarung Marr	Former Princes Bridge Lecture Room	Nominated	Yes	2018-20
22 Punch Lane MELBOURNE		Previous heritage review	No	
10-16 Queen Street MELBOURNE	QBE House	Part of former precinct	No	
40-52 Queen Street MELBOURNE	Perpetual Trustees	Part of former precinct	No	
43-51 Queen Street MELBOURNE	Former Union House	Previous heritage review/Part of former precinct	Yes	2018-20

Address	Place name	How identified	Recommended for HO	When recommended for HO
53-57 Queen Street MELBOURNE	SDA House / Norwich Union Insurance Building	Previous heritage review/Part of former precinct	No	
85-91 Queen Street MELBOURNE	Former National Bank of Australasia Stock Exchange Branch	Nominated/Part of former precinct	Yes	2018-20
97-101 Queen Street MELBOURNE	Bank of Singapore House	Part of former precinct	No	
103-105 Queen Street MELBOURNE	Former Ajax House	Previous heritage review/Part of former precinct	Yes	2018-20
111-129 Queen Street MELBOURNE	Former RACV Club	Previous heritage review/Part of former precinct	Yes	Pilot Stage
131-141 Queen Street MELBOURNE	Former Victoria Club building	Nominated/Previous heritage review/Part of former precinct	Yes	2017-18
148-156 Queen Street MELBOURNE (Demolished)		Nominated/ Part of former precinct	No	
155-161 Queen Street MELBOURNE	Former South British Insurance Company Ltd Building	Nominated/Previous heritage review/Part of former precinct	Yes	2018-20
158-172 Queen Street MELBOURNE	Former Sleigh buildings (H C Sleigh Building & former Sleigh Corner)	Previous heritage review/Part of former precinct	Yes	2018-20
163-173 Queen Street MELBOURNE		Part of former precinct	No	
174-176 Queen Street MELBOURNE		Part of former precinct	No	
178-182 Queen Street MELBOURNE		Nominated/Previous heritage review/Part of former precinct	No	
184-192 Queen Street MELBOURNE	Former Houston Building	Part of former precinct/ GJM field work	Yes	2018-20
207-213 Queen Street MELBOURNE		Previous heritage review	No	

Address	Place name	How identified	Recommended for HO	When recommended for HO
215 Queen Street MELBOURNE	Shop	Previous heritage review	Yes	2018-20
221-231 Queen Street MELBOURNE	Former Law Department's building	Nominated/Previous heritage review/Part of former precinct	Yes	2018-20
224-236 Queen Street MELBOURNE		Part of former precinct	No	
233-243 Queen Street MELBOURNE	Former State Savings Bank of Victoria	Part of former precinct/ GJM field work	Yes	2018-20
260-264 Queen Street MELBOURNE		Nominated/Previous heritage review	No	
2-6 Rankins Lane MELBOURNE	Thomas Warburton Pty Ltd complex	Part of nominated place	Yes (Extended individual HO)	2018-20
8-14 Rankins Lane MELBOURNE	Thomas Warburton Pty Ltd complex	Part of nominated place	Yes (Extended individual HO)	2018-20
2-18 Ridgway Place MELBOURNE	Lyceum Club	Previous heritage review	Yes	Pilot Stage
20 Ridgway Place MELBOURNE	Former Ridgway Terrace	Previous heritage review	Yes	2017-18
12-14 Russell Place MELBOURNE	Substation 113	City of Melbourne internal review	No	
14-22 Russell Street MELBOURNE		Part of precinct	Yes (Flinders Lane Precinct)	2017-18
24-30 Russell Street MELBOURNE		Part of precinct	Yes (Flinders Lane Precinct)	2017-18
114-120 Russell Street MELBOURNE	Former Russell Street Automatic Telephone Exchange and Postal Building	Previous heritage review	Yes	2018-20
122 Russell Street MELBOURNE		City of Melbourne internal review	No	
124-130 Russell Street MELBOURNE	Melbourne Theosophical Society, former Russell House	Nominated	Yes	2017-18
132-134 Russell Street MELBOURNE		City of Melbourne internal review	No	

Address	Place name	How identified	Recommended for HO	When recommended for HO
162-164 Russell Street MELBOURNE		Previous heritage review	No	
166 Russell Street MELBOURNE	Shop	Previous heritage review	Yes	2017-18
168 Russell Street MELBOURNE	Former Temperance Hall	Nominated/Previous heritage review	No	
248-250 Russell Street MELBOURNE		Nominated/Previous heritage review/Part of former precinct	No	
256-258 Russell Street MELBOURNE		Nominated/Part of former precinct	No	
260-262 Russell Street MELBOURNE		Previous heritage review/Part of former precinct	No	
264-266 Russell Street MELBOURNE		Nominated/Previous heritage review/Part of former precinct	No	
272 Russell Street MELBOURNE		Previous heritage review/Part of former precinct	No	
296-298 Russell Street MELBOURNE		Previous heritage review/Part of former precinct	No	
300 Russell Street MELBOURNE		Previous heritage review/Part of former precinct	No	
44-64 Spencer Street MELBOURNE	Great Southern Hotel	Nominated/Previous heritage review	No	
49-51 Spring Street MELBOURNE		City of Melbourne internal review	No	
93-101 Spring Street MELBOURNE	Treasury Gate	Nominated	Yes	2017-18
199-207 Spring Street MELBOURNE	Park Tower	Nominated	Yes	2017-18
22 Sutherland Street MELBOURNE	Order of Buffaloes Grand Lodge of Victoria	Previous heritage review	No	
45-63 Swanston Street MELBOURNE	Former State Savings Bank of Victoria	GJM fieldwork	Yes	2018-20

Address	Place name	How identified	Recommended for HO	When recommended for HO
135-137 Swanston Street MELBOURNE		Existing individual HO/Part of precinct	Yes (Swanston Street South Precinct)	2017-18
139-141 Swanston Street MELBOURNE		Previous heritage review	Yes (Swanston Street South Precinct)	2017-18
143 Swanston Street MELBOURNE		Part of precinct	Yes (Swanston Street South Precinct)	2017-18
144 Swanston Street MELBOURNE		Part of precinct	Yes (Swanston Street South Precinct)	2017-18
145 Swanston Street MELBOURNE		Part of precinct	Yes (Swanston Street South Precinct)	2017-18
146 Swanston Street MELBOURNE		Previous heritage review	Yes (Swanston Street South Precinct)	2017-18
147 Swanston Street MELBOURNE		Part of precinct	Yes (Swanston Street South Precinct)	2017-18
148 Swanston Street MELBOURNE		Previous heritage review	Yes (Swanston Street South Precinct)	2017-18
149-153 Swanston Street MELBOURNE	Sanders and Levy building	Previous heritage review	Yes (Swanston Street South Precinct and individual HO)	2017-18
150 Swanston Street MELBOURNE		Previous heritage review	Yes (Swanston Street South Precinct)	2017-18
152-156 Swanston Street MELBOURNE	Former Bank of Australasia	Previous heritage review	Yes (Swanston Street South Precinct and individual HO)	2017-18
155 Swanston Street MELBOURNE		Previous heritage review	Yes (Swanston Street South Precinct)	2017-18
157-159 Swanston Street MELBOURNE		Previous heritage review	Yes (Swanston Street South Precinct)	2017-18
158-164 Swanston Street MELBOURNE		Part of precinct	Yes (Swanston Street South Precinct)	2017-18

Address	Place name	How identified	Recommended for HO	When recommended for HO
161 Swanston Street MELBOURNE		Previous heritage review	Yes (Swanston Street South Precinct)	2017-18
163-165 Swanston Street MELBOURNE	Swanston House	Existing individual HO/Part of precinct	Yes (Swanston Street South Precinct)	2017-18
166 Swanston Street MELBOURNE		Previous heritage review	Yes (Swanston Street South Precinct)	2017-18
168 Swanston Street MELBOURNE		Previous heritage review	Yes (Swanston Street South Precinct)	2017-18
172 Swanston Street MELBOURNE		Previous heritage review	Yes (Swanston Street South Precinct)	2017-18
174 Swanston Street MELBOURNE		Part of precinct	Yes (Swanston Street South Precinct)	2017-18
207-209 Swanston Street MELBOURNE		Part of precinct	Yes (Swanston Street North Precinct)	2017-18
211-213 Swanston Street MELBOURNE		Previous heritage review	Yes (Swanston Street North Precinct)	2017-18
215-217 Swanston Street MELBOURNE	Shop and residence	Previous heritage review	Yes (Swanston Street North Precinct and individual overlay)	2017-18
219-225 Swanston Street MELBOURNE		Existing individual overlay/Part of precinct	(Swanston Street North Precinct)	2017-18
237 Swanston Street MELBOURNE		Previous heritage review	(Swanston Street North Precinct)	2017-18
239-241 Swanston Street MELBOURNE		Nominated/Previous heritage review	(Swanston Street North Precinct)	2017-18
243-249 Swanston Street MELBOURNE		Previous heritage review	(Swanston Street North Precinct)	2017-18
251-253 Swanston Street MELBOURNE		Previous heritage review	(Swanston Street North Precinct)	2017-18

Address	Place name	How identified	Recommended for HO	When recommended for HO
255 Swanston Street MELBOURNE		Previous heritage review	(Swanston Street North Precinct)	2017-18
257-259 Swanston Street MELBOURNE		Previous heritage review	(Swanston Street North Precinct)	2017-18
261-263 Swanston Street MELBOURNE		Part of precinct	(Swanston Street North Precinct)	2017-18
265-267 Swanston Street MELBOURNE		Part of precinct	(Swanston Street North Precinct)	2017-18
269 Swanston Street MELBOURNE		Nominated	(Swanston Street North Precinct)	2017-18
271 Swanston Street MELBOURNE		Part of precinct	(Swanston Street North Precinct)	2017-18
273 Swanston Street MELBOURNE		Part of precinct	(Swanston Street North Precinct)	2017-18
275-279 Swanston Street MELBOURNE		Previous heritage review	(Swanston Street North Precinct)	2017-18
281-287 Swanston Street MELBOURNE	Former Britannia Hotel	Previous heritage review	Yes (Drewery Lane Precinct)	2017-18
289-299 Swanston Street MELBOURNE	Legacy House	Nominated	Yes (Drewery Lane Precinct)	2017-18
301-303 Swanston Street MELBOURNE		Previous heritage review	Yes (Drewery Lane Precinct)	2017-18
305-307 Swanston Street MELBOURNE		Previous heritage review	Yes (Drewery Lane Precinct)	2017-18
309 Swanston Street MELBOURNE		Existing individual HO/Part of precinct	Yes (Drewery Lane Precinct)	2017-18
311 Swanston Street MELBOURNE		Existing individual HO/Part of precinct	Yes (Drewery Lane Precinct)	2017-18

Address	Place name	How identified	Recommended for HO	When recommended for HO
313-315 Swanston Street MELBOURNE		Existing individual HO/Part of precinct	Yes (Drewery Lane Precinct)	2017-18
317 Swanston Street MELBOURNE		Existing individual HO/Part of precinct	Yes (Drewery Lane Precinct)	2017-18
319-323 Swanston Street MELBOURNE		Existing individual HO/Part of precinct	Yes (Drewery Lane Precinct)	2017-18
335-347 Swanston Street MELBOURNE	Former Manchester Unity Oddfellows Building	City of Melbourne internal review	Yes	2018-20
11-27 Tavistock Place MELBOURNE	CitiPower former Melbourne City Council substation	Nominated/Previous heritage review	Yes	2017-18
11-17 Victoria Street MELBOURNE	Halkett House	City of Melbourne list	No	
1-13 William Street MELBOURNE	The Clarion Gateway Apartments	Previous heritage review	No	
15-33 William Street MELBOURNE	15W (Former Monash House)	Previous heritage review	No	
114-128 William Street MELBOURNE	Former Dillingham Estates House	Previous heritage review	Yes	Pilot Stage
170-176 William Street MELBOURNE	Quest on William	Previous heritage review	No	
178-188 William Street MELBOURNE	Office Building	Previous heritage review/ GJM field work	Yes	2018-20
189-203 William Street MELBOURNE	The William	Nominated/Previous heritage review	No	
205 William Street MELBOURNE	Owen Dixon Chambers East	Previous heritage review	No	
223-229 William Street MELBOURNE	William Cooper Justice Centre	City of Melbourne list	No	

Address	Place name	How identified	Recommended for HO	When recommended for HO
269-275 William Street MELBOURNE	Nubrik House	City of Melbourne internal review	Yes	2018-20
263-267 William Street MELBOURNE	Metropolitan Hotel	Previous heritage review	Yes	2017-18
277-287 William Street MELBOURNE	AGC House	Previous heritage review	No	



HODDLE GRID HERITAGE REVIEW

VOLUME 2a: Built &
Urban Heritage –
Precincts, pre-1945
places, revisions to
existing individual
Heritage Overlay

July 2020

Prepared for
City of Melbourne

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Project Team:

Context

On Country Heritage and Consulting

Ochre Imprints

Spatial Vision

Report Register

This report register documents the development and issue of the report entitled *Hoddle Grid Heritage Review – Volume 2a: Built & Urban Heritage – Precincts, pre-1945 places, revisions to existing individual Heritage Overlay* undertaken by Context in accordance with our internal quality management system.

Project No.	Issue No.	Notes/description	Issue Date	Issued to
2255	1	Hoddle Grid Heritage Review – Volume 2: Built & Urban Heritage – Assessed Places & Precincts	30.6.2018	City of Melbourne
2255	2	Hoddle Grid Heritage Review – Volume 2: Built & Urban Heritage – Assessed Places & Precincts	6.7.2018	City of Melbourne
2340	3	Hoddle Grid Heritage Review – Volume 2a: Built & Urban Heritage – Precincts, pre-1945 places, revisions to existing individual Heritage Overlay	3.7.2020	City of Melbourne

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LIST OF TECHNICAL VOLUMES

The Hoddle Grid Heritage Review is reported in a **Summary Report** and a series of technical volumes as follows:

Volume 1: Built & Urban Heritage – Methodology

Volume 1 explains the methodology used to select and assess the heritage values of precincts and individual places identified by the City of Melbourne and others as requiring assessment. This Volume also presents the steps undertaken to ensure that all likely heritage places have been identified and either assessed within the present project or recommended for future assessment.

Volume 2: Built and Urban Heritage – Assessed Places & Precincts

Volume 2 contains heritage assessments and recommendations for individual places and precincts. The material is in the form of citations suited to the recognition of a place on the Schedule to the Heritage Overlay in the Melbourne Planning Scheme. Volume 2 is divided into two volumes:

- Volume 2a – Precincts, pre-1945 places, revisions to existing individual Heritage Overlay
- Volume 2b – Postwar Thematic Environmental History and postwar places

Volume 3: Aboriginal Heritage

Volume 3 explains the approach to Aboriginal heritage for the Hoddle Grid Heritage Review. It explores the concept of shared heritage, the scope of contemporary Aboriginal heritage and the policy context. It describes the important role played by the three Traditional Owner organisations. Volume 3 explains the thematic analysis that was applied in framing the history (Volume 4) and describes how places were identified, mapped and an expanded Aboriginal Places List created. It also briefly outlines the pre-contact Aboriginal archaeological component. Through a co-research model, the three Traditional Owner organisations selected and researched specific places, and these are presented in this volume along with recommendations for recognition and interpretation of Aboriginal history and values. One place is recommended for inclusion in Heritage Overlay and the citation is therefore presented in Volume 2.

Volume 4: Aboriginal History - Hoddle Grid

Volume 4 presents a history of the Hoddle Grid study area in relation to Aboriginal history, connections and places. It builds on an earlier project (Context, 2010), adopts an Aboriginal and shared history thematic framework, develops each theme briefly and identifies place examples. The three Traditional Owner organisations recognised by the City of Melbourne (CoM) have been involved in reviewing the themes and identifying associated places.

Volume 5: Pre-Contact Aboriginal Archaeology of Hoddle Grid

Volume 5 presents an analysis of the pre-contact Aboriginal archaeology across the Hoddle Grid study area, considering prior land and water forms, vegetation and other factors that influenced Aboriginal land uses and activities over the estimated 40,000 years of Aboriginal occupation of south-eastern Australia. This information is then related to the evidence that has been uncovered through recent archaeological excavations. The result is a spatial model designed to predict the likelihood of uncovering evidence of pre-contact Aboriginal sites within the Hoddle Grid area. The model also considers past ground disturbance. It is designed so that it can be regularly updated. The model has been discussed with Traditional Owners and key government bodies, and recommendations are made on how to increase the assessment and management of Aboriginal cultural heritage ahead of redevelopment in the Hoddle Grid study area.

Volume 6: Communications & Engagement

Volume 6 documents the development and implementation of a Communications and Engagement Plan for the Hoddle Grid Heritage Review. Specific elements of engagement are detailed including the involvement of both internal and external stakeholders, engagement with Traditional Owner Organisations, the Participate Melbourne and Melbourne Conversations activities and the opportunities to develop interactive digital and other forms of public information.

ABBREVIATIONS

AHC	Australian Heritage Council
AV	Aboriginal Victoria
BP	Before Present
CASM	Corporate Affairs and Strategic Marketing
CBD	Central Business District
CHMP	Cultural Heritage Management Plan
CoM	City of Melbourne
ERG	External Reference Group
HCV	Heritage Council of Victoria
HERMES	Victoria's Heritage Database supported by Heritage Victoria
HO	Heritage Overlay
HV	Heritage Victoria
KHT	Koorie Heritage Trust
MMRA	Melbourne Metro Rail Authority
MMBW	Melbourne and Metropolitan Board of Works
VAHR	Victorian Aboriginal Heritage Register
VHI	Victorian Heritage Inventory
VHR	Victorian Heritage Register

PRECINCT CITATIONS

PRECINCT NAME	Drewery Lane Precinct
STREET ADDRESS	268-270 Lonsdale Street, 281-323 Swanston Street, 273-285 Little Lonsdale Street, 2-22 Drewery Place, 5-7 Drewery Lane, Drewery Alley, Drewery Lane, Drewery Place & Sniders Lane
PROPERTY ID	Refer schedule



- HERITAGE PRECINCT BOUNDARY
- SIGNIFICANT
- CONTRIBUTORY
- NON CONTRIBUTORY



SURVEY DATE: January 2018		SURVEY BY: Context	
HERITAGE INVENTORY	Refer to schedule	HERITAGE OVERLAY	VHR H802, HO905 (5-7 Drewery Lane) HO1014 (2-20 Drewery Place)
PLACE TYPE	Heritage Precinct	MAJOR CONSTRUCTION PHASE	1860s – 1920s
PERIOD OF DEVELOPMENT	Victorian Edwardian Interwar	ASSOCIATION WITH BUILDER OR ARCHITECT	Nahum Barnet Hugh Ralston Crawford

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Stage 2 Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a commercial city	5.5 Building a manufacturing capacity
	OTHER SUB-THEMES
9 Working in the city	9.1 A working class

LAND USE

HISTORIC LAND USE			
Archaeological block no: 13		Inventory no: 170-186	
Character of Occupation: Commercial			
5-7 Drewery Lane	H7822-1170	272-282 Lonsdale Street	H7822-1180
2-20 Drewery Place	H7822-1171	281-287 Swanston Street	H7822-1178
22 Drewery Place	H7822-1172	289-299 Swanston Street	H7822-1182
273-275 Little Lonsdale Street	H7822-1173	305-307 Swanston Street	H7822-1184
277-279 Little Lonsdale Street	H7822-1174	309 Swanston Street	H7822-1185
281 Little Lonsdale Street	H7822-1175	311 Swanston Street	H7822-1185
283-285 Little Lonsdale Street	H7822-1176	313-315 Swanston Street	H7822-1186
268-270 Lonsdale Street	H7822-1179		

THEMATIC MAPPING AND LAND USE

1890s	Commercial, residential along Little Lonsdale Street and Swanston Street
1920s	Commercial
1960s	Commercial

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as a Heritage Precinct.

Extent of overlay: Refer to map

SUMMARY

The Drewery Lane Precinct includes places linked to the tobacco industry of Sniders & Abrahams, set in a dense laneway network. It contains examples of three buildings by Nahum Barnet and one early reinforced concrete warehouse. It also includes commercial buildings from the Victorian, Edwardian and interwar periods, some with high integrity.

HISTORY

This Hoddle Grid precinct occupies part of the traditional land of the Kulin Nations. Whilst this study has not mapped any particular Aboriginal sites within the area of the Drewery Lane Precinct, this does not mean that none exist and future archaeological investigation has the potential to reveal evidence of pre-colonial Aboriginal occupation.

Historical context

As economic historian Tony Dingle states, for much of its history Melbourne has been Australia's largest centre of manufacturing. In the nineteenth century the industry was focused on the processing of primary products produced in rural Victoria, often for export, and the making of products for local consumer demand.

Building a manufacturing capacity

Building a commercial city

During World War One, the British economy could no longer export so much to Australia and local producers diversified, making chemicals, drugs, surgical and scientific instruments, paints, varnishes and musical instruments that had formerly been imported from Germany. By the end of the war the manufacturing industry had grown, especially in metals and engineering (Dingle 2008).

Melbourne's industry developed in particular areas of the city. The natural swamp to the west of Batman's hill quickly became

a fetid wastelands under European development. By the early 1840s the west had become the site of noxious industry, boiling down works, abattoirs, brickworks and rubbish tips, and would soon be the inevitable location for the docks and railways. Residential use moved as far away as possible (MPS:6).

Because of the area's distance from the Yarra River, the less desirable fringe development of mixed factories and artisans' residences developed in the northern section of the city grid, along Lonsdale Street and La Trobe Street (MPS:6). This area became a centre for furniture and clothing manufacture and engineering works.

As the eastern end of the grid was abandoned for residential use, the clothing trade moved in. The trade focused on the eastern edge of town, in part for its association with the fashion boutiques and Haute Couture 'Paris' end of Collins Street (MPS:64). A plethora of small businesses opened in Flinders Lane and Little Collins Street. By the 1880s, the east end of Flinders Lane was densely built up, with the rag trade and soft goods well established, particularly in the section between Swanston and Exhibition Streets (MPS:64).

Working in the city

A working class

Manufacturing was relatively inefficient and labour-intensive, providing large numbers of jobs. The economic depression of the 1890s slowed production, but in the first decade of the twentieth century, economic growth resumed.

After the gold rushes of the 1850s increased Melbourne's population more than fourfold in a decade and a policy of import protection was implemented in the 1860s, manufacturing became the biggest sector of the Melbourne economy and the main source of employment.

By 1871 more than 30 out of every 100 male and female wage-earners in Melbourne worked in manufacturing, by far the largest single category. By 1881 two-thirds of Victoria's 2500 factories were in Melbourne. On the eve of the depression of the 1890s a quarter of the Victorian manufacturing workforce was in the categories of metals, machinery and carriages, another 23% were in building materials and furniture, 19% in clothing and textiles, 15% in food, drink and tobacco, 9% in books, paper and printing, and 4% in leather products and tanning (Dingle 2008).

Place history

In 1866, Crown Allotments 7 and 8 in Section 28 of City of Melbourne (comprising the subject place) were owned by Payne, Glass and Brodie (*Plan of Melbourne* 1866). Drewery Lane and Drewery Place were named after chemist Thomas Drewery, who was elected City Councillor for Gipps Ward in 1851 (RHSV). In 1892, three Chinese residents lived in Drewery Lane, from where a perambulator maker, a box manufacturer, an importer, and Sniders & Abrahams cigar merchants also operated businesses (S&Mc 1892). In the 1890s, the Britannia Hotel, located on the corner of Lonsdale Street, Bruen's Hotel, and Club Hotel, both on Swanston Street, all had rear entrances onto Drewery Lane (Gerner 2008).

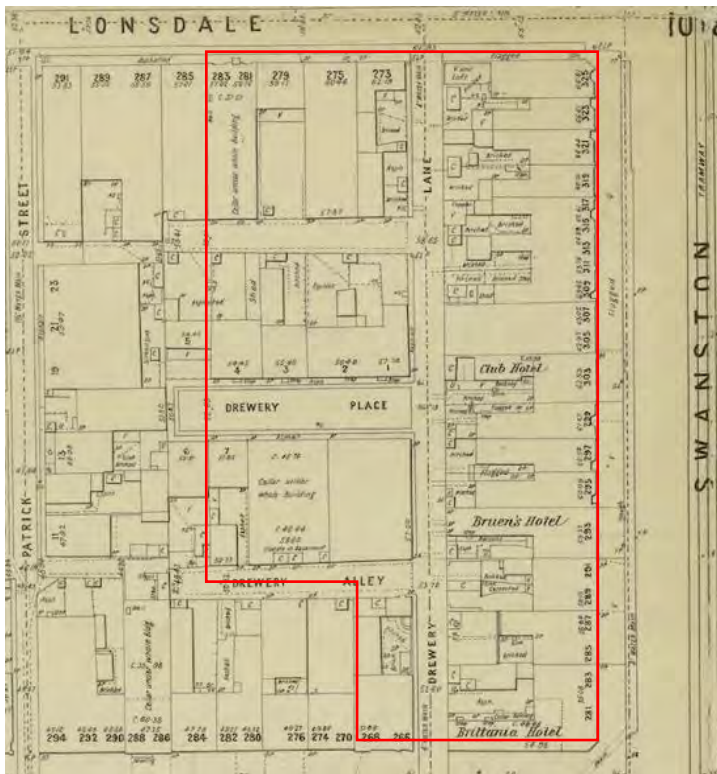


Figure 1. The subject precinct in 1895. It shows some large buildings concentrated in the laneways and small footprint shops and hotels on Swanston Street. (Source: MMBW Detail Plan no 1018, 1895)



Figure 2. The precinct in 1925. Some consolidation of sites has occurred in Swanston Street and only the Britannia remains of the hotels. Further development of warehousing and factories has occurred mid-block. (Source: Mahlstedt Map Section 2 no 5A, 1925)

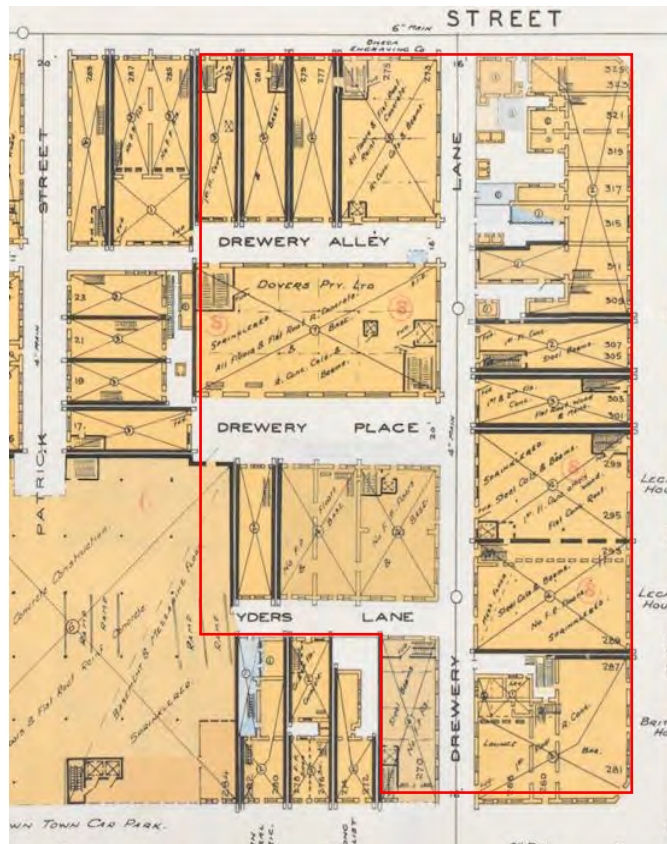


Figure 3. Showing the precinct buildings in 1962 with few major changes from 1925. (Source: Mahlstedt Map Section 2 no 5A, 1962)

Sniders & Abrahams

The 2011 Central City Heritage Review writes of the Sniders & Abrahams tobacco buildings in Drewery Lane:

The established and eminent cigar and cigarette manufacturing firm, Sniders and Abrahams Pty Ltd. commissioned architect Nahum Barnet to design what was termed as two factories [at 9-13] Drewery Lane (now 2-20 Drewery Place), erected in 1890. This part of Melbourne saw a concentration of tobacco firms that established large factories and warehouses in the late Victorian-era and Edwardian period...Sniders & Abrahams was to erect a number of large buildings in this locality...Barnet specialised in tobacco and cigar warehouse and factory architecture...

Miles Lewis has noted that the adjoining Sniders & Abrahams building (1908-9)...at 7 Drewery Lane was designed by the engineer H.R. Crawford, using the American flat plate reinforced concrete slab system of C.A.P. Turner. Later the Innes-Bell system of flat plate and waffle slab was also used in many Melbourne buildings (Butler 2011:154).



Figure 4. Businesses in Drewery Lane, c1950-c1980. The projecting entrances of 2-20 Drewery Lane on the left. (Source: Strizic c1950-c1980, SLV)

22 Drewery Place

22 Drewery Place stood partially empty in 1895 (Figure 1) and was owned by Edith Emily Rowe in 1896 (CT:V0623 F546). In 1898, William John Purves purchased the subject site (CT:V0623 F546).

W J Purves commenced his seed and plant supply business in Stephens Street (Exhibition Street) in 1875, moving to larger premises at 128 Swanston Street in 1878; the business was addressed at 268 Swanston Street by 1894 (*Weekly Times* 6 April 1878:7; *Advocate* 17 February 1894: 23).

The building at 22 Drewery Place was constructed sometime between 1898 and 1905 as a seed store and factory for W J Purves (Fels, Lavelle and Mider 1993, Inventory no 172). When Purves died on 27 January 1920, his probate stated that the real estate in his ownership included the brick factory erected on a piece of land with frontage to Drewery Place, with the land and building valued at £220 (PROV VPRS 28/P3 unit 1132).

The property was left to Purves' brother, Thomas Purves, in 1921, and was sold in 1946 (CT:V0623 F546).

281 Little Lonsdale Street

The two-storey brick warehouse at 281 Little Lonsdale Street was built in the 1880s (CoMMaps). By the 1890s Samuel and Daniel Harris were operating a business (type unknown) in the building (*Argus* 24 April 1896:5). By 1897, the building housed clothing company, Pearson and Company (*Age* 21 January 1897:6). In 1921, fabric manufacturers, the British Tie Company, occupied the site (*Argus* 14 May 1921:12).

In 1925, the building, then vacant and formerly let for £375 a year, was put up for sale (*Age* 2 May 1925:3). A second-hand motorcycle business had opened by 1926 (*Argus* 29 May 1926:5) and by the 1940s, builders Hollow & Sons Pty Ltd operated from the premises (City of St Kilda Building Permits Register no U610, as cited in AAI, record no 57643). The Cycle Press printery was located at 281 Little Lonsdale Street in the 1950s (*Age* 22 April 1950:33).



Figure 6. Little Lonsdale Street, 1968, showing numbers 277-279 (middle two-storey building) and 281 (to right of 277-279). (Source: Halla 1968, SLV)

283-285 Little Lonsdale Street

The two-storey building at 283-5 Little Lonsdale Street was constructed c.1905.

In 1907, Davies, Doery and Co's clothing factory operated from the premises at 285 Little Lonsdale Street, and Sniders & Abrahams cigar factory occupied what was then 287 Little Lonsdale Street (*City of Melbourne* 1907).

In June 1926, a Mr O'Keefe advertised building materials for sale from a 'building coming down' at 283 Little Lonsdale Street (*Age* 7 June 1926:2). From March 1927, cigarette manufacturer D W

Reddan Pty Ltd operated from the new building, advertising two floors for lease (*Argus* 19 March 1927:16). D W Reddan, tobacco and general merchants, had registered as a company in the same year with appointed directors, D W and A A Reddan (*Daily Commercial News and Shipping List* 23 March 1927:5).

In 1934, the Reddan company purchased premises at 285-287 Little Lonsdale Street (by then the two buildings had been joined into one) from Davies, Doery and Co and altered the building to suit its requirements (*Herald* July 1934:18). From 1936, the firm's address was 285-287 Little Lonsdale Street (*Argus* 9 May 1936:8). No.287 has since been demolished and some renumbering has taken place.

When A A Reddan died in 1953, part of his estate included a three-storey brick warehouse of approximately 4700 square feet at 283 Little Lonsdale Street (today's 283-285), with a concrete first floor and timber ground and upper floors, let to cigarette manufacturer, Godfrey Phillips Pty Ltd (*Age* 28 February 1953:25).

Dover's printing works operated from the building from 1954, and a real estate agent from 1962 (*Age* 16 October 1954:60; *Dutch Australian Weekly* 23 February 1962:15). The building in 1968 can be seen in Figure 7.

Today the building at 283-285 Little Lonsdale Street houses the restaurant Peony Garden.



Figure 7. Little Lonsdale Street, 1968, showing numbers 281 (middle two-storey building) and 283-285 (to right of 281). (Source: Halla 1968, SLV)

268-270 Lonsdale Street

In March 1905, architects Sydney Smith & Ogg advertised for tenders to purchase and remove buildings at the corner of Drewery Lane and Lonsdale Street (*Age* 25 March 1905:3).

In the same year, a five-level American Romanesque style cigar factory for Sniders & Abrahams was built at 268-270 Lonsdale Street by Stephen Armstrong (MCC registration no 9635, as cited in AAI, record no 9635; Butler 2011:254).

By 1925, the building was occupied by Edmunds Bros merchants and importers (Mahlstedt Map no 5A, 1925).

In 1939, R L Edmunds and Oswald Sholl of Edmunds Bros Pty Ltd became the Australian directors of a new company, Ensign Lamps (Australia) Pty Ltd, formed to manufacture electric lamp globes in Melbourne. Using English raw materials, 'expert operatives' from England were brought to Melbourne to operate the machines and train staff (*Australasian* 26 August 1939:40). The building at 270 Lonsdale Street housed Edmunds Bros Pty Ltd and was also the registered office of Ensign Lamps Pty Ltd through until the 1950s. It is believed the Ensign Lamps factory was located at 544 Lonsdale Street.

By 1954, Thorn Electrical Industries (Australia) Pty Ltd operated from the premises at 268-270 Lonsdale Street (*Age* 12 November 1954:6).

281-287 Swanston Street

This corner site was occupied from the 1860s by the Britannia Hotel (also referred to as the Britannia Inn) until its refurbishment in 1989 when it was converted to retail and office use. The current building replaced an earlier two-storey structure that occupied the corner site with frontages to Lonsdale and Swanston Streets (Department of Lands and Survey, 1866).

289-299 Swanston Street

The four-storey building at 289-299 Swanston Street, an austere form of the red brick Romanesque style, was constructed for Barnet Glass in 1909 to a design by architect Nahum Barnet for use as a retail outlet and showroom (Lewis 2005).

Prior to this, the site was occupied by a three-storey shop in 1880, and by 1905 two-storey and four-storey shops housing a tailor, pastry cook, tobacconist and glass company (Fels, Lavelle and Mider 1993, Inventory no 182).

Barnet Glass (1849-1918) was born in 1849 in Poland. As a young man he worked in Manchester, England, where he learned the processes of manufacturing waterproof clothing (Thomson 1983).

Glass arrived in Victoria c1876 and began manufacturing c1878 in Carlton. In 1882 he built a factory in North Melbourne, and by the end of the decade, the business had two departments: general clothing and waterproof garment manufacture. His business prospered despite the depression and in 1894 an office was opened in London and a branch factory, the Pioneer Rubber Co., in Adelaide (Thomson 1983).

In October 1900 Glass converted his business into a company, Barnet Glass & Sons Pty Ltd, and became its managing director. He sold the business to the Dunlop Pneumatic Tyre Company in 1905.

He subsequently bought land at Footscray, built a factory and plant, and, with his two sons and his sons-in-law, began work as Glass & Co (Thomson 1983).

By 1939, the Barnet Glass Rubber Co. had vacated the premises at 289-299 Swanston Street and in February 1940, the building was put up for auction. A sale notice described a 'very substantial brick building of four floors, excellently lighted and accessible, and equipped with two lifts, Grinnell sprinklers, ample lavatory accommodation, office fittings, and strongroom' (*Argus* 3 February 1940:1).

In 1940, the building was known as Red Cross House (Figure 8) (*Wodonga and Towong Sentinel* 20 September 1940:3).



Figure 8. Melbourne Red Cross House, formerly Barnet Glass rubber company (Source: NAA 1917-1968)

In 1952, the building was advertised for auction. It was described as a 'most substantially constructed city freehold' of 15,500 feet, built as 'two separate and self-contained buildings if desired, namely 289-293 and 295-299, each being on a separate title' (*Argus* 22 November 1952:18).

The Federal government purchased the building in 1953 for £96,140 to house the Federal Health Department (*Canberra Times* 25 April 1953:4).

Legacy Melbourne, formed after World War Two to care for families of Australian Defence Force veterans who had lost their lives or health serving their country, took over the building and extensively refurbished it in 1957; the building was subsequently renamed Legacy House (CoMMaps).

The building was refurbished again in 2006 for use as commercial premises and offices (CoMMaps).

301-303 Swanston Street

The current building at 301-303 Swanston Street was constructed in 1922. Findlay and Rogers, owners of the Junction Motorcycle Exchange, which sold motorcycles from 1918 from stores at 209 Swanston Street and at the St Kilda junction, commenced business in the new 'up to date commodious' building on 1 January 1923 (*Argus* 21 December 1922:2). By 1924, the buildings were occupied by Rogers Bros motorcycle retailers (*Age* 23 February 1924:27).

301 Swanston Street was offered for sale in 1931, and both buildings were sold in 1937 (*Argus* 30 January 1931:4; *Argus* 18 December 1937:13).

305-307 Swanston Street

The National Trust notes that a row of eight shops with lodging houses was built at 305-325 Swanston Street for W Hawkins c1850. The various occupants in 1853 included surgeon Dr Menzies, at numbers 313-315, and joiner S Langfield, at number 311. In 1857, 305-307 Swanston Street was occupied by Lloyds dancing rooms and was converted in the early 1860s into a Freemasons' Hall (NT 2007). The street numbering has changed to this part of Swanston Street and the current numbering is 309-323.

One source states that the building at 305-307 Swanston Street was erected c1915 ('Central City Heritage Study Review' 1993). However, according to the 1993 'Archaeological Management Plan', by 1905 a two-storey building was in existence on the site (Fels, Lavelle and Mider 1993, Inventory no 183).

The building at 305-307 Swanston Street, advertised as a two-storey brick building, sold in 1920 for £2900 (*Herald* 25 March 1920:12).

In 1922, architects Beaver and Purnell advertised for tenders for alterations and the installation of a show window at 305 Swanston Street, likely for Brooks furniture (*Argus* 14 January 1922:4).

Brooks furniture occupied 305-307 Swanston Street from 1922 until 1924, then from c1927 to 1930, lending its name to the building (*Age* 22 December 1922:2). From 1924 until c1927, Rogers Bros motorcycle retailers occupied the premises (*Age* 23 February 1924:27).

By 1956, the Carr Camera Company was conducting business from the building (*Argus* 18 June 1956:12).



Figure 9. Swanston Street looking south from Lonsdale Street, c1870-c1880, showing on the west side (RHS) the New Zealand Commercial Hotel (formerly numbered 323-325) and Railton & Co, seedsmen (number 321). A three-storey brick building can be seen further down Swanston Street at numbers 305-307. This was demolished to make way for the current building on site, constructed in 1922. (Source: 'Swanston Street looking South' c1870-c1880, SLV).



Figure 10. Shops formerly numbered 301-325 Swanston Street in 1977. The Carr Camera Company building at 305-307 Swanston Street can be seen second from the left. (Source: Collins 1977, SLV)

Nahum Barnet, architect

Nahum Barnet (1855-1931) was responsible for the design of many buildings in the central city including Her Majesty's Theatre, Exhibition Street and the Austral Building in Collins Street. He completed his articles with Terry & Oakden from 1876-79 before setting up his own practice which was to become immensely successful. Barnet had an interest in developing architectural styles that were suited to Australian conditions whilst also borrowing from the prevailing tastes and fashions of the eras in which he worked, including Classicism, the Gothic and Romanesque Revival. With strong Jewish connections, Barnet established his practice within commerce and manufacturing as well as undertaking buildings for the Jewish community. Barnet's work is distinguished by bold composition and massing across a range of styles combined with finely detailed decorative elements, often using Australian motifs (Goad & Willis, 2012:69-70).

Hugh Ralston Crawford, architect

Hugh Ralston Crawford (1874-1958) was born in the United States before he moved to Queensland where he was employed between 1891-1905 (Watson & McKay, 1984:63). Both architect and engineer, Crawford held the patent rights to the Turner Mushroom System of flat-slab concrete floors, a new system designed in the USA in 1906 which he applied to the construction of 5-7 Drewery Lane. From 1906-14 Crawford was employed in private practice in Melbourne, primarily in steel and reinforced concrete construction (Gerner, 2008).

Sydney Smith & Ogg, architects

Sydney Wigham Smith (1868-1933) and Charles A Ogg (1867-1932) formed a partnership in 1889. Smith was initially articled to his father, Sydney William Smith, who worked as an engineer and municipal surveyor in suburban Melbourne for some 30 years. Ogg worked for Reed, Henderson & Smart for five years before entering the partnership (Coleman 2012).

The firm designed houses, shops, banks, hotels and churches, and their early designs drew on the Arts and Crafts and Art Nouveau styles of the United Kingdom. A notable example in the city is Milton House, located in Flinders Lane (1901). From c1911 to 1914, the firm produced a series of innovative hotel designs, influenced by Arts and Crafts and Art Nouveau styles, largely in the inner suburbs, including the Bendigo Hotel, Collingwood (1911), Perseverance Hotel, Fitzroy (1911) and Kilkenny Inn, King Street, Melbourne (1913). Similar characteristics can be seen in their designs for a series of State Savings Banks, including Moonee Ponds (1905), Elsternwick (1907), and Yarraville (1909). All have symmetrical, red-brick facades with various combinations of bay, arched and circular window forms and render, wrought iron and terracotta detailing (Coleman 2012).

Sydney Smith and Charles Ogg both died in the early 1930s; however, Charles Edward Serpell (1879-1962), who joined the partnership in 1921, continued to practice until he retired in 1956 (Coleman 2012).

PRECINCT DESCRIPTION

The Drewery Lane Precinct is a small block with street frontages to Swanston, Lonsdale and Little Lonsdale Streets, and an internal network of lanes including the north-south Drewery Lane and three east-west lanes including Sniders Lane, Drewery Place and Drewery Alley. The middle of the precinct contains places associated with the cigar and tobacco industry (5-7 Drewery Lane and 2-20 Drewery Place).

Drewery Lane and Place

The network of north-south and east-west running laneways is bordered by commercial buildings that front the lanes. Drewery Lane has views south to Caledonian Lane and north to the Church of Christ, and several buildings have their principal frontages to the laneway. Drewery Place is unusually wide and is landscaped with trees and refurbished bluestone paving. Sniders Lane terminates in a view of the Melbourne Central development. The precinct retains its manufacturing commercial buildings with frontages to the laneways.

5-7 Drewery Lane (HO905, VHR H0802) was constructed with an innovative reinforced concrete construction system and a classical façade over five floors. 2-20 Drewery Place (HO1014) was constructed on a podium base with a deeply modelled cornice built in the Queen Anne revival style by Nahum Barnet. The main building on the corner of Drewery Lane incorporates a four-storey Victorian brick warehouse. A small two storey brick warehouse is at 22 Drewery Place.



Figure 11. Drewery Lane character. (Source: Context 2017)



Figure 12. Drewery Lane looking south. (Source: City of Melbourne, 2018)
 Figure 13. Drewery Lane Precinct viewed towards south. (Source: City of Melbourne 2018)

Lonsdale Street

The precinct has one building on Lonsdale Street, the five-storey Pacific House of 1903 at 268-270. Designed by architects Sydney Smith & Ogg, the building is a particularly fine architectural design with the Romanesque-inspired arches underneath a deep overhanging cornice. The window pattern within the brick arches is divided into both glazing and ornate panels with finely detailed stucco decoration.

Little Lonsdale Street

The small section of Little Lonsdale Street with three buildings of two-three storeys retains many original features. The group, despite differences in age and style are all rendered masonry and feature parapets and traditional window patterns. 277-279 Little Lonsdale Street is a two-storey Edwardian brick shop, refurbished in 1994 but still retaining its upper floor façade and ground floor recessed entry. 281 Little Lonsdale Street is a two-storey brick warehouse of face brick with a high degree of integrity and both the upper and lower floors are intact with no visible alterations. 283-285 Little Lonsdale Street, Reddan's Building, is a three-storey warehouse built in 1926 with a highly intact façade over three floors. It features large industrial steel-framed windows set within a smooth stucco façade and an overhanging cornice. The ground floor is intact with its central arched window and two doorways. The rear of these buildings forms a continuous industrial-like brick façade on Drewery Lane.



Figure 13. 277-285 Little Lonsdale Street. (Source: Context 2017).

Swanston Street

Swanston Street retains a variety of building types, all of which have rear aspects to Drewery Lane. The corner of Lonsdale and Swanston streets is occupied by the former Britannia Hotel with its distinctive corner octagonal tower rising above the roof level (Figure 14). Legacy House at 289-299 Swanston Street is a large-scale building over four storeys with alterations to the façade (Figure 8). The façade detail and materials of brick and stucco decoration are concealed but the giant order arches and window designs remain.

301-303 & 305-307 Swanston Street are a pair of three storey buildings, including the named Brooks Building, both with stripped classical interwar facades. Both of these buildings appear to have experienced substantial alterations and remodelling. The terrace row of two storey Victorian shops with residences above at 309-323 Swanston Street (HO1081) is typical of Victorian commercial buildings (Figure 15). There is a contemporary addition above part of the row, extending around the corner to Little Lonsdale Street.



Figure 14. Britannia Hotel Swanston Street. (Source: City of Melbourne, 2018)



Figure 15. Swanston Street and Little Lonsdale Street corner of Drewery Lane Precinct compare with Figure 10 photographed from the same angle. (Source: Google maps)

INTEGRITY

The Drewery Lane Precinct retains high quality commercial frontages to Swanston, Lonsdale and Little Lonsdale streets. To the rear the laneways and component buildings form a small but highly legible nineteenth century manufacturing precinct. Whilst individual buildings have been converted to residential apartments and other business uses, this has not been a high impact change of use.

COMPARATIVE ANALYSIS

Historically the Drewery Lane Precinct is one of several small precincts within the central city that has manufacturing as a major theme. Both Flinders Lane (HO506) and Flinders Lane East (interim HO1286) also express this strongly. Physically the Drewery Lane Precinct is one of several small precincts in the central city that derive their character from laneways. Like the Guildford and Hardware Lane precinct, Drewery Lane also combines a mid-block laneway character with commercial street frontages on the main streets.

Flinders Lane Precinct (HO506)

Flinders Lane precinct extends between Russell Street and Elizabeth Street with a smaller section between Elizabeth and Queen Streets. There is also a fine-grained plan with laneways. The component buildings, on small footprints and up to six storeys in height, represent a range of nineteenth and early twentieth century styles. Many buildings exhibit a Romanesque revival style. The scale of buildings in small streets such as Flinders Lane is directly related to limitations imposed by fire regulations for narrow streets.

Guildford and Hardware Laneways Precinct (HO1205)

The Guildford and Hardware Laneways Precinct comprises a nineteenth century laneway network within the larger street layout of the Hoddle Grid. It reflects the development of warehouses and businesses that congregated out of the retail core in the late nineteenth century. The precinct is significant for its distinctive streetscapes with diverse architecture, narrow footprints and dominant materials of red brick, stucco and bluestone.

Bank Place Heritage Precinct (HO503)

Bank Place is an urban precinct associated with the development of the Melbourne financial and legal district. It contains a visually cohesive group of distinctive architectural forms clustered around the early street, Bank Place. Many of the important architectural styles from nineteenth and early twentieth century Melbourne are represented in the precinct. The short street and its built enclosure at each end, including the important terminal view to Normanby Chambers, provide a distinctive scale. Unusual for its enclosure, architectural diversity and cohesive scale, Bank Place is a high-quality central city precinct.

The Drewery Lane Precinct, like Flinders Lane and Guildford and Hardware Laneways precincts, provides a compelling example of nineteenth and early twentieth century industry compressed into a small area. This is derived from the varied scale of buildings within the laneways. The inner core of the precinct is complemented by a rich and varied commercial streetscape along Swanston Street that retains an unusually long terrace of Victorian shops. This pattern is also part of Guildford and Hardware Laneways where Elizabeth Street has a different character derived from its larger scale commercial buildings.

ASSESSMENT AGAINST CRITERIA

✓ **CRITERION A**
Importance to the course or pattern of our cultural or natural history (historical significance).

CRITERION B
Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).

CRITERION C
Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).

✓ **CRITERION D**
Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).

✓ **CRITERION E**
Importance of exhibiting particular aesthetic characteristics (aesthetic significance).

CRITERION F
Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)

CRITERION G
Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).

CRITERION H
Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as a heritage precinct.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

PRECINCT CATEGORY SCHEDULE

CoM Property ID	Number	Street	Grading
102598	5-7	Drewery Lane	Significant (HO905, VHR H0802)
102597	2-20	Drewery Place	Significant (HO1014)
102596	22	Drewery Place	Contributory
105748	268-270	Lonsdale Street	Contributory
106008	273-275	Little Lonsdale Street	Non-contributory
106009	277-279	Little Lonsdale Street	Contributory
106010	281	Little Lonsdale Street	Contributory
106011	283-285	Little Lonsdale Street	Contributory
109302	281-287	Swanston Street	Contributory
109303	289-299	Swanston Street	Contributory
109304	301-303	Swanston Street	Contributory
109305	305-307	Swanston Street	Contributory
532170	309	Swanston Street	Significant (HO1081)
532171	311	Swanston Street	Significant (HO1081)
109307	313-315	Swanston Street	Significant (HO1081)
109308	317	Swanston Street	Significant (HO1081)
109309	319-323	Swanston Street	Significant (HO1081)

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STATEMENT OF SIGNIFICANCE

Heritage Place: Drewery Lane Precinct

PS ref no: Interim HO1290



What is significant?

The Drewery Lane Precinct including 268-270 Lonsdale Street, 281-323 Swanston Street, 273-285 Little Lonsdale Street, 2-22 Drewery Place, 5-7 Drewery Lane, Drewery Alley, Drewery Lane, Drewery Place & Sniders Lane, Melbourne, is significant.

Elements that contribute to the significance of the precinct include (but are not limited to):

- The small-scale commercial buildings constructed from c1850 to c1922, as shown on the precinct map.
- The pattern of development in the precinct which comprises mixed streetscapes of Victorian, Federation and interwar commercial and warehouse buildings, and the key features and original detailing characteristic of their respective styles.
- The high-quality commercial frontages to Swanston, Lonsdale and Little Lonsdale Street, and industrial streetscapes throughout the laneway network, with rear aspects and some frontages to Drewery Place, Drewery Alley, Drewery Lane and Sniders Lane.

The buildings at 22 Drewery Place, 277-279, 281, 283-285 Little Lonsdale Street, 268-270 Lonsdale Street, 281-287, 289-299, 301-303 and 305-307 Swanston Street are contributory.

The buildings at 2-20 and 5-7 Drewery Place, and 309-311, 313-315, 317 and 319-323 Swanston Street are significant.

Non-original alterations and additions to the contributory buildings, including cantilevered verandahs, are not significant.

273-275 Little Lonsdale Street is non-contributory to the precinct.

How it is significant?

The Drewery Lane Precinct is of local historic, representative and aesthetic significance to the City of Melbourne.

Why it is significant?

The Drewery Lane Precinct is historically significant for its demonstration of manufacturing and commercial activity from the nineteenth and early twentieth centuries. The area retains places associated with both large and small manufacturing enterprises that demonstrate a wide variety of work once available in the central city. The precinct has a strong association with the cigar and cigarette manufacturing firm Sniders & Abrahams who erected several large buildings in the locality including the warehouses at 2-20 Drewery Place and 5-7 Drewery Lane and their administrative building at 268-270 Lonsdale Street. Other large enterprises associated with the precinct include the Barnet Glass Rubber Company Ltd (until 1940), whose premises at 289-299 Swanston Street was later occupied by Red Cross and Legacy. (Criterion A)

The Drewery Lane Precinct, while physically quite diverse, demonstrates the way in which the Hoddle Grid incorporates large and small streets and laneways within a larger grid of streets. It is notable for its legacy of small and large buildings with frontages to Drewery Lane, Drewery Place, Drewery Alley and Sniders Lane. The precinct is also notable for its individual buildings designed by architects and engineers including Hugh Ralston Crawford (5-7 Drewery Lane, HO905, VHR H902), Nahum Barnet (289-299 Swanston Street) and Sydney Smith & Ogg (268-270 Lonsdale Street). The row of Victorian shops at 309-323 Swanston Street is notable for its considerable length and integrity. (Criterion D)

The Drewery Lane Precinct is aesthetically significant for the range of spatial experiences in its laneway network. Drewery Lane, Sniders lane, Drewery Place and Drewery Alley provide a notable public realm and setting for the individually significant and contributory places that border them. Predominantly of brick construction, buildings within the laneway network of the precinct exhibit both vernacular and high style architecture. Long commercial streetscapes including 301-323 Swanston Street and 277-285 Lonsdale Street demonstrate a visually cohesive and predominantly two-storey scale urban morphology with a consistent material palette of stuccoed masonry. (Criterion E)

Key characteristics include:

- The VHR-listed warehouse at 5-7 Drewery Lane constructed in 1909-10 to the design of engineer/architect Hugh Ralston Crawford.
- A significant factory built for Sniders & Abrahams and designed by Nahum Barnet in 1890 at 2-20 Drewery Place (HO1014).
- A contributory Romanesque revival Pacific House at 268-270 Lonsdale Street designed by Sydney Smith & Ogg in 1903.
- Contributory small scaled commercial premises at 277-285 Lonsdale Street built between the 1880s and 1930s.
- A significant row of Victorian shops and residences between 309-323 Swanston Street (HO1081).

- The former Barnet Glass Company retail premises (now Legacy House) designed by Nahum Barnet in 1909.
- Two storey shops at 301-307 Swanston Street.
- The Britannia Hotel at 281-287 Swanston Street, the only remaining hotel of three previously in this part of Swanston Street.
- A contributory building c1900 at 22 Drewery Place.
- The laneway network and its industrial buildings of Drewery Place, Drewery Lane and Drewery Alley and Sniders Lane.
- Commercial buildings fronting to Swanston, Lonsdale and Little Lonsdale Streets.

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

PRECINCT NAME Flinders Lane East Precinct

STREET ADDRESS 31-149 Flinders Lane, 11-15 Duckboard Place, 130-148 Flinders Street, 10-30 Oliver Lane, ACDC Lane, Duckboard Place, Higson Lane, Oliver Lane, Sargood Lane, Spark Lane and including the rear of 14-30 Russell Street.

PROPERTY ID Refer schedule



SURVEY DATE: January 2018

SURVEY BY: Context

HERITAGE INVENTORY	Refer to schedule	EXISTING HERITAGE OVERLAY	HO1030 – 61-73 Flinders Lane HO1026 – 75-77 Flinders Lane HO1032 – 125 Flinders Lane HO638 – 129-131 Flinders Lane VHR H428 – 129 Flinders Lane HO942 – 10-20 & 22-30 Oliver Lane VHR H1135 – 10-20 & 22-30 Oliver Lane HO1033 – 141-143 Flinders Lane HO847 – 145-149 Flinders Lane HO1036 – 130-132 Flinders Street
PLACE TYPE	Heritage Precinct	MAJOR CONSTRUCTION PHASE	1880 - 1930
PERIOD OF DEVELOPMENT	Victorian Edwardian Interwar	ASSOCIATION WITH BUILDER OR ARCHITECT	Sir John Monash HW & FB Tompkins William Henry Ellerker

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Stage 2 Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a Commercial City	5.5 Building a manufacturing capacity
	OTHER SUB-THEMES
9 Working in the city	9.1 A working class
	9.2 Women's work

LAND USE

HISTORIC LAND USE			
Archaeological block no: 63, 64		Inventory no: 924-935, 943-945	
Character of Occupation: Commercial			
11-15 Duckboard Place	H7822-1924	125-127 Flinders Lane	H7822-1930
31-35 Flinders Lane	H7822-1952	129-131 Flinders Lane	H7822-1931
37-45 Flinders Lane	H7822-1953	133-135 Flinders Lane	H7822-1932
55 Flinders Lane	H7822-1954	137-139 Flinders Lane	H7822-1933
61-73 Flinders Lane	H7822-1955	141-143 Flinders Lane	H7822-1934
75-77 Flinders Lane	H7822-1956	145-149 Flinders Lane	H7822-1935
87-89 Flinders Lane	H7822-1925	130-132 Flinders Street	H7822-1943
91-93 Flinders Lane	H7822-1926	134-36 Flinders Street	H7822-1944
95-101 Flinders Lane	H7822-1927	138-140 Flinders Street	H7822-1945
103-105 Flinders Lane	H7822-1928	10-20 Oliver Lane	H7822-1947
121-123 Flinders Lane	H7822-1929	22-30 Oliver Lane	H7822-1948
THEMATIC MAPPING AND LAND USE			
1890s		Commercial, Residential	
1920s		Commercial	
1960s		Commercial	

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as a Heritage Precinct.

Extent of overlay: Refer to map

SUMMARY

The Flinders Lane East Precinct between 31 and 145 Flinders Lane represents the commercial and manufacturing history of the textile, clothing and related industries that operated in the locality from the 1880s through to the 1960s. Distinctive two to six storey buildings remain on the south side of Flinders Lane and the urban form is enriched by a series of laneways.

HISTORY

This Hoddle Grid precinct occupies part of the traditional land of the Kulin Nations.

Whilst this study has not mapped any particular Aboriginal sites within the area of the Flinders Lane East Precinct, this does not mean that none exist, and future archaeological investigation has the potential to reveal evidence of pre-colonial Aboriginal occupation.

Historical context

Distinctive land use precincts had emerged within the city centre by the early 1840s, and within this pattern Miles Lewis has noted that precincts:

remained little changed into the 20th century and...survives today – mercantile and warehousing activity near the Pool [of the Yarra River] and the wharves, banking in central Collins Street, the retailing heart between Swanston and Elizabeth Streets, the medical precinct in the vicinity of Dr...Howitt's house in Collins Street East, and so on (Lewis 1994:22).

Because of the gold rushes, by 1854 Melbourne's population had reached 53,235 (Marsden 2000:26). The gold rushes brought not only a dramatic increase in population to Melbourne but also an increased demand for goods. As the Melbourne Planning Scheme (MPS) states:

With the rapid rise in population came a ready workforce. New railways took workers to the central city where the developing wharves handled the raw materials and finished goods. Bonded stores and warehouses held their position at the west end of the grid, but the east end of Flinders Lane was ideally located to make use of its transport advantages as a manufacturing centre (MPS:64).

Building a commercial City

Building a manufacturing capacity

Following the gold rush population boom, industry grew to satisfy demand and new factory workforces emerged. Import protection, first introduced in 1867, further encouraged manufacturing. For decades, Melbourne was Australia's manufacturing capital. The land that factories were built on tended to be low-lying and undesirable for residential use (Context 2012:44).

Flinders Lane became an important area for clothing manufacturers. Factories tended to be small and specialised (Context 2012:44). The retail function of Flinders Lane was strengthened by increased pedestrian through traffic generated by the proximity of the suburban rail terminus in 1859 (MPS:63).

The area of Flinders Lane in the 1860s is described by the *Encyclopedia of Melbourne*:

By the 1860s, as [Flinders Lane's] swamps were filled in, and as its proximity to the wharf encouraged the construction of warehouses and showrooms, the street gained a reputation as a busy and important thoroughfare, the chosen location of mercantile houses, importers, brewers, timber yards and wholesalers (May 2008).

As the eastern end of the city grid was largely abandoned for residential use, the 'rag trade' moved in. The clothing trade focused on the eastern edge of town, in part for its association with the fashion boutiques and Haute Couture 'Paris' end of Collins Street (MPS:64). A plethora of small businesses opened in Flinders Lane and Little Collins Street. As Barbara Savill notes,

The invention of the treadle sewing machine led to the establishment of many small clothing factories in these narrow streets. In some cases importers could convert the buildings that they occupied so that the ground floor would provide imported dress and tailoring materials, while upstairs there would be small sewing rooms where women were employed to make up what were often called 'shop goods' (Savill 1987).

By the economic boom years of the 1880s, the east end of Flinders Lane was densely built up, with clothing and soft good manufacturers well established, particularly in the section between Swanston and Exhibition streets where Flinders Lane also developed as an adjunct to the retail core (MPS:64).

From the 1880s retail outlets predominated, presenting display windows to the streets with wholesale offices, warehousing and offices above. By the first decades of the twentieth century, the buildings here reached 6-8 storeys, with considerable architectural pretension, showcase windows to the ground and basement floors and several arcades extending the retail frontage further (MPS:65).

In this section of Flinders Lane, the secondary lanes became pedestrian lanes, linking Collins and Bourke streets to Flinders Street station (MPS:65). The north-south lanes of Duckboard Place, Oliver and Higgs Lane were in existence by 1895 but remained unnamed until after the 1920s. East-west linking laneways such as Sargood and Spark Lanes were later to develop, generally beginning as private laneways (Rymer, 2018)

Working in the city

A working class

The textile industry formed an important sector of Melbourne central's economy. In Flinders Lane, from Spring to Queen streets, 'clothing warehouses, manufacturers, mill suppliers, button-and belt-makers, and clothes designers made the lane the centre of fashion, an industry pioneered by Jewish immigrant families such as Slutzkin, Blashki, Merkel, Haskin, Mollard and Trevaskis' (May 2008).

In 1901, the protection tariffs provided to all states of the Commonwealth and the enlarged 'common market' ushered in by Federation aided the development of Australian manufacturing. The advent of World War One in the period 1914-18 provided some stimulus to Australian manufacturing, but for the most part war emphasized the strategic weakness of Australia's reliance on manufactured goods and strengthened arguments for tariff protection, which was provided via the 'Greene tariff' in 1921 (Clark, Geer and Underhill 1996:6).

By 1921, 38% of Melbourne's workers were employed in industry; in turn, the growth of manufacturing stimulated urban growth, with almost all the new factory jobs in Australia between 1921 and 1947 created in Sydney and Melbourne. During the 1920s, Tony Dingle writes, there were 'increases in the scale of manufacturing activity, in the complexity of the equipment and the processes used and in the inter-relatedness of manufacturing production'. The rural sector faltered as it faced an increasingly unpromising world trading environment, but Melbourne boomed and it was manufacturing that led the way (Dingle 2008).

The expansion of new sectors in the manufacturing industry, including the clothing industry, was maintained by buoyant levels of domestic demand, with Melbourne reaching one million people by the end of the 1920s. In addition, incomes stretched further as mass production caused the prices of

some commodities to tumble (Marsden 2000:29; Dingle 2008). The growth of manufacturing in Melbourne in the 1920s was accompanied by the construction of offices to house administration staff and the erection of warehouses to store goods.

From the 1930s, like the rest of Australia, an increasing proportion of the city's workforce took up jobs in manufacturing, an industry that led Australia's recovery from the economic depression of the time, when, Dingle notes:

a steep rise in tariffs, devaluation of the Australian pound, falling wages and electricity costs all made local producers far more competitive internationally. Textiles benefited first, then the metals industries and engineering took over as pacemakers (Dingle 2008).

In the 1920s and 1930s, Commonwealth tariffs on textiles and clothing resulted in the construction in Flinders Lane of a number of factory and warehouse buildings connected with the clothing trade. Compared to the predominant form of earlier single and two-storey buildings, the multi-storey scale of industrial premises built from the 1920s, often importing ideas about design and technology from American examples, demonstrated a different building typology for factory buildings in Melbourne.

By the 1950s, a century of suburban development had shifted residents and factories from the city centre, although the population had levelled rather than steeply declined as immigrants replaced those who moved (Marsden 2000:30-31).

Crowding and a lack of parking forced the Flinders Lane rag trade into decline from the 1960s. By the 1970s only a few manufacturing businesses remained in the city centre.

Women's work

Women were restricted in terms of the paid work that was available to them. Single women found employment as domestic servants and nursemaids in private homes, although these positions had a high turnover — this situation was disparaged by employers as 'the servant problem'. Women also worked as school teachers and nurses, and as 'shop girls', waitresses and publicans. Large numbers of women found employment as machinists in the clothing and foot-ware factories that emerged in the late nineteenth and early twentieth centuries (Context, 2012:55).

Precinct history

Flinders Street (and Flinders Lane) were named after navigator Captain Matthew Flinders who claimed the discovery of Port Phillip in April 1802 aboard the Investigator, but who later conceded the prior arrival of Acting Lieutenant John Murray on the Lady Nelson in February 1802 (RHSV). Flinders Lane was also known as Little Flinders Street until 1948 when the Melbourne City Council declared Flinders Lane the official name (Age 8 June 1948:2).

The subject precinct is located on Crown Allotments 2, 3, 5, 7 and 20 of Block 7; and Allotments 2, 4, 5 and 20 of Block 8, City of Melbourne (Fels, Lavelle and Mider 1993). Figure 1 and Figure 2 shows the area of the subject precinct in 1895.

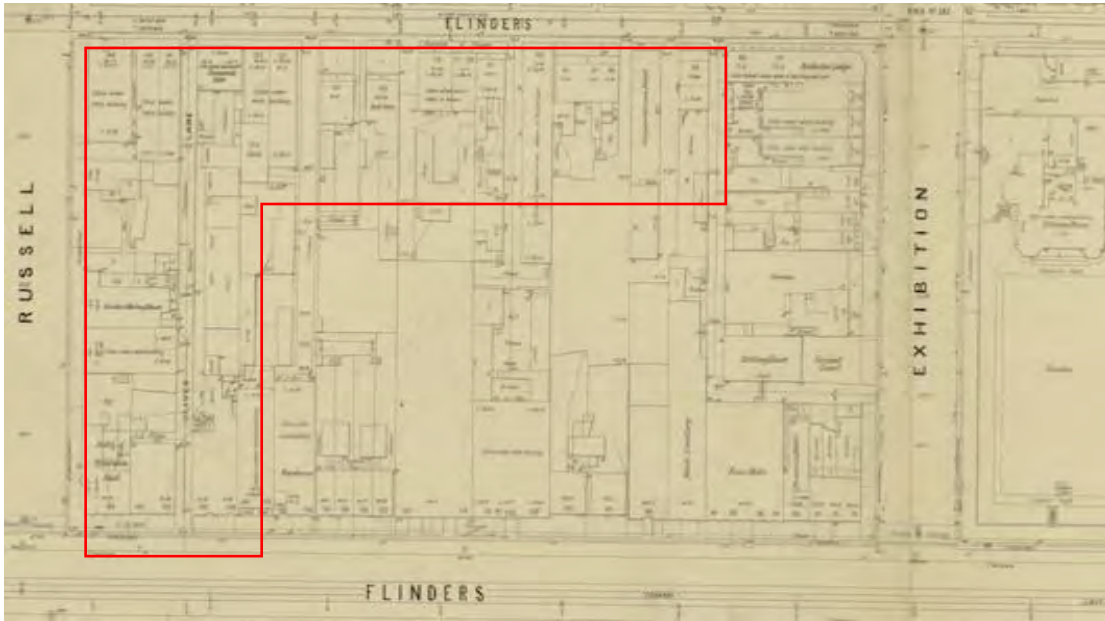


Figure 1. Flinders Lane East Precinct in 1895 between Russell and Exhibition Streets. (Source: MMBW Detail Plan no 1008, 1895)

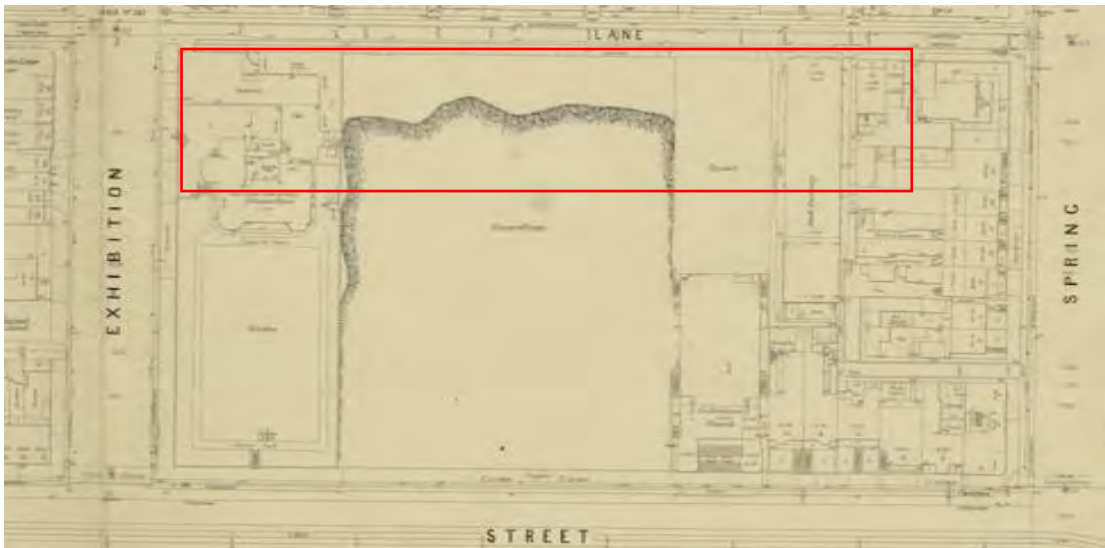


Figure 2. Flinders Lane East Precinct in 1895 between Spring and Exhibition Streets. (Source: MMBW Detail Plan no 1008, 1895)

The dominant use of the Flinders Lane East Precinct is for manufacturing, predominantly clothing and textiles although carriage builders are also present in the nineteenth century. Clothing and textiles become important from c.1910 and grow in importance throughout the century. Some histories of individual buildings marking the main phases and grouped into periods of development are provided below as examples.

Victorian development buildings

Victorian era (1840-1900) factory/warehouse buildings exist at 11-15 Duckboard Place and 103-105 Flinders Lane (Figure 7). These buildings reflect the consolidation of Melbourne's manufacturing and warehousing capacity in the 1880s.

It is believed that the land at 11-15 Duckboard Place came under the control of Melbourne City Council c1885 for use as its Corporation Yard and workshops. The current two-storey brick building at 11-15 Duckboard Place was erected c1885-87 at the rear of today's 91-93 Flinders Lane as a storage facility in association with the Corporation Yard. The Corporation Yard remained at the subject site until 1906 and the existing building was then addressed as part of 91-93 Flinders Lane after the Yard was relocated (S&Mc 1889-1906). The site was then occupied by Henry Henningsen, a Hawthorn builder, between 1906 and 1914 (S&Mc 1907-1915). Around this period, Henningsen erected a number of warehouses in Melbourne, including the three-storey brick warehouse built for P Warland Pty Ltd on the adjacent land at 87-89 Flinders Lane (Mahlstedt Map no 6, 1910). The property at 11-15 Duckboard Place was sold by the Melbourne City Council in 1920 (*Argus* 10 March 1920:3), and by the mid-1920s, had become an integral part of Denniston and Co clothing factory at 91-93 Flinders Lane, with a throughway built on the west elevation of 11-15 Duckboard Place (Mahlstedt Map no 6, 1925). The subject site is adjacent to a right of way, the current Duckboard Place, which was named in 1953 after Duckboard House, a clubhouse established for the South African Active Service Association at 91-93 Flinders Lane (Zhang 2008).

The former coach factory at 103-105 Flinders Lane (numbered 136 Flinders Lane until c1891) was built in 1886 by James Anderson for carriage builders Samwells and Reeves (Figure 7) (MCC registration no 2044, as cited in AAI, record no 76443). In 1888, the building, two-storeys at the front and three-storeys at the rear in that year, continued to be occupied by Samwells and Reeves who conducted their business there until at least 1905 (Fels, Lavelle & Mider 1993, Inventory no 928). The coach factory was built next to H Samwells' residence at 107-109 Flinders Lane which was constructed by James Nation and Co. c1881 (MCC registration no 8611, as cited in AAI, record no 76443). From the first decades of the twentieth century, the building at 103-105 Flinders Lane housed mainly clothing manufacturers through until at least the 1950s when lingerie manufacturers, Fachon Pty Ltd, occupied the premises (*Herald* 4 April 1914:6; *Argus* 7 March 1956:23).

Edwardian development

Edwardian era (1900-1915) buildings exist at 31-35, 37-45, 87-89, 95-101, 121-123 and 133-135 Flinders Lane (Figure 6, Figure 8, Figure 9), and 138-140 Flinders Street. These buildings reflect the growth of the manufacturing sector in the city centre from the early 1900s, after Federation, through until the advent of World War One in 1914.

The former brick warehouse and factory at 31-35 Flinders Lane was built for box manufacturers, Morris and Walker Pty Ltd, c1909 (CoMMaps; *Age* 24 July 1909:8). Morris and Walker leased the building in 1939 to the State Rivers and Water Supply Commission, but continued as owners until 1947 when they sold the six-storeyed brick building for £32,500 to Manchester Unity Fire Insurance of Victoria as an investment (*Argus* 4 September 1947:16; *Age* 4 September 1947:14).

It is likely that the building at 37-45 Flinders Lane, constructed c1910, was built for the J R Blencowe clothing factory, which was in operation at that address by 1911 (*Age* 22 March 1911:6). J R Blencowe won a number of contracts for the manufacture of clothing for the Australian military forces during World War One in the period 1915-1917 (*Commonwealth of Australia Gazette* 13 January 1916:72; 15 March 1917:472). A 1925 map shows that J R Blencowe clothing manufacturers continued to occupy the building at 37-45 Flinders Lane in this year, when the building was described as two storeys at the front and three at the rear (Mahlstedt Map no 3, 1925).

Interwar development

Interwar (1916-1939) buildings exist at 57-59, 91-93, 107-109 and 137-139 Flinders Lane, and 134-136 Flinders Street. The buildings, some designed by architects, reflect the continued demand in the 1920s for factory and warehouse space in the city centre for the growing manufacturing sector.

A modern factory building, named Dominion House, was built at 57-59 Flinders Lane in 1925-26 (Figure 5). The nine-storey building was designed by architects and consulting engineers, Henry Hare and Hare, to 'meet the requirements of the better-class factory...[with] particular attention to detail in lighting, construction, escapes and convenience of employees' (*Herald* 4 November 1925:4). Only three storeys, however, were constructed on the Flinders Lane frontage and six storeys at the rear. A further three floors of reinforced concrete, designed by the same architects and constructed by master builders W E Cooper Pty Ltd (*Building* 1929:51) were added to the building in 1929, bringing the Flinders Lane frontage to six storeys and the rear section to nine storeys. Other innovative features of the building included its fire resistance, separate passenger and goods elevators, wide column spacings to provide unobstructed work areas, a flat roof for the recreation use of tenants, 14 inch brick walls without windows to the west to provide improved insulation, and steel window frames on reversible pivots filled with ribbed prismatic glass to facilitate the distribution of diffused light. Each floor was capable of carrying 100 persons (*Herald* 4 November 1925:4; *Examiner* 10 May 1929:5).

In 1930, Dominion House was occupied by a number of businesses, including machinery importers and warehousemen, and a variety of manufacturers involved in the making of children's clothing, mantles, knitted goods and umbrellas (S&Mc 1930). Dominion House and the adjoining building at 49-57 Flinders Lane were offered for sale at auction on 7 April 1936. The highest bid was £40,000, at which price the property was withdrawn for private sale by the auctioneer (*Argus* 8 April 1936:16). Dominion House was sold for £34,500 to the Presbyterian Church of Victoria as an investment in 1946 (*Construction* 6 February 1946:5). A City of Melbourne building application notes that a permit for the addition of two storeys to the front part of Dominion House was made on 20 May 1959 (MBAI).

The factory/warehouse buildings at 91-93 Flinders Lane and 95-101 Flinders Lane were both owned in 1925 by clothing manufacturer, Denniston and Co. In that year, the buildings at 91-93 Flinders Lane comprised a three-storey brick factory (built in 1925) with a single storey store at the rear. In 1925, a single storey brick factory, constructed c1907 by builder R McDonald for Denniston and Co, existed at 95-101 Flinders Lane (MCC registration no 588, as cited in AAI, record no 76496; Mahlstedt Map no 3, 1925; MBAI). In 1938-39, the three-storey brick building with a two-storey section at the rear at 91 Flinders Lane was refurbished and renamed 'Duckboard House' to create new club premises for the Melbourne branch of the Returned Sailors and Soldiers Imperial League, associated with the South African and Active Service Association (*Argus* 8 July 1939:18).

Denniston and Co was established by James Denniston, a Yorkshireman, who was the managing director of the Doveton Woollen Mills in Ballarat in the 1890s. About 1896 Denniston conceived the idea of establishing a clothing factory to operate in association with the Doveton mills. With his two sons, H B and Chas E Denniston, and J Pearson, Denniston formed a company under the name of Pearson and Co to manufacture men's clothing in a factory in Melbourne at the corner of Little Lonsdale and Patrick streets. About eighteen months later the company moved to Russell Street and c1907 built a large factory in Flinders Lane where it carried on business under the name of Denniston and Co (*Age* 19 December 1936:8).

A three-storey factory with basement was constructed at 107-109 Flinders Lane c1920, with an application to make alterations to the factory building submitted to the City of Melbourne in 1921 (CoMMaps; MBAI). In 1920, the building housed a number of manufacturers, including makers of fancy leather goods in the basement; of Beehive Wools on the ground floor; and of underclothing and children's garments on the first floor. Blouse makers and knitters, the Mutual Manufacturing Company, occupied the second and third floors (S&Mc 1920). By 1923, a further two storeys had been added to the building. In this year, a five-storey reinforced concrete building was advertised for sale at 107-109 Flinders Lane. The auction notice stated that the building had been erected under the supervision of Sydney architects, Stone and Siddeley (*Argus* 22 September 1923:2). The building was later named Lisscraft House when it housed ladies clothing manufacturer, Lisscraft Creations (Figure 3, Figure 4).

H W & F B Tompkins, architects of 141-143 Flinders Lane

The *Encyclopedia of Australian Architecture* contains the following entry for architects H W and F B Tompkins:

H. W. & F.B. TOMPKINS, architects were established in 1898 when the brothers won a design competition for the Commercial Travellers Association CTA Clubhouse, 190 Flinders Street, Melbourne. Henry Harry William (1865-1959) and Frank Beauchamp Tompkins (c1867-1952) were born in England and educated in South Africa.

The competition win established the firm and by the early 20th century, H.W. & F. B. Tompkins was a leading commercial firm. Their commercial work up to WWII reflects the three influences popular at the time: the Romanesque style popularised by such architects as H.H. Richardson in the United States during the late 19th century; the Baroque Revival of the early 20th century, popular in Chicago and San Francisco after 1908; and the Moderne or interwar functionalist style of the 1930s.

The firm is one of the longest surviving in Victoria. In the 1950s it became Tompkins & Shaw when P.M. Shaw entered the partnership and then Tompkins, Shaw & Evans when Stan Evans joined. In 2003 it was acquired by Michael Davies Associates, forming a new firm, Tompkins MDA Group (Beeston 2012:707-708).

Sir John Monash – Monash & Anderson, engineers of 10-20 and 22-30 Oliver Lane

John Monash was a leading figure in the field of engineering, particularly in reinforced concrete. After World War One he was knighted in 1918 for his role in leading five Australian Divisions on the western front. Returning to Australia he became General Manager of the State Electricity Commission of Victoria. He also worked as an engineer, joining with John Thomas Anderson and builder and cement manufacturer David Mitchell. Monash and Anderson owned the Australian patents for the Monier construction system which was used in many bridges throughout Victoria (VHD, 18 & 30 Oliver Lane). Joshua Thomas Noble Anderson practised innovative engineering during difficult times in the economic depressions of the 1890s and 1930s, and in June 1894 the firm of Monash and Anderson opened at 49 Elizabeth Street, Melbourne (www.auspostalhistory.com/articles/1859.php).



Figure 3. Flinders Lane between ACDC Lane (formerly Corporation Lane) and Russell Street showing Lisscraft House at 107-109, the Blood Bank at 113 (now demolished), Austin House at 121-123, and Keith Courtenay Pty Ltd at 125-127. (Source: Halla c1972, SLV H36133/485 [copyright](#))



Figure 4. Flinders Lane between ACDC Lane (formerly Corporation Lane) and Exhibition Street showing Lisscraft House at 107-109, Walton Textiles at 103-105, and nos.87-95. (Source: Halla c1972, SLV H36133/484 [copyright](#))



Figure 5. Showing a drawing of the Dominion House factory building at 57-59 Flinders Lane. (Source: *Herald* 4 November 1925:4)

PRECINCT DESCRIPTION

The Flinders Lane precinct is relatively large, spanning nearly two whole blocks of the Hoddle Grid between Spring and Russell Streets. The borders of the precinct exclude Shell House forecourt and Milton House at 21 Flinders Lane, commencing at 31-35 Flinders Lane and extending to the corner of Russell Street.

While the precinct has several individual buildings with Heritage Overlays, and more than one state listed building, it has many other places that contribute to its diversity of scale and appearance. It also has a fine network of laneways intersecting with Flinders Lane. Building heights are generally between two and six storeys with some examples of taller contemporary buildings. Flinders Lane derives its character from this scale and reflects its history of manufacturing, particularly industries associated with textiles and clothing.

The Flinders Lane precinct retains a richness of character and a fine-grained urban form for much of its length. The description of the precinct is divided into five geographic sections below.

Between Spring Street and Exhibition Street

Heading west between Spring and Exhibition Streets there are two predominant scales of buildings. There is a predominant 2-4 storey scale of commercial building and the four-storey warehouse with giant order brick arches at no.31-35. An entry to the large carpark that leads through to Flinders Street forms a link between the lower and taller scales of the city block. The carpark adopts a similar scale to no.37. Immediately west of the carpark the scale changes to Dominion House (now eight-storey Manhattan Apartments at no.57-59 Flinders Lane), Sargood House (61-73 Flinders Lane) and the Alley building (75-77 Flinders Lane). These interwar warehouses make a large contribution to the urban form of the precinct. Contrasting this the north side of Flinders Lane is dominated by the rear of the IM Pei designed twin towers at Collins Place. Looking East there is a view of the Treasury Gardens between the tall towers at the corner of Spring Street and Flinders Lane.



Figure 6. 37-45 Flinders Lane. (Source: Context 2017)

Between Exhibition Street and Higsons Lane

Across Exhibition Street the scale of the precinct is lower and includes several two and four storey buildings with a rich tapestry of laneways wrapping around these. At the corner of Malthouse Lane and Duckboard Place no.87 the three-storey warehouse is viewed in three dimensions. The façade is modelled on the American Romanesque style like no.31-35 Flinders Lane. Duckboard House at 91-93 Flinders Lane is a much-altered interwar warehouse, refurbished in 2008. Two low-scale buildings at 95-101 and 103-105 Flinders Lane provide a human scale to the street, particularly the single storey former textile warehouse at no.95-101 Flinders Lane with its distinctive arched windows and an elaborate pedimented entrance. No.103-105 has a two storey Victorian shop and residence in close to its original form. The view of the side of this building down ACDC Lane is magnificent with its large multipaned windows in a face brick wall lighting the coach building factory.

Across ACDC Lane the four-storey former Lisscraft building at 107-109 Flinders Lane is still legible as an interwar four storey warehouse but has undergone alteration to the windows and the ground floor as well as having two additional floors added. Lisscraft House contains a rare birdcage lift interior in the foyer. A second car park within the Flinders Lane precinct occupies a large site at no.113 and was designed by architects Denton Corker Marshall in 1989. Nos.121-123 and the Higson's Buildings at 125 Flinders Lane (HO1032) are five-storey buildings with large windows and are of identical scale. Whilst no.121-123 has undergone some alterations to the windows and the ground floor it is still legible as an interwar warehouse.



Figure 7. 103-105 Flinders Lane and ACDC Lane. (Source: Context 2017)



Figure 8. Flinders East Precinct, from corner of Malthouse Lane. (Source: City of Melbourne 2018)

Between Higsons Lane and Russell Street

The block between Higsons Lane and Russell Street has buildings of varying scales that comprise a streetscape of diverse characteristics both in period of construction, style and typology. One of the oldest warehouses in the area built in 1857 is at 129 Flinders Lane (HO638). The side wall of this property contributes to the character of Higsons Lane. Of a similar scale but less intact is the Victorian warehouse with a pediment remaining but with a greatly enlarged upper floor window. At no.137-139 the former Bank of New South Wales from 1924 is highly intact. It is designed in an interpretation of the Gothic revival deemed in the nineteenth century to be a highly appropriate style for banks but adapted for the early twentieth century. The side of this building contributes to the character of Oliver Lane. Pawson House (HO1033) at no.141-143 designed in the moderne style by HW & FB Tompkins has a fine art deco interior with the entry lobby, stairs and lift interior contributing to its interwar style. 145-149 Flinders Lane (HO847) is the third Romanesque revival building in the precinct and is also by Tompkins architects but dating from the Edwardian period. It has an exceptionally rich and decorated exterior to both Flinders Lane and Russell Street.



Figure 9. Flinders Lane East Precinct, from corner of Flinders Lane and Russell Street. (Source: City of Melbourne 2018)

Oliver Lane to Flinders Street

Oliver Lane is paved with bluestone and is also a street frontage for the buildings fronting it. Views through Oliver Lane to the Yarra River enhance the pedestrian environment and there is a particularly fine view of the side elevation of 42 Russell Street (former Royal Bank of Victoria) to the north. Oliver Lane comprises several excellent buildings that front it. Two concrete warehouses of four and six storeys at nos.10-20 and 22-30 Oliver Lane are designed by engineer Sir John Monash (Monash and Anderson) and represent very early uses of reinforced concrete construction in the early 1900s. The rear of nos.18 and 30 Russell Street also contribute to the character of Oliver Lane. Brooks Building at no.24-30 Russell Street was built in 1915 but rebuilt after a major fire. The rear elevation is a fine face brick warehouse of five storeys. A contemporary three storey building at 14-22 Russell Street dates from the late 1960s and the earlier form of this building is evident as a brick façade of two storeys along Oliver Lane. The laneway has a good pedestrian link to Flinders Street and provides space for an outdoor café outside no.18. The precinct includes the rear of 24-30 Russell Street.

Other laneways

Duckboard Place is the setting for Duckboard House and connects with ACDC Lane to form a circuit around the three Flinders Lane buildings. The lane displays a uniform streetscape of low scale and red brick industrial buildings.

ACDC Lane connects with Duckboard Place to form a circuit and has a uniform streetscape of low scale industrial buildings that is significant.

Higson Lane is similar in character to Duckboard Place and ACDC Lane in displaying a consistency of warehouse building types. The blank brick wall of the car park is a contemporary feature but there are fine brick facades on both sides of the laneway. It has a fine view of the rear of a Flinders Lane property. Epstein House at no.134-136 Flinders Street is a fine interwar shop and manufacturing premises associated with the textile industry. It has been assessed as part of the Hoddle Grid Heritage Review to be of individual significance. 138-140 Flinders Street, a former eight storey office from the 1880s is refurbished into apartments but is still legible as a nineteenth century building for the lower floors. The third building in this block of Flinders Street within the precinct is no.130-132, an 1880s Renaissance revival warehouse by William Henry Ellerker.

INTEGRITY

The south side of Flinders Lane between Spring and Russell Streets retain a high percentage of buildings from the nineteenth and early twentieth century. The current buildings represent the second or third development of their sites with the earliest remaining building dating from 1857, but most relating to the period between 1890 and 1930. The north side of Flinders Lane between Spring and Exhibition Streets has been comprehensively redeveloped into the superblock of Collins Place and no longer relates to the south side of the laneway. Infill development on the south side at no.27 and even the carpark entrance at no.55 have kept a similar scale and footprint with the remainder of the street.

To the west of 11-37 Exhibition Street the precinct quickly re-establishes its smaller height and scale with no.87-89. The car park at no.114-128 Flinders Street is also an infill building but its scale fits in. The south side of Flinders Lane between Exhibition and Russell has a large number of significant and contributory buildings set between a network of laneways. On the north side the rear of 101 Collins Street and the Grand Hyatt Hotel dominate the streetscape for almost all of its length. The exception

is the former Bank of Victoria at 42 Russell Street where the Flinders Lane elevation makes an elegant contribution. The Royal Australian Institute of Architects building on the corner of Flinders Lane (41 Exhibition Street) is a new addition to the medium tall building typology. It reaches 21 storeys on a relatively small site.

COMPARATIVE ANALYSIS

Precincts with laneways and small streets

The city's lanes are places of intimate and rich urbane experiences, offering a diversity of choice from bustling and congested social places to sanctuaries of quiet solitude. The laneway's locations, orientations and widths serve as tangible markers to a changing urban morphology and public space network, which has resulted from the subdivision or consolidation of land within the Hoddle blocks, while their names provide enticing clues to former land uses, businesses, owners or notable people in the city's history. The city's small streets reflect their more restrictive fire regulations with a smaller scale of building throughout the nineteenth and early twentieth centuries. Through the nineteenth century the height of buildings was also limited by construction technology and the capacity of lifts, as well as the scale of the street.

Flinders Lane Precinct (HO506)

Flinders Lane precinct extends between Russell Street and Elizabeth Street with a smaller section between Elizabeth and Queen Streets. There is also a fine-grained plan with laneways. The Flinders Lane precinct has three distinct sections with the east associated with the clothing trade for over a hundred years, small wholesaling businesses in the central section and warehouses associated with the Customs House and the port in the western section. The component buildings, on small footprints and up to six storeys in height, represent a range of nineteenth and early twentieth century styles. Many buildings exhibit a Romanesque revival style. The scale of buildings in small streets such as Flinders Lane is directly related to limitations imposed by fire regulations for narrow streets.

Guildford and Hardware Laneways Precinct (HO1205)

The Guildford and Hardware Lanes Precinct comprises a nineteenth century laneway network within the larger street layout of the Hoddle Grid. It reflects the development of warehouses and businesses that congregated out of the retail core in the late nineteenth century. The precinct is significant for its distinctive streetscapes with diverse architecture, narrow footprints and dominant materials of red brick, stucco and bluestone.

The precinct is significant for its distinctive streetscapes with diverse architecture, narrow footprints and dominant building materials of red brick, stucco and bluestone.

Bank Place Heritage Precinct (HO503)

Bank Place is an urban precinct associated with the development of the Melbourne financial and legal district. It contains a visually cohesive group of distinctive architectural forms clustered around the early street, Bank Place. Many of the important architectural styles from nineteenth and early twentieth century Melbourne are represented in the precinct. The short street and its built enclosure at

each end, including the important terminal view to Normanby Chambers, provide a distinctive scale. Unusual for its enclosure, architectural diversity and cohesive scale, Bank Place is a high-quality central city precinct from the nineteenth and early twentieth centuries.

Flinders Lane East Precinct is highly comparable to Flinders Lane Precinct and retains much of the same history and associations. It has a high proportion of contributory places and several individually significant ones. Like all precincts within the Hoddle Grid, Flinders Lane East Precinct comprises a mix of typologies, periods of development and architectural styles, however it is one of few areas that retains the pre-modern form and character of the central city.

ASSESSMENT AGAINST CRITERIA

✓ **CRITERION A**
Importance to the course or pattern of our cultural or natural history (historical significance).

CRITERION B
Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).

CRITERION C
Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).

✓ **CRITERION D**
Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).

✓ **CRITERION E**
Importance of exhibiting particular aesthetic characteristics (aesthetic significance).

CRITERION F
Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)

CRITERION G
Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).

CRITERION H
Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as a precinct.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

PRECINCT CATEGORY SCHEDULE

CoM Property ID	Number	Street	Grading
110277	11-15	Duckboard Place	Significant (HO1267)
103914	31-35	Flinders Lane	Contributory
103915	37-45	Flinders Lane	Contributory
103916	55 also numbered 32	Flinders Lane Flinders Street	Non-contributory
103917	57-59	Flinders Lane	Contributory
103918	61-73	Flinders Lane	Significant (HO1030)
103919	75-77	Flinders Street	Significant (HO1026)
103920	87-89	Flinders Lane	Significant (HO1287)
103921	91-93	Flinders Lane	Contributory
103922	95-101	Flinders Lane	Contributory
103923	103-105	Flinders Lane	Contributory
103924	107-109	Flinders Lane	Contributory
103925	121-123	Flinders Lane	Contributory
103926	125-127	Flinders Lane	Significant (HO1032)
103927	129-131	Flinders Lane	Significant (HO638, VHR H0428)
103928	133-135	Flinders Lane	Contributory
103929	137-139	Flinders Lane	Significant (HO1292)
103930	141-143	Flinders Lane	Significant (HO1033)
103931	145-149	Flinders Lane	Significant (HO847)
104025	114-128	Flinders Street	Non-contributory
103922	130-132	Flinders Street	Significant (HO1036)
104023	134-136	Flinders Street	Significant (HO1274)
104022	138-140	Flinders Street	Contributory
104021	142-148	Flinders Street	Contributory/ Significant (VHR H1175)
107003	10-20	Oliver Lane	Significant (HO942, VHR H1135))
107002	22-30	Oliver Lane	Significant (HO942, VHR H1135)
108594	14-22	Russell Street	Non-contributory
108593	24-30	Russell Street	Contributory (Oliver Lane frontage)

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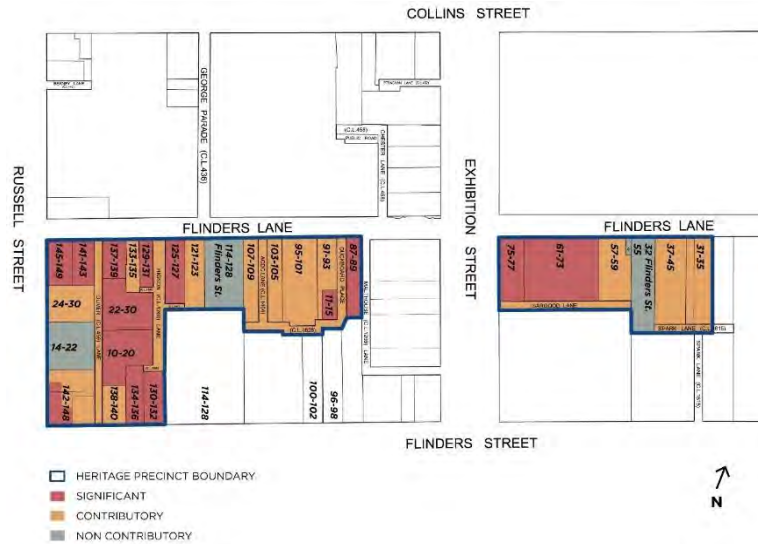
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STATEMENT OF SIGNIFICANCE

Heritage Place: Flinders Lane
East Precinct

PS ref no: Interim HO1286



What is significant?

The Flinders Lane East Precinct comprising 31-149 Flinders Lane, 11-15 Duckboard Place, 130-148 Flinders Street, 10-30 Oliver Lane, ACDC Lane, Duckboard Place, Higson Lane, Oliver Lane, Sargood Lane, Spark Lane and including the rear of 24-30 Russell Street.

Elements that contribute to the significance of the precinct include (but are not limited to):

- The commercial and warehouse buildings constructed from c1857 to c1939, as shown on the precinct map.
- The pattern of development in the precinct which comprises mixed streetscapes of Victorian, Federation and interwar commercial and warehouse buildings, and the key features and original detailing characteristic of their respective styles.
- The high quality commercial and warehouse frontages and some side aspects to Flinders Lane, Exhibition Street and Russell Street.
- The industrial streetscapes throughout the fine grain network of laneways intersecting with Flinders Lane, with rear and side aspects and some frontages to ACDC Lane, Duckboard Place, and Higson, Oliver, Malthouse, Sargood and Spark lanes.

The buildings at 31-35, 37-45, 57-59, 91-93, 95-101, 103-105, 107-109, 121-123, 133-135 Flinders Lane, and 138-148 Flinders Street are contributory. The laneway rear aspect of 24-30 Russell Street fronting Oliver Lane is also contributory.

The buildings at 61-73, 75-77, 87-89, 125-127, 129-131, 137-139, 141-143, 145-149 Flinders Lane, 130-132, 134-136 and 142-148 Flinders Street, 11-15 Duckboard Place, and 10-20 and 22-30 Oliver Lane

are significant. The VHR-listed Duke of Wellington Hotel at part of 142-148 Flinders Street is also significant.

Non-original alterations and additions to the contributory buildings are not significant.

The buildings at 55 Flinders Lane (32 Flinders Street), 114-128 Flinders Street, and 14-22 Russell Street are non-contributory to the precinct.

How it is significant?

The Flinders Lane East Precinct is of local historic, representative and aesthetic significance to the City of Melbourne.

Why it is significant?

The Flinders Lane East Precinct is historically significant for its association with manufacturing and warehousing principally for the clothing and textile businesses, colloquially referred to as the 'rag trade', between the 1850s and the 1930s. Far from dealing in rags, Flinders Lane was the hub of a fashion industry with its many small niche businesses that provided specialist finishing services to the clothing manufacturers. The area provided employment in clothing manufacture, and many employees were women. Flinders Lane was the epicentre of the textile and clothing industry and benefited from the Commonwealth tariffs that resulted in further construction of factories and warehouses throughout the 1920s and 30s. Historically, the Flinders Lane East Precinct was the home of several other industries including Melbourne City Council's Corporation Yard (11-15 Duckboard Place) and 91-93 Flinders Lane, coach and carriage builders Samwells and Reeves at 103 Flinders Lane and box manufacturers Morris and Walker at 31-35 Flinders Lane. (Criterion A)

The Flinders Street East precinct is significant for its low-rise built form and street pattern that represents the pre-modern city. The attributes of the precinct include the laneway network that provides additional street frontages for some buildings, and an almost continuous streetscape of up to six storeys in height on Flinders Lane. The precinct demonstrates a great variety of architectural expression developed over approximately 80 years and representing many styles. Several buildings of the Romanesque revival style including nos.31-35, 87-89, 125-127, and 145-149 Flinders Lane are notable. Interwar buildings in the stripped classical style of Pawson House (no.141) or the Gothic revival of the former Bank of New South Wales at no.137-139 are also notable examples. (Criterion D)

The Flinders Lane East Precinct is aesthetically significant for its views down Oliver, Malthouse and Higsons Lanes. It is also aesthetically significant for its nearly complete streetscape of small lot buildings up to six storeys in height and built to the property boundaries. The slope to the Yarra River allows some buildings to have basements or additional lower storeys. The open-ended Oliver Lane is aesthetically significant for its views to Flinders Street and beyond to the south, and of 42 Russell Street to the north. ACDC Lane, Higson Lane and Duckboard Place are significant for their enclosed and intimate scale enhanced by the red brick walls. The views along these lanes are significant for the aspects they reveal of the side of nos. 87-89, 91-93, 103-105, 107-109, 125-127, 129-131, 137-139 and 141-143 Flinders Lane.

The streetscape is highly varied but includes many buildings of individual architectural importance and high aesthetic value. The three buildings fronting Flinders Street (nos.130-132, 134-136 and 138-140) are of a similar scale and proportion to those in Flinders Lane. (Criterion E)

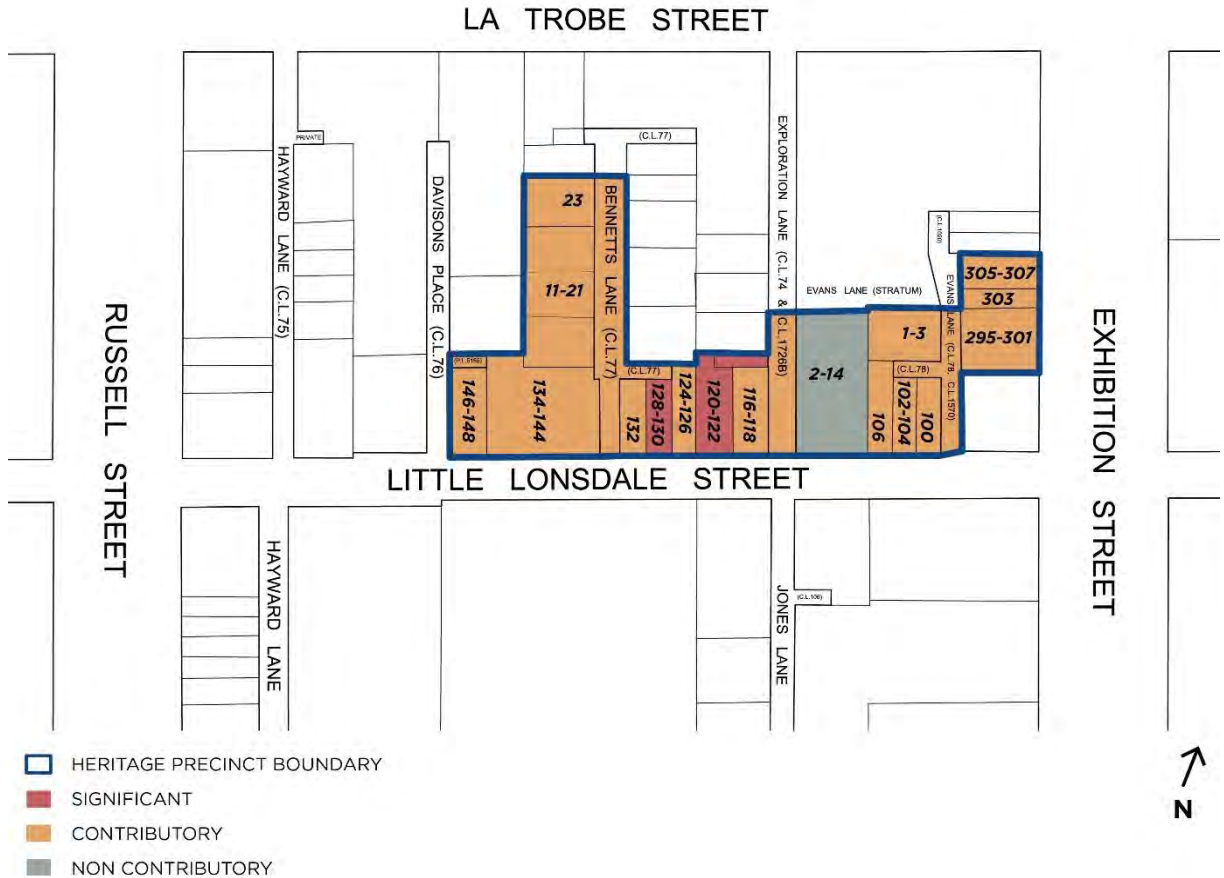
The attributes of the Flinders Lane Precinct include:

- VHR listed places at 129-131 Flinders Lane and 142-148 Flinders Street, reinforced concrete warehouses at 10-20 & 22-30 Oliver Lane associated with Sir John Monash and the early use of reinforced concrete as a construction material. The Oliver Lane warehouses are of technical and associative significance.
- Significant places with existing HOs at 61-73, 75-77, 125-127, 129-131, 141-143 and 145-149 Flinders Lane and 130-132 Flinders Street.
- Places assessed to be significant as part of the Hoddle Grid Heritage Review, 87-89 and 137-139 Flinders Lane, 134-136 Flinders Street and 11-15 Duckboard Place.
- All other contributory places noted in the precinct category schedule.
- The building height and scale of the precinct up to six storeys, some places with several additional storeys added but not compromising this scale.
- The intimate scale and character of Duckboard Place, ACDC Lane, Higson Lane, Spark and Sargood Lanes and the way in which they provide side views of significant and contributory places.
- The open-ended Oliver Lane with views to the north and south to the river.

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

PRECINCT NAME	Little Lonsdale Street Precinct (extension of Little Lon Precinct)
STREET ADDRESS	100-148 Little Lonsdale Street, 11-23 Bennetts Lane, 1-3 Evans Lane, 295-307 Exhibition Street, 2-14 Exploration Lane, Bennetts Lane, Exploration Lane, Evans Lane
PROPERTY ID	Refer schedule



SURVEY DATE: January 2018		SURVEY BY: Context	
HERITAGE INVENTORY	Refer to schedule	EXISTING HERITAGE OVERLAY	HO984 (Little Lon Precinct) VHR H2242, HO989 (128-130 Little Lonsdale Street)
PLACE TYPE	Heritage Precinct	MAJOR CONSTRUCTION PHASE	1870s-1920s
PERIOD OF DEVELOPMENT	Victorian Edwardian Interwar	ASSOCIATION WITH BUILDER OR ARCHITECT	Henry E Tolhurst W Rain

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Stage 2 Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here.
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a Commercial City	5.5 Building a manufacturing capacity
	OTHER SUB-THEMES
9 Working in the city	9.1 A working class

LAND USE

HISTORIC LAND USE			
Archaeological block no: 7		Inventory no: 82-119	
Character of Occupation: Commercial			
11-21 Bennetts Lane	H7822-1084, H7822-1086	116-18 Little Lonsdale Street	H7822-1108
23 Bennetts Lane	H7822-1087	120-122 Little Lonsdale Street	H7822-1109
1-3 Evans Lane	H7822-1090	124-126 Little Lonsdale Street	H7822-1111
295-301 Exhibition Street	H7822-1091	128-130 Little Lonsdale Street	H7822-1111
303-307 Exhibition Street	H7822-1092	132 Little Lonsdale Street	H7822-1112
100 Little Lonsdale Street	H7822-1104	134-144 Little Lonsdale Street	H7822-1113
102-104 Little Lonsdale Street	H7822-1105	146 Little Lonsdale Street	H7822-1114
106 Little Lonsdale Street	H7822-1106		
THEMATIC MAPPING AND LAND USE			
1890s		Residential, commercial and manufacturing	
1920s		Residential, commercial and manufacturing	
1960s		Residential and commercial	

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as a Heritage Precinct.

Extent of overlay: Refer to map

SUMMARY

The Little Lonsdale Street Precinct forms an extension to the Little Lon precinct. Comprising buildings constructed from c1840s to c1936, the area epitomises the much publicised and interpreted 'Little Lon' district and its colourful past and represents three key development phases in the city's history. These include the immediate post gold boom of the late 1850s and early 1860s, the development boom of the 1880s leading to the economic depression of the 1890s, and the Edwardian-era recovery that also saw the establishment of Chinese businesses in the area.

HISTORY

Historical context

This precinct occupies part of the traditional land of the Kulin Nations. Whilst this study has not mapped any particular Aboriginal sites within the area of the Little Lonsdale Street Precinct, this does not mean that none exist and future archaeological investigation has the potential to reveal evidence of pre-colonial Aboriginal occupation.

Distinctive land use precincts had emerged within the city centre by the early 1840s, and within this pattern Miles Lewis has noted that precincts:

remained little changed into the 20th century and...survives today – mercantile and warehousing activity near the Pool [of the Yarra River] and the wharves, banking in central Collins Street, the retailing heart between Swanston and Elizabeth Streets, the medical precinct in the vicinity of Dr...Howitt's house in Collins Street East, and so on (Lewis 1994:22).

This pattern of land use set the trend for the development of metropolitan Melbourne for the next 150 years: industry to the west, government and the best residential areas to the east, with retail at the centre (MPS:7).

By the 1840s, Collins Street East supported a low-density residential area. The commercial centre of Melbourne was focused to the west, near the Customs House and docks. The centre of the grid, with its flat land located between the 'supply' of goods in the west and the 'demand' from the population in the east, became the retail and banking core. The prime sites were close to the Yarra River, and development concentrated there in the early years (MPS:6, 59). The northern part of the city remained largely undeveloped for the first decade of the new Port Phillip settlement.

After the 1850s goldrushes, the construction of Parliament House (and other new public buildings such as the Town Hall and post office) moved the focus of Melbourne away from the docks. The retail zone of the city developed in the centre, and the west end of town took on a more mercantile and industrial character (MPS:59). The pressure to accommodate and service ever-increasing numbers of gold-seeking immigrants resulted in a dramatic increase in development of the northern city blocks (MPS:72).

Less salubrious 'fringe' areas also evolved. The east end of Little Bourke Street, for example, had an unsavoury reputation by the early 1840s when bawdy houses, unlicensed public houses and shanties erected without permits, were commonly reported. A working-class residential precinct, of mostly Irish immigrants, had emerged by the late 1840s and early 1850s in an area referred to as 'Little Lon' (Little Lonsdale Street bounded by Spring Street, Exhibition Street, La Trobe Street and Lonsdale Street) (Mayne 2008). As the Melbourne Planning Scheme notes, in these areas:

Development was generally unregulated, with back-to-back houses, cottages and workshops fitted in any available spaces, ramshackle extensions added on in corrugated iron, timber, canvas and any other available material and in the poorest areas, with large numbers of people occupying the same house or room (MPS:78).

By 1900 most of the Irish immigrant first generation living and working in Little Lon had been replaced by newer working-class arrivals: Chinese, German Jews, Lebanese and Italians (Mayne 2008). Most

were hawkers, small traders, or in the case of the Chinese, cabinetmakers and laundrymen. (Damousi 2008).

In 1913, a Parliamentary joint committee reported on the condition of slums in Melbourne, including a number in the city centre. Efforts were subsequently made to clear up the slums, including those in the areas of Little Bourke Street and Little Lonsdale Street, by demolishing the buildings and forcing their occupants into alternative accommodation (MPS:79). A newspaper report of the day reported on the progress of the City of Melbourne's clearance program:

In those quarters neighbouring on Davison-place, Bennett-place, Exploration-lane and Evans-lane— all between Russell and Exhibition streets and Latrobe and Little Lonsdale streets— "condemnation" of buildings has led merely to their being devoted to other purposes. The old insanitary places have been given coats of white wash, the walls between their reeking apartments have been knocked down, and the buildings have been re-let to Chinese furniture makers, generally for increased rentals. In some cases, the condemned places are still being used as dwellings... (Age 18 April 1914:22).

Workshops and small factories increasingly took over the Little Lonsdale Street area. By the first decades of the twentieth century, settlement around Little Lonsdale Street comprised small houses with rear yards and outhouses facing laneways. Other whole allotments were taken up by industrial and warehouse buildings.

In the area of Little Lonsdale Street, in 1948 the Commonwealth Government compulsorily acquired land bounded by Lonsdale, Exhibition, Little Lonsdale and Spring streets. The area was irrevocably changed as homes and factories were razed to the ground, and a large government office block was built in the southeast corner. Further demolition took place in the 1980s to make way for commercial development (Marsden 2000:29-30, Dingle 2008).

Precinct history

The subject precinct in Little Lonsdale Street extends the existing Little Lon Precinct (HO984) at 116-132 Little Lonsdale Street (Figure 5, Figure 6). The Little Lon Precinct

...epitomises the much publicised and interpreted 'Little Lon' district and its colourful past, represent[ing] three key development phases in the City's history, the immediate post golden era boom of the late 1850s and early 1860s, the development boom of the 1880s leading to the great Depression of the 1890s, and the Edwardian-era recovery with development of local manufacturing that also saw the establishment of a greater Chinatown in the street (MPS Amendment C165 2011).

The existing Little Lon Precinct building group comprises

the gold rush era Exploration Hotel and develops through the nineteenth century with the associated boarding and row houses at 120-122 Little Lonsdale Street and the Leitrim Hotel [HO989], itself erected on an old hotel site. The next phase of building is from the Edwardian era with factory warehouse construction that was to serve the Chinese cabinet making and furniture trade (MPS Amendment C165 2011).

The precinct extension, and the Little Lon Precinct, are located on Crown Allotments 10-17 and 19, Block 26, City of Melbourne. In 1866, allotment 10 was owned by T B Payne; allotments 12 and 13 by John Wollaston; allotments 14 and 15 by D T Kilburn; allotment 16 by J W Cowell; allotment 17 by

John Mooney; and allotment 19 by Keith, Ozanne and Blondell (*Plan of Melbourne* 1866). By 1878, the land bounded by Lonsdale, Russell, La Trobe and Stephen (Exhibition) streets comprised two churches, a number of residences and larger buildings, likely to be small factories (Figure 1). By 1895 further development of the area had taken place (Figure 2).



Figure 1. By 1878, the land bounded by Lonsdale, Russell, La Trobe and Stephen (Exhibition) streets (outlined in red) featured two churches, a number of residences, and larger buildings, likely small factories. (Buildings are defined by shading.) (Source: *Plan of Melbourne*, Railway Department, 1878)

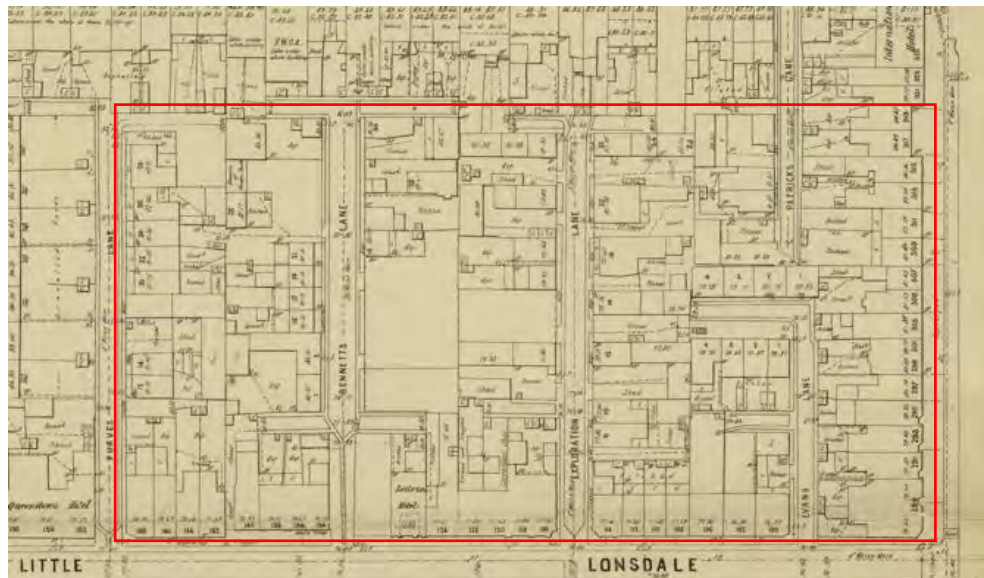


Figure 2. Showing buildings in the subject precinct area in 1895. (Source: MMBW Detail Plan no 2019, 1895)

Like the Little Lon Precinct, the subject precinct is a remnant of the vibrant and complex community that evolved in the area from the 1840s. The buildings that make up the subject precinct exhibit distinct styles that mark the main phases of development, as outlined in the Little Lon history, but extending this to the interwar period. Some histories of individual buildings that exemplify these key phases of development are provided below.

Victorian development

Victorian era (1840-1900) buildings exist at 102-104, 120-122 and 146-148 Little Lonsdale Street. The two-storey brick buildings reflect the common practice of the era whereby commercial premises were constructed to house retail outlets at ground level with residences and workspaces for business-owners provided on the floors above, with the exception of 120—122 Lonsdale Street which does not appear to include a shop or shops on the ground floor.

In 1880, the building at 102-104 (addressed as 137 until c.1890) Little Lonsdale Street comprised a two-storey brick house 'consisting of baker's shop and three rooms, with...bakehouse and oven' (*Age* 1 May 1880:2). It is believed that the current building was constructed for Joseph Jones c1894 (Fels, Lavelle & Mider 1993, Inventory no 105). In 1899, the building, advertised as 'eminently suitable for a wholesale or retail or manufacturing business', was described as a brick shop and dwelling (*Herald* 11 September 1899:4). In 1901, the building housed a clothing manufacturer (*Age* 17 December 1901:9). A 1917 advertisement for the sale of the property described the building in that year as a two-storey double-fronted brick shop with six rooms (*Argus* 2 April 1917:2). In 1977, the then owners applied to change the use of the building from a factory to a house, and in 1979, the building was refurbished (MBAI 12535; CoMMaps).

The two-storey building at 146-148 (addressed as 101-103 until c1890) Little Lonsdale Street comprises two Victorian residences facing Little Lonsdale Street with a single storey factory built c1921 at the rear of the property (Figure 7) (CoMMaps). In 1884, Mrs Abel lived at 146 and grocer John Caples occupied 146-148 Little Lonsdale Street (S&Mc 1884). John Caples lived in and operated a grocery shop from the premises in 1892 (S&Mc 1892). The two residences are shown on site in 1895 (Figure 2). In 1921 a permit was applied for to build a factory at 146-148 Little Lonsdale. Additions were made to the building in 1924 (MBAI 3405 and 6415). The factory site at 146-148 Little Lonsdale Street, including two old houses, was passed in at auction in 1937 (*Argus* 11 March 1937:4). A permit was requested for alterations to the building in 1943, and by 1962, the property at 142-148 Little Lonsdale Street was used as F Watkins Pty Ltd stables (Mahlstedt Map Section 2, no 7A 1925; MBAI 22777). The buildings at 146-148 Little Lonsdale Street were extensively renovated in 2006 and converted into offices (Figure 7) (CoMMaps).

Edwardian development

Edwardian era (1900-1915) buildings exist at 25 Bennetts Lane and 1-3 Evans Lane. These buildings reflect the growth of the manufacturing sector in the city centre from the early 1900s, after Federation, through until the advent of World War One in 1914, and particularly in the Little Lonsdale Street area after the slum clearances from 1913.

Bennetts Lane (also known as Bennett Lane), once in the heart of the Chinese quarter, was one of the areas affected by the 1913 slum clearances (*Australasian* 28 June 1913:3). Property in this area,

including a condemned residence and workshop at 25 Bennetts Lane occupied by Chinese cabinetmaker, Woon Ack Cheong, was owned by King O'Malley, former Federal minister for home affairs (*Argus* 27 June 1913:12). The current brick factory at 25 Bennetts Lane, also owned by O'Malley, was constructed c1912. In 1913, the factory was leased by cabinetmakers Woon Ack Cheong, Wing War & Co, and G Louey Gooley, and, by 1920, was occupied by Chinese cabinetmaker, Sam Way and Co (S&Mc 1913 and 1920). The name of Sam Way is likely a derivative of Sang Wah, who is listed as a cabinetmaker in Bennett Lane in 1905 (S&Mc 1905). Way and Co operated from the factory at 25 Bennetts Lane until c1930 (S&Mc 1925 and 1930). Lin Wing Wah & Co, also Chinese cabinetmakers, worked from 12 Bennetts Lane in the 1920s and may have been related to Sam (*Argus* 17 June 1924:17). A 1925 map shows cabinetmaker Sam Way also occupying 16 Bennetts Lane (Figure 3). By 1930, the Leather Good Manufacturing Co had opened on the first floor of the building at 25 Bennetts Lane (S&Mc 1930). O'Malley operated his printing press, Maxim, from the ground floor in the 1930s (*Age* 19 February 1938:5). J Wipfli Plastic Co-operated from the building from the 1940s to the 1960s. In 1992, the building at 25 Bennetts Lane was converted into the Bennetts Lane Jazz Club with an upper floor residence (CoMMaps). Bennetts Lane Jazz Club was a well-known jazz venue from 1992 onwards (currently closed).

In 1910, two brick cottages at 1 and 2 Evans Lane were put up for auction (*Age* 19 February 1910:3). Architect W Rain subsequently advertised for tenders for the construction of two-storey semi-detached factories in Evans Lane in 1913, likely on the same site, for owner King O'Malley. The tender was won by builders Reynolds Bros of Fitzroy (*Herald* 18 September 1913:4; MCC registration no 4173, as cited in AAI, record no 74904) (Figure 12). In 1915, cabinetmakers Sing Cheong and Chin Soo operated businesses from 1 and 2 Evans Lane respectively (S&Mc 1915). By 1920, cabinetmaker Chin Soo was the sole occupant of 1-3 Evans Lane (S&Mc 1920). As a part of a program to supply new substations in the 1920s, in 1928 the City of Melbourne called for tenders for the conversion of an existing building in Evans Lane into a substation (*Argus* 28 July 1928:4). The electric substation on the subject site operated under the management of Melbourne City council until the privatisation of the electricity industry saw it transferred to CitiPower Ltd in 1995. Today, 1-3 Evans Lane continues to operate as a substation.

The owner of 25 Bennetts Lane and 1-3 Evans Lane from the first decade of the twentieth century, King O'Malley (c1858–1953), was a politician born in North America and arriving in Melbourne in 1888. A keen federalist, O'Malley campaigned as an independent for the new House of Representatives, coming second in the election. In 1901 he joined the Australian Labor Party, which eventually supported his proposal for a national bank (the Commonwealth Bank). Twice minister for home affairs, he invested in many houses in Melbourne, some of them slum cottages (Rimon 2006 and Hoyle 1988).

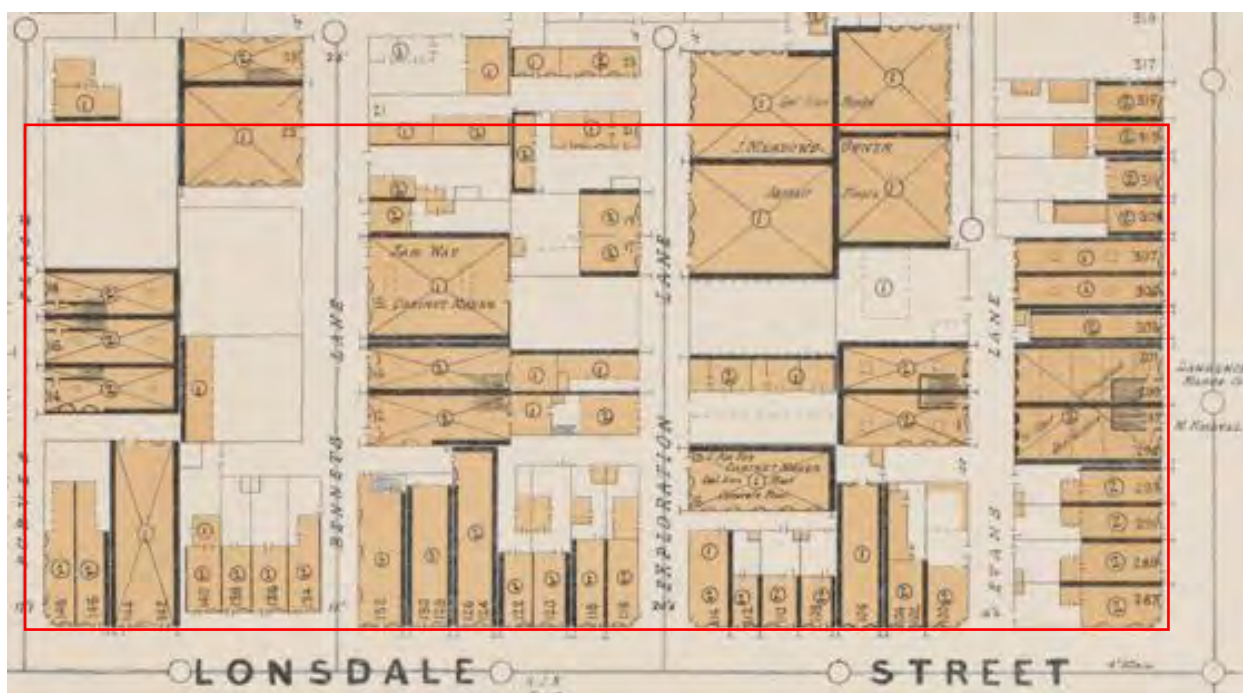


Figure 3. The precinct in 1925. (Source: Mahlstedt Map 1925, Section 2 no 7A)

Interwar development

Interwar (1916-1939) buildings exist at 11-21 Bennetts Lane, 23 Bennetts Lane and 295-301 Exhibition Street; and at 100, 106, and 134-144 Little Lonsdale Street. The buildings reflect the continued demand in the 1920s and 1930s for factory and warehouse space in the city centre for the growing manufacturing sector.

In 1917, four brick two-storey houses at 15-21 Bennetts Lane (Figure 10) were put up for auction (*Argus* 13 October 1917:2). The houses were demolished by 1920, and the allotment remained vacant until 1 June 1928 when the Salvation Army opened a new soup kitchen on the site at 21 Bennetts Lane (S&Mc 1920). One of a number of food and accommodation facilities established across Melbourne by the Salvation Army, the premises at Bennetts Lane supplied food to the large numbers of people left without employment because of the widespread economic depression of the time. After the Salvation Army vacated the premises in 1930, the building was divided into three addresses by 1934: 17, 19 and 21 Bennetts Lane (*Herald* 8 August 1930:16). Scrap metal merchant, S S Stone, occupied the premises at 21 Bennetts Lane in 1934 (*Herald* 6 January 1934:33), and lift engineers, Allsop Bros, tenanted the building at 17 Bennetts Lane in 1937 (*Age* 12 June 1937:19). Meik Bros Pty Ltd, metal workers, worked from 19 Bennetts Lane in 1934, and Levingston Foster Advertising Co worked from the same address in the 1950s (*Herald* 2 July 1934:21; *Age* 1 July 1954:12). In 2003, the building, addressed today as 11-21 Bennetts Lane, was extensively refurbished, including the addition of a top storey, for use as three offices (CoMMaps).

A trustee's auction sale of land and buildings at 295 and 301 Exhibition Street was held in April 1920. The site was described as 'suitable for a motor garage, factory, or shops' in a portion of the city that was 'rapidly improving' (*Argus* 28 April 1920:3). In 1936, managing director of Palfreyman Motors, F A Palfreyman, announced the opening of new city premises at 295-301 Exhibition Street to supplement the parent organisation in Chapel Street, South Yarra. Constructed for the owners of the site, the Lebanese Taweel family: Nicholas and Sharijeh Taweel (Figure 4), and their children, the premises

incorporated more than 5000 square feet of showroom space and office accommodation (*Age* 30 July 1936:6). The building at 295-301 Exhibition Street was put up for auction in March 1940, when it was described as a 'modern showroom and factory...comprising an attractive two-story brick building, well lighted with large show window, brick and concrete floors, separate entrance, ample toilet arrangements, excellent loading facilities' (*Argus* 2 March 1940:19). In the 1950s, the Millsoms conducted a clothing manufacturing business from 295 and a real estate business from 301; in the 1980s, the building at 295-301 housed the Khan Mongolian Barbeque Restaurant (*Age* 13 September 1952:23; *Age* 10 April 1953:10; *Age* September 24, 1982:35).



Figure 4. Nicholas Taweel and his wife Sharijeh, Melbourne, 1912. (Source: SLV)



Figure 5. From RHS to LHS, 120-132 Little Lonsdale Street (HO984) between Bennetts Lane and Exploration Lane, 1967. Former Leitrim Hotel shown in centre. (Source: Halla 1967, SLV)



Figure 6. The second group of buildings from the RHS (in the middle of the photo) comprise 116-132 Little Lonsdale Street (HO984), then Bennetts Lane, then 134-144 and 146-148 Little Lonsdale Street, then Davisons Place, 1966. In the foreground is 100-106 Little Lonsdale Street with a car mechanic premises with a large frontage setback in front of Exploration Lane. (Source: Halla 1966, SLV)

Henry Edmeades Tolhurst, architect

Henry Edmeades Tolhurst (1837-1902), architect, engineer and surveyor was employed as Town Clerk to the Borough of Eaglehawk near Bendigo. He obviously spanned many skills across local government as he also completed commissions for several public buildings in Bendigo and Eaglehawk before moving to Abbotsford. His next position was as city surveyor and engineer for the City of Collingwood. Whilst in this position he continued to practice as an architect and was responsible for extensions to St Joseph's church in Collingwood, a brewery in Victoria Street and a shoe factory in Stafford Street Collingwood. His commission for the Leitrim Hotel was commissioned by the Victoria Brewing Company to replace an earlier hotel of the same name.

PRECINCT DESCRIPTION

Little Lon Precinct 116-132 Little Lonsdale Street HO984

The existing Little Lon precinct includes properties between 116-132 Little Lonsdale Street. The expanded precinct includes places east and west of the existing precinct from 100-110 and 142-148 Little Lonsdale Street, Exploration Lane, Evans Lane and Bennetts Lane. The precinct is low rise and buildings are between two and three storeys. One place, the former Leitrim Hotel at 128 Little Lonsdale Street, has an individual HO and is on the VHR. Place types represented include residential, commercial, manufacturing, shops and a hotel. These range across several different building periods including Victorian, Edwardian and interwar, as well as contemporary infill places. The precinct includes several laneways that provide opportunities for additional views and building frontages mid-block.

Between Evans and Exploration Lanes

Three places between Evans and Exploration Lane have small site footprints and are of two storeys. These include the 1894 former brick shop and dwelling, flanked by two interwar commercial buildings also each of two storeys (Figure 11). Both have undergone some renovation to their facades and some windows have been replaced, however their scale is similar to that of no.102. No.8 Exploration Lane is a thirty-storey residential tower and is the one tall building within the precinct.

Between Exploration Lane and Davisons Place

This area is already partly in the Heritage Overlay and comprises several Victorian buildings of different eras, both early, mid and late Victorian. The 1862 former brick shop and residence at the corner of Exploration Lane retains much of its Victorian character with the splayed corner (Figure 8). The two houses at 120-122 Little Lonsdale Street are Victorian residences built c.1872 (Figure 9). No.124-126 is a converted interwar industrial building with the pilasters and parapet remaining of its original appearance. Windows have been replaced but its height of two storeys fits the scale of the precinct. The former Leitrim Hotel at 128-130, built in 1888, has an unusually intact and decorated stuccoed façade and is individually significant within the precinct. This three-storey building matches the scale of no.132, a red brick warehouse and factory built c1907 that forms a strong edge to Bennetts Lane and is able to be viewed in three dimensions.

From Bennetts Lane to Davisons Place the Little Lonsdale streetscape is also predominantly of face brick, comprising a two-storey residence and shop surrounded by single storey factory and warehouse. These buildings have all been converted to offices with an additional storey added to the roofline of no.134-144.

Evans Lane

Evans Lane gives access to the rear of the Exhibition Street buildings and the electricity supply substation adapted for this use in 1910. These buildings are of face red brick, of utilitarian design and feature concrete sills and lintels. The rear of buildings at 295-301, 303, and 305-307 Exhibition Street continue the material palette of red brick and cement render detail and are of one-three storeys. The rear of 303 Exhibition Street is more recently constructed than the neighbouring buildings.

Bennetts Lane

11-21 Bennetts Lane comprises a large brick interwar factory with additional floor added in roof glazing in 2006. The small two-storey gable roofed factory at 25 Bennetts Lane was constructed in 1915 (undergoing renovations in 2018). Bennetts Lane retains a low scaled industrial character despite the individual alterations to the former factories and their conversion to offices (Figure 10).

Exhibition Street

295-301 Exhibition Street comprises a two-storey building of 1936 with showroom on the ground floor and offices above. It retains much of this arrangement in its large ground floor openings, including a pair of single recessed entry doors to each end of the ground floor and a band of windows separated by brick pillars on the first floor. No.303 Exhibition Street is a narrow two storey Victorian shop with alterations to the ground floor. The rear has been rebuilt to the boundary of Evans Lane. No.305-307 Exhibition Street is a single storey shop that has been heavily modified but has a rear elevation that contributes to Evans Lane.



Figure 7. Little Lonsdale Street from corner of Davisons Place, with no.146-148 in foreground. (Source: Context 2017)



Figure 8. Little Lonsdale Street Precinct, from corner of Little Lonsdale and Exploration Lane. (Source: City of Melbourne 2018)



Figure 9. 120-122 Little Lonsdale Street, c1855 and in HO984. (Source: Context 2017)



Figure 10. Bennetts Lane looking north towards Little Lonsdale Street, 25 Bennetts Lane is in the foreground with the renovated factory complex of 23 and 11-21 in the distance. (Source: Context 2017)



Figure 11. 100-106 Little Lonsdale Street, part of the extension to HO984. (Source: Context 2017)



Figure 12. 1-3 Evans Lane, interwar factories converted to a substation. (Source: Context 2017)

INTEGRITY

The Little Lonsdale Street Precinct includes buildings and laneways and retains its fine-grained character with small allotments and a network of lanes. The current buildings represent the early to late Victorian, Edwardian and interwar periods with some contemporary adaptation of several former industrial buildings. The precinct comprises examples of residential, commercial and industrial buildings, some converted to commercial offices. The laneway network of Evans, Exploration, Bennetts Lanes and Davisons Place is still evident and dates from before 1895. Several places including 1-3 Evans Lane, 120-122 and 128-130 Little Lonsdale Street are little changed, whereas other adapted buildings are still legible and maintain a low rise scale up to two-storeys. The whole precinct still retains its identity as a mixed-use precinct.

COMPARATIVE ANALYSIS

Precincts with laneways and small streets

The city's lanes are places of intimate and rich urbane experiences, offering a diversity of choice from bustling and congested social places to sanctuaries of quiet solitude. The laneway's locations, orientations and widths serve as tangible markers to a changing urban morphology and public space network, which has resulted from the subdivision or consolidation of land within the Hoddle blocks, while their names provide enticing clues to former land uses, businesses, owners or notable people in the city's history. The city's small streets reflect their more restrictive fire regulations with a smaller scale of building evident.

Guildford and Hardware Lanesways Precinct (HO1205)

The Guildford and Hardware Lanes Precinct comprises a nineteenth century laneway network within the larger street layout of the Hoddle Grid. It reflects the development of warehouses and businesses that congregated out of the retail core in the late nineteenth century. The precinct is significant for its distinctive streetscapes with diverse architecture, narrow footprints and dominant materials of red brick, stucco and bluestone.

Bank Place Heritage Precinct (HO503)

Bank Place is an urban precinct associated with the development of the Melbourne financial and legal district. It contains a visually cohesive group of distinctive architectural forms clustered around the early street, Bank Place. Many of the important architectural styles from nineteenth and early twentieth century Melbourne are represented in the precinct. The short street and its built enclosure at each end, including the important terminal view to Normanby Chambers, provide a distinctive scale. Unusual for its enclosure, architectural diversity and cohesive scale, Bank Place is a high-quality central city precinct from the nineteenth and early twentieth centuries.

Drewery Lane Precinct (Interim HO1290)

The Drewery Lane Precinct comprises places linked to the tobacco industry of Snider and Abrahams, a dense laneway network with commercial and manufacturing premises. It contains examples of three buildings by Nahum Barnet and one technically significant and early reinforced concrete warehouse.

The street frontages comprise diverse buildings from the Victorian, Edwardian and interwar periods, some with high integrity.

The Little Lonsdale Street Precinct includes places and laneways that represent the history, use and activities from the early Victorian era to contemporary times. These places add to the understanding of the area and are complementary to the existing Heritage Overlay. The Little Lonsdale Street Precinct has very similar attributes to the precincts described, including small scale buildings and a dense network of lanes serving property frontages. Many of the buildings complement each other visually through the widespread use of face red brick and rendered surfaces.

ASSESSMENT AGAINST CRITERIA

✓	<p>CRITERION A Importance to the course or pattern of our cultural or natural history (historical significance).</p>
	<p>CRITERION B Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).</p>
	<p>CRITERION C Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).</p>
✓	<p>CRITERION D Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).</p>
✓	<p>CRITERION E Importance of exhibiting particular aesthetic characteristics (aesthetic significance).</p>
	<p>CRITERION F Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)</p>
	<p>CRITERION G Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).</p>
✓	<p>CRITERION H Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).</p>

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as a precinct.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

PRECINCT CATEGORY SCHEDULE

CoM Property ID	Number	Street	Grading
101021	11-21	Bennetts Lane	Contributory
101022	23	Bennetts Lane	Contributory
103590	1-3	Evans Lane	Contributory
106056	2-14	Exploration Lane	Non-contributory
103610	295-301	Exhibition Street	Contributory
103611	303	Exhibition Street (Evans Lane frontage)	Contributory
103612	305-307	Exhibition Street (Evans Lane frontage)	Contributory
106059	100	Little Lonsdale Street	Contributory
106058	102-104	Little Lonsdale Street	Contributory
106057	106	Little Lonsdale Street	Contributory
106055	116-118	Little Lonsdale Street	Contributory
106054	120-122	Little Lonsdale Street	Significant (HO1296)
106053	124-126	Little Lonsdale Street	Contributory
106052	128-130	Little Lonsdale Street	Significant (VHR H2422, HO989)
106051	132	Little Lonsdale Street	Contributory
106050	134-144	Little Lonsdale Street	Contributory
106049	146-148	Little Lonsdale Street	Contributory

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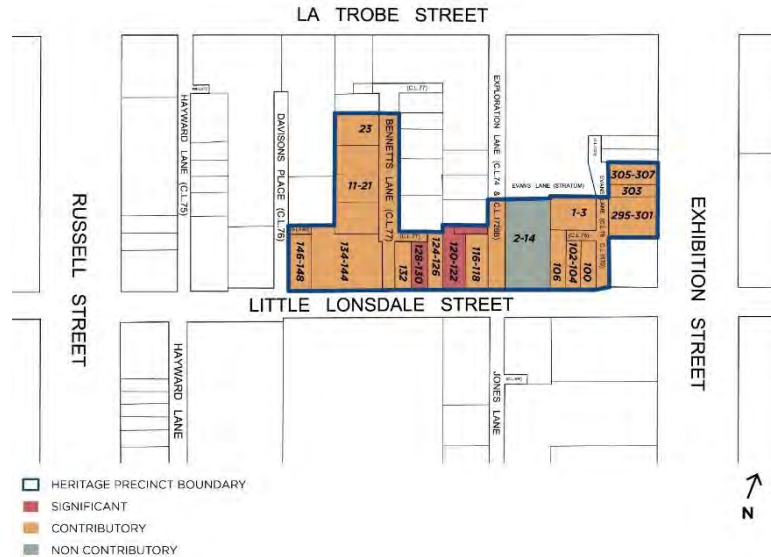
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STATEMENT OF SIGNIFICANCE

Heritage Place: Little Lonsdale Street Precinct

PS ref no: Interim HO1297



What is significant?

The Little Lonsdale Precinct including 100-148 Little Lonsdale Street, 11-23 Bennetts Lane, 1-3 Evans Lane, 295-301 Exhibition Street, the rear of 303-307 Exhibition Street, 2-14 Exploration Lane, Bennetts Lane, Exploration Lane and Evans Lane, Melbourne is significant.

Elements that contribute to the significance of the precinct include (but are not limited to):

- The commercial and warehouse buildings constructed from c1840s to c1936, as shown on the precinct map.
- The overall consistency of building form (two- to three-story scale).
- The pattern of development in the precinct which comprises mixed streetscapes of Victorian, Federation and interwar residential, commercial and industrial buildings, and the key features and original detailing characteristic of their respective styles and typologies.
- The industrial streetscapes throughout the fine grain network of laneways comprising Bennetts, Evans and Exploration lanes and Davisons Place.

The buildings at 11-21 and 23 Bennetts Lane, 1-3 Evans Lane, 295-301 Exhibition Street, and 100, 102-104, 106, 116-118, 124-126, 132, 134-144 and 146-148 Little Lonsdale Street are contributory. The Evans Lane frontages of 303 and 305-307 Exhibition Street are also contributory.

The buildings at 120-122 and 128-130 Little Lonsdale Street are significant.

Non-original alterations and additions to the contributory buildings are not significant.

The building at 2-14 Exploration Lane is non-contributory to the precinct.

How it is significant?

The Little Lonsdale Street Precinct is of local historic, representative, aesthetic and associative significance to the City of Melbourne.

Why it is significant?

The Little Lonsdale precinct is historically significant for its demonstration of less salubrious 'fringe' areas in the central city, and as a working-class residential precinct for mostly Irish immigrants who had settled by the late 1840s and early 1850s in an area referred to as 'Little Lon' (Little Lonsdale Street bounded by Spring Street, Exhibition Street, La Trobe Street and Lonsdale Street). The Little Lonsdale Street Precinct is historically significant for its association with phases of migration, firstly by the Irish, and later by the Chinese, Germans, Jews, Lebanese and Italians who were part of a later wave of migration after the 1890s depression, often working as hawkers, small traders, or in the case of the Chinese, cabinetmakers and laundrymen. (Criterion A)

The Little Lonsdale Street Precinct demonstrates changing functions in the central city from residential to manufacturing and commercial use, workshops, small factories and shops. Following the razing of the area east of Exhibition Street the Little Lonsdale Street Precinct is significant as a remnant of the vibrant and complex community that evolved in the area from the 1840s. (Criterion A)

The Little Lonsdale Street Precinct is significant for its evidence of at least three phases of development from the 1870s to the 1940s. The Victorian era is represented by buildings at 102, 116, 120 and 146-148 Little Lonsdale Street and includes the Leitrim Hotel at 128 Little Lonsdale Street designed by Henry E Tolhurst. Edwardian factories and small warehouses are at 11-21 and 23 Bennetts Lane, 1 Evans Lane, 132 and 134 Little Lonsdale Street and the rear of no. 146-148 Little Lonsdale Street. The interwar period is represented by commercial buildings at 100, 106, 124 Little Lonsdale Street. (Criterion D)

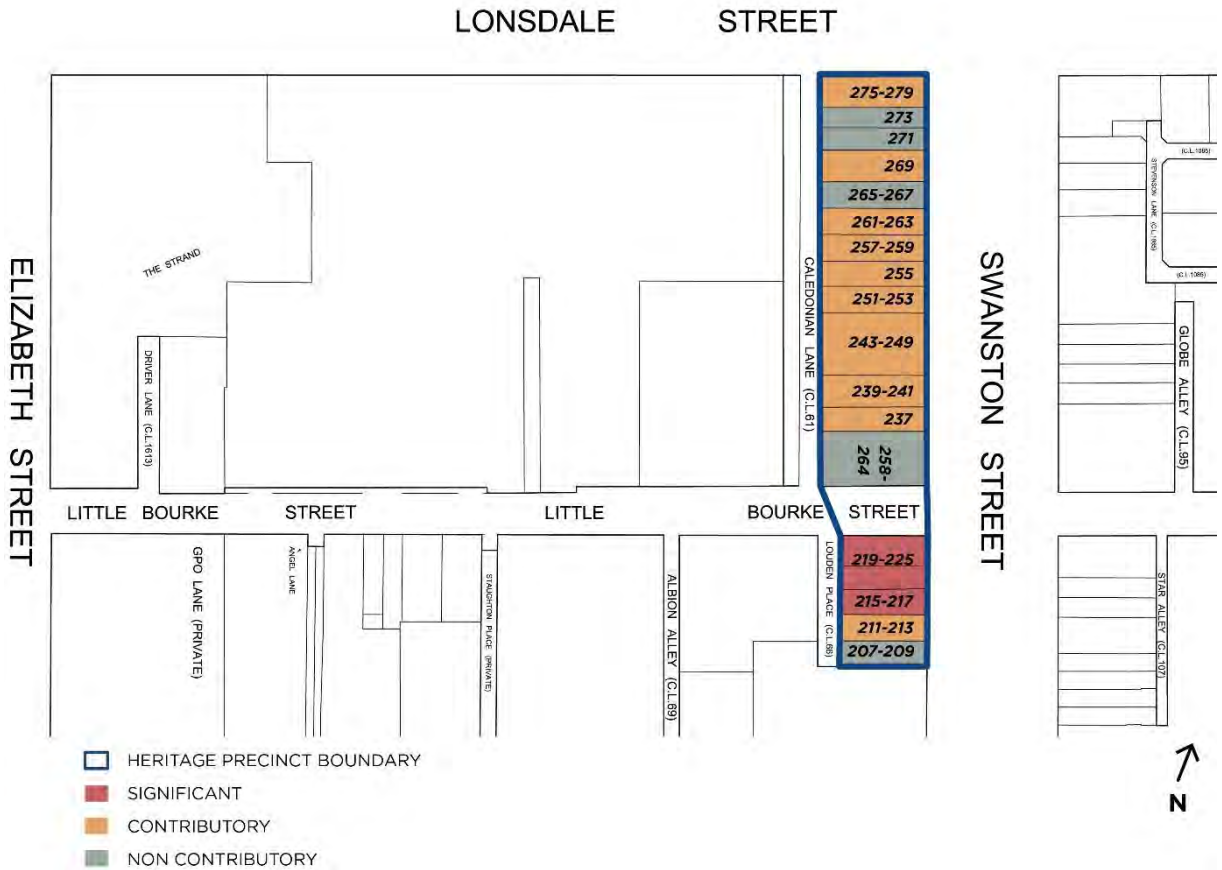
The Little Lonsdale Street Precinct is aesthetically significant for the combination of low-scale two to three storey buildings on both Little Lonsdale Street and within its laneway network. The buildings of the precinct generally complement each other through the use of predominantly red brick and stucco materials. The Little Lonsdale Street Precinct demonstrates a high level of integrity, particularly in the core group of buildings between 116 and 132 Little Lonsdale, and these are supported by the others of similar scale and materials. Evans Lane is aesthetically significant for the highly intact substation at 1 Evans Lane and the rear of the properties between 295 and 307 Exhibition Street that border it. Bennetts Lane frames views to the south of the Wesley church spire. The highly decorative Leitrim Hotel with intact stucco façade is of individual aesthetic significance. (Criterion E)

Part of the precinct is associated with King O'Malley (1858-1953), a North American politician who rose through the Australian Labor Party ranks to become minister for home affairs, a prominent advocate against conscription and supporter of women's rights. (Criterion H)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

PRECINCT NAME	Swanston Street North Precinct
STREET ADDRESS	207-279 Swanston Street and 258-264 Little Bourke Street
PROPERTY ID	Refer schedule



SURVEY DATE: January 2018		SURVEY BY: Context	
HERITAGE INVENTORY	Refer to schedule	EXISTING HERITAGE OVERLAY	VHR H0390, HO1291 (215-217 Swanston Street) HO749 (219-225 Swanston Street)
PLACE TYPE	Heritage Precinct	MAJOR CONSTRUCTION PHASE	1900-1930 with some earlier places
PERIOD OF DEVELOPMENT	Victorian Period (1851-1901)	ASSOCIATION WITH BUILDER OR ARCHITECT	A A Fritsch R G Webb

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Stage 2 Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a Commercial City	5.4 Developing a retail centre

LAND USE

HISTORIC LAND USE			
Archaeological block no: 13		Inventory no: 170-186	
Character of Occupation: Commercial			
207-209 Swanston Street	H7822-1486	261-263 Swanston Street	H7822-1299
219-225 Swanston Street	H7822-1489	265-267 Swanston Street	H7822-1300
239-241 Swanston Street	H7822-1294	269 Swanston Street	H7822-1301
243-249 Swanston Street	H7822-1295	271 Swanston Street	H7822-1302
255 Swanston Street	H7822-1297	273 Swanston Street	H7822-1303
257-259 Swanston Street	H7822-1298		

THEMATIC MAPPING AND LANDUSE

1890s	Commercial
1920s	Commercial
1960s	Commercial

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as a Heritage Precinct.

Extent of overlay Refer to map

SUMMARY

The Swanston Street North Precinct comprises a streetscape of small scaled nineteenth and early twentieth century buildings of two and three storeys between Lonsdale Street and extending south of Little Bourke Street. The precinct includes the rear of the buildings on Caledonian Lane and Loudon Place. The buildings within the precinct express the architectural character of the period particularly in the upper floors which have a good level of integrity. The precinct includes eleven sites that are on the Victorian Heritage Inventory and one place, the former ES&A Bank at 225 Swanston Street, is on the Victorian Heritage Register.

HISTORY

Historical context

This Hoddle Grid precinct occupies part of the traditional land of the Kulin Nations. Whilst this study has not mapped any particular Aboriginal sites within the area of the Swanston Street North Precinct, this does not mean that none exist and future archaeological investigation has the potential to reveal evidence of pre-colonial Aboriginal occupation.

Distinctive land use precincts had emerged within the city centre by the early 1840s, and within this pattern Miles Lewis has noted that precincts:

remained little changed into the 20th century and... survive today – mercantile and warehousing activity near the Pool [of the Yarra River] and the wharves, banking in central Collins Street, the retailing heart between Swanston and Elizabeth Streets, the medical precinct in the vicinity of Dr...Howitt's house in Collins Street East, and so on (Lewis 1994:22).

As Melbourne's population increased, retail activity moved east to the central zone, close to both supplies provided at the port and to demand from residential areas to the north and east. The central area provided an even grade, particularly suitable for high volumes of pedestrians (MPS:86).

By the early 1840s, Elizabeth and Swanston streets, from the Town Hall in the east and the General Post Office to the west, had become the focus of retail activity, influenced also by the location of the Western Market in the west of the city. The Eastern Market opened in 1847 as a fruit and vegetable market on the corner of Stephen Street (later Exhibition Street) and Bourke Street and drew retail activities further east. Arcades were a feature of the city centre, particularly from the 1870s when pressure on land led to the intensive development of the commercial centre (MPS:86).

The Post Office, originally established on its site in 1841, was completely rebuilt from 1859 to reflect the growing wealth and status of the city, and progressively enlarged up to 1907. As the principal provider for communication in the nineteenth and much of the twentieth centuries, it played a significant role in the development of Melbourne's commercial and mercantile life, as well as providing an important social focus for the town.

With the economic boom of the 1880s, the 1880s–1890s was a decade of significant expansion in Melbourne. Investment funds poured in from Britain, imposing buildings were constructed, and speculation reached fever pitch in land, houses, offices and shops (Marsden 2000:28). As Graeme Davison states, commercial Melbourne extravagantly asserted 'her wealth in stucco and stone' (cited in Marsden 2000:28).

Suburban retailing increased towards the end of the 1880s as greater Melbourne's population approached 280,000 and tramlines transported shoppers to suburban shops, and conversely, from the suburbs to the city (Young and Spearritt 2008).

Development slowed during the economic depression of the 1890s, only recovering with the revival of immigration in the first decades of the twentieth century. Although affected by World War One in the period 1914-1918, by the end of the 1920s, Melbourne's population had reached one million people. In the first decades of the twentieth century, the last residents moved out of the city to the new suburbs, with the service and financial sectors rapidly taking up city properties (Marsden 2000:29-30).

Development in the city slowed with the widespread economic depression of the late 1920s and early 1930s. Because of a lack of finance over this period, instead of new construction, some city buildings were substantially remodelled to create new commercial spaces.

Miles Lewis writes that after World War Two (1939-1945) modernism became a permanent part of Australian architecture, with only a small number of buildings built in traditional historic styles. Although few buildings were constructed in the city in the 1940s, almost all those that were adopted modernism as the preferred aesthetic (Lewis 2012:185).

These aforementioned phases of historical development can be traced in the landscape of central Melbourne's retail and office precinct today:

Architectural style and innovation in design, materials and building engineering, were hallmarks of many of the buildings erected in this precinct over several decades. As the centre for the major retailers and head offices of many companies, the buildings were expected to demonstrate the commercial pre-eminence of their owners. The diversity of styles including the Boom period, classical revivals, art nouveau, commercial gothic, modern, art deco and the Chicago Styles, display individual brilliance within a highly structured streetscape approach.

A prominent component of the physical form of the precinct is the density of lanes and arcades providing intimate and protected shopping venues. These set Melbourne's retail centre apart from other Australian capital cities. The shape of Melbourne's grid resulted in subdivision into long thin parcels oriented north-south. The logical mechanism for an increase in commercial 'frontage' was the creation of north-south access-ways...

Distinctive, low scale streetscapes have developed in each of the streets of the retail core - Bourke, Collins, Little Collins, Elizabeth and Swanston Streets. Tightly connected and abutting the adjoining Flinders Lane and Flinders Street precinct, this central region of Melbourne is the most extensive collection of pre Second World War building stock in the city grid (MPS:86, 88).

Precinct history

Swanston Street was named after Captain Charles Swanston, founder of Tasmania's Derwent Bank and leader of the Port Phillip Association (RHSV). Swanston purchased land in Swanston Street in the first Melbourne land sale of 1837.

The subject precinct is located on Crown Allotments 9, 10 and 11, Section 21, City of Melbourne. In 1866, allotment 9 was owned by Charles Driver, and allotments 10 and 11 by Rev James Clow (*Plan of Melbourne* 1866). In 1873, the allotments owned by Clow, by that year subdivided and featuring commercial premises (including land in the subject precinct at today's 209-275 Swanston Street), were put up for auction (Figure 1).

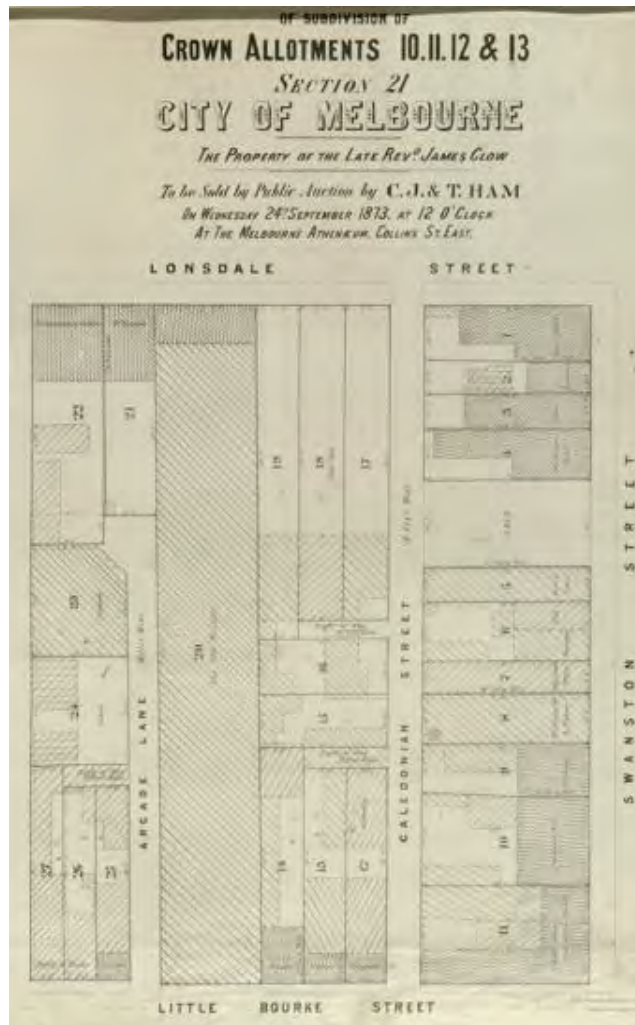


Figure 1. Plan of Rev James Clow's property, 1873. (Source: DeGruchy 1873, SLV)

The buildings that make up the precinct exhibit distinct styles that mark the main phases of development in the city's retail and office development. Some histories of individual buildings are provided below and grouped into phases to illustrate their development.

Victorian buildings

Victorian era (1840-1900) buildings exist at 215-217, 239-241 and 243-249 Swanston Street. The two-and three-storey brick buildings reflect the common practice of the era whereby commercial premises were constructed to house retail outlets at ground level with residences and workspaces for the business-owners provided on floors above.

The two-storey building at 215-217 Swanston Street is an early Victorian building constructed in 1856, likely as part of a row of shops (Figure 2). It was occupied by W Davis and Co in that year (Fels, Lavelle and Mider 1993, Inventory no 488). In 1870, J F Mullarky advertised that he had 'enlarged and fitted up' premises at 133 (today's 215-217) Swanston Street. Called 'Commercial House' by Mullarky, he used the building to house his millinery, drapery and outfitting business (*Advocate* 24 December 1870:2). George Swanston was the owner of the building in 1880 (Fels, Lavelle and Mider

1993, Inventory no 488). In 1888, the building accommodated M J Scully's bootery and hosiery business (Mahlstedt Map no 8, 1888).



Figure 2. A group of two-storey brick shops and residences in Swanston Street, c1860. 215-217 Swanston Street is likely the third building from the left. (Source: Melbourne Heritage Action 2015)

The three-storey building at 243-249 Swanston Street (formerly 147 and 149 Swanston Street) was constructed in 1876. In February 1876 a fire broke out at a basket shop then addressed as 149 Swanston Street, and spread to adjacent properties at numbers 147 and 151-155. The shop at 149 Swanston Street was completely destroyed, and extensive damage was caused to the adjoining premises (*Illustrated Australian News* 23 February 1876:22). A new building was erected on the subject site in 1876, and in January 1877 'shops and showrooms' were advertised for lease at 147 and 149 (today's 243-249) Swanston Street by owners C J and T Ham (*Argus* 15 January 1877:8). In 1888, the building housed J Gerson, fancy goods; L S Blair and Co, decorators; and A P Scott, bookseller (Mahlstedt Map no 8, 1888) (Figure 4).

From c1878, the retail and manufacturing business of the Victoria Furniture Company operated from the subject site at 239-341 Swanston Street (*Argus* 10 March 1880:2). Housing the same business, a three-storey building at 239-241 Swanston Street was in existence by 1880 (Fels, Lavelle and Mider 1993, Inventory no 294). In March 1888, the building was occupied by Simpson and Abraham furniture dealers, who had re-located their furniture warehouse from the site of today's 255 Swanston Street (*Age* 27 March 1888:8) (Figure 4).

Edwardian buildings

Edwardian era (1900-1915) buildings exist at 237, 251-253, 255, 257-259 and 269 Swanston Street. These buildings reflect the growth of the retail and service sector in the city centre as public transport networks were established and residents moved to newly created suburbs nearby.

In the late 1890s, Morris, Swift and Co sold drapery, clothing, suits, and waterproofs from premises in Swanston Street. In May 1912, the firm, by then known as Swift and Rothberg, drapers, furnishes, outfitters and tailors, opened new show rooms and a furniture warehouse at 257 -259 Swanston Street. Designed by architect R G Webb and constructed by builder J J Oliver, an upper storey was placed over the existing two shops, which were 'modernised' with a 'handsome show window, kauri fittings and metal ceilings' (Figure 3) (*Herald* 30 May 1912:3).



Figure 3. 257-259 Swanston Street in 1912. (Source: *Herald* 30 May 1912:3).

In 1918, architect A A Fritsch invited tenders for alterations to a brick shop at 255 Swanston Street (*Herald* 11 April 1918:12). Tyre manufacturers and repairers, Economic Rubber Works, occupied the building in January 1920, and in 1929, Coles Book Arcade moved from 250 Collins Street to the premises (Figure 4) (*Argus* 31 January 1920:5; *Age* 11 May 1929:4).



Figure 4. A view of the west side of Swanston Street, between Little Bourke and Lonsdale streets, c1930-40, showing, in rectangle from left, 237 Swanston Street; T Roper Surgical Appliances 239-241 Swanston Street; Arthur J. Veall's Electrical Radio Stores 243-249 Swanston Street; Langsford Personality Clothes 251-253 Swanston Street, and Cole's Book Arcade 255 Swanston Street. (Source: Crothers c1930-1940, SLV)

The three-storey brick building at 237 Swanston Street was built in 1919 for the Junction Motorcycle Exchange. The business notified customers in December 1919 that it was moving in early 1920 from 209 Swanston Street to 'fine Three-Stories Premises, built to our specifications', incorporating showrooms, shop, offices, storerooms and factory 'all under one roof' at 237 Swanston Street (*Herald* 22 December 1919:5). In 1930, the building was occupied by W Morgan and Co, tent and blind makers (S&Mc 1930). An image of the building in c1930-40 can be seen in Figure 4.

Interwar buildings

Interwar (1916-1939) buildings exist at 207-209, 211-213 and 275-279 Swanston Street. The buildings were designed, some by architects, to combine retail businesses at ground level with floors for offices and workshops above, reflecting the continued demand for office and work space in the city centre by the growing service sector.

After purchasing a two-storey Victorian building at 211-213 Swanston Street in 1918, P H McElroy moved his Homecraft toy shop to the premises in December of that year (*Argus* 20 December 1918:6). Wireless firm, Homecrafts Pty Ltd, operated from the premises at 211-213 Swanston Street in 1927, and it is likely that the current building was constructed around this time for Homecrafts Pty Ltd (*Table Talk* 26 May 1927:1). An image of the building in c1950 can be seen in Figure 5.



Figure 5. Showing the three-storey buildings at 207-209 Swanston Street occupied by Roger David and 211-213 Swanston Street occupied by Homecrafts c1950. (Source: Strizic c1950-c1980, SLV)

The J P Jones building at 207-209 Swanston Street was constructed in 1933 for the then Victorian Minister for Public Works, J P Jones. After purchasing the site in 1918, Jones demolished the existing two-storey building at 207-209 Swanston Street and a new four-storey building was constructed, with provision for another three-storeys if required, at a cost of £10,000. Concerned about the prevailing unemployment caused by the economic depression of the late 1920s and early 1930s, and in his role of deputy-chairman of the State Employment Council, Jones took on the project to provide employment and thereby 'give a lead to others'. Constructed substantially of reinforced concrete and steel with concrete block floors and designed by Melbourne architects Oakley and Parkes, the building incorporated tapestry bricks and cast stone in the façade, reflecting the Equity Building in Bourke Street. Jones used the building at 207-209 Swanston Street to house his tailoring business (*Argus* 27 February 1933:6; *Age* 28 February 1933:12). An image of the building in the 1930s can be seen in Figure 6 and in c1950 in Figure 5.



Figure 6. The J P Jones building at 207-209 Swanston Street can be seen on the far right in an image taken in the 1930s. (Source: Commercial Photographic Company c1930-c1939, SLV)

The building at 275-279 Swanston Street was originally known as Coreglia House. The building was designed with six storeys by architect Augustus Andrew Fritsch to the order of Messrs Pellegrini and Co for the Catholic church and constructed in 1926. Perhaps due to the economic depression of the time the building only reached two storeys. Constructed of reinforced concrete, Coreglia House incorporated ground floor shop frontages and upper storey accommodation for offices and clubrooms (Fritsch 1890-1920, SLV; *West Australian* 17 July 1926:9).



Figure 7. A drawing for Coreglia House at 275-279 Swanston Street by architect A A Fritsch, c1926. (Source: Fritsch 1890-1920, SLV)



Figure 8. Coreglia House, at Myersons Corner, 275-279 Swanston Street, c1900-1927. (Source: Melbourne Heritage Action)

The National Bank of Australasia Limited purchased Coreglia House, a two-storey building with basement, in March 1937. Occupied by Myerson tailors and two other tenants in that year, a newspaper report of the day announced that the building was to be altered to house the bank branch office then located in the Tattersalls Buildings at 250 Swanston Street. The National Bank commenced operations from 275-279 Swanston Street on 18 October 1937 (*Argus* 25 March 1937:14; *Argus* 15 October 1937:1).

PRECINCT DESCRIPTION

The Swanston Street North Precinct comprises a row of two to three storey commercial buildings on the west side of the street between Lonsdale Street and 207-209 Swanston Street (Figure 9). It is predominantly a streetscape of fine grain buildings on small allotments with Caledonian Lane and Loudon Place at the rear. As one of Melbourne's main shopping streets and transport routes Swanston Street has undergone many streetscape changes including widening and paving of the footpaths in bluestone and new tram stops. London plane trees of approximately two storeys in height line the street. Cantilevered verandahs are continuous along the street but are not consistent in height or design. The Swanston Street North Precinct is low-rise and comprises a series of small buildings that are part of the pre-World War Two city.



Figure 9. Swanston Street North Precinct, viewed from north. (Source: City of Melbourne 2018)

Swanston Street

219-225 Swanston Street, the former ES&A Bank is on the Victorian Heritage Register (H0390) and the Heritage Overlay (HO749) as a notable example of the Greek Revival style from a design by Henry Hare. Built in freestone it is a prominent building with interwar classical facades to both Swanston and Little Bourke Streets.

215-217 Swanston Street retains its small two storey scale, commensurate with its early date of construction, and is recognisable from the c1860 photograph (Figs 2 & 10). The upper floor is relatively unchanged with its pair of windows with aedicules and corbelled brackets flanked by a pair of pilasters.



Figure 10. 215-217 Swanston Street, constructed pre 1860 (Source: Context 2017).

The three storey 211-213 Swanston Street remains with its interwar classical revival façade with large square steel framed windows to the two upper floors. 209 Swanston Street has been comprehensively refaced but retains the same three storey scale (Figure 5).

On the opposite corner to 219-225 Swanston Street is 258-264 Little Bourke Street, a twelve storey 1961 development for the State Savings Bank of Victoria by Meldrum and Partners architects and refurbished in 1991 and subdivided in 2002. From this building to the corner of Lonsdale Street, the scale of development is consistent at two to three storeys. This building is noted as one of the 'most intact examples of its type in the Melbourne CBD' (Built Heritage, 2008:267). Alterations have now changed the appearance of the side wall with additional windows. This place is due for assessment as an individual place in the next stage of the Hoddle Grid Heritage Review.

The narrow three storey building at 237 Swanston Street from 1919 exists in recognisable form on the upper two floors, with its distinctive curved and flat top parapet and row of three windows to each level. The adjacent building at 239 Swanston survives as a three-storey relatively plain Victorian stucco façade with a pair of small windows to each upper floor and a balustraded parapet (Figure 4).



Figure 11. 243-249 Swanston Street with its added glazed balcony. (Source: Context 2017).

243-249 Swanston Street is an eight-bayed Victorian commercial building of three floors with an articulated classical revival front. It survives in its entirety behind a first-floor glazed balcony. The two floors of arch-headed windows are framed with mouldings, keystones and string courses. A simple parapet with string mouldings has a central circular motif that also survives (Figures 4 and Figure 12).



Figure 12. 243-259 Swanston Street. (Source: Context 2017).

251-253 Swanston Street is a two storey Edwardian building with rather austere classical detail, a plain parapet and a pair of windows to the upper floor. It is quite legible as is the adjacent similarly scaled 255 Swanston Street dating from 1918 and designed by notable architect A A Fritsch. This building has distinctive ashlar incised lines in the stucco to part of the upper floor and a large arch-headed central window formerly divided into four panes with top lights. The parapet has a central raised section for lettered signs (Figure 4).

The pair of two storey shops at 257-259 Swanton Street by architect R G Webb is notable for its elaborate upper floor with pilasters surmounted by urns (now missing) and flamboyant parapets with triangular pediments. A pair of beautiful large arch-headed windows occupy much of the upper floor and are flanked by pilasters. Part of the window frames may survive (Figure 3, Figure 12).

261-263 Swanston street is a contemporary building. No.269 and 271 are both two-storey shops with alterations to their upper floor facades. No.269 retains some of its Edwardian detail in the stuccoed quoins to the windows however the central window projecting window appears to be significantly modified. No.271 has a modified façade although the pair of windows suggest a late Victorian period for its construction as does no.273.

275-279 Swanston Street, formerly Coreglia House by A A Fritsch is a smaller version of a grand interwar development was heavily modified in 1937 for the National Bank. The original design is recognisable insofar as its two-storey scale survives as does the paired windows. Distinctive steel framed windows and parapet mouldings in stucco have been removed and the cantilevered verandahs along Lonsdale Street and Swanston Street no longer exist (Figure 7, Figure 8).

Laneways

Caledonian Lane retains its historical connections to the east side only, with the west side redeveloped as the Emporium. From 237-279 Swanston Street the backs of the buildings on Caledonian Lane are evident as two and three storey brick facades with small windows and flat or gabled roofs (Figure 13). The rear of no.273 is notable for its small scale, arched opening, bluestone loading threshold and circular vent to the brick gable. Adjacent at no.271 remnants of a bluestone wall are visible. Caledonian Lane retains its pedestrian function and gives views of buildings of heritage value. Caledonian Lane was in existence by 1895 but widened and altered as part of the development of the Emporium development in 2010-2013. Louden Place behind 207-225 Swanston Street also displays the rear of buildings but the buildings have been increased in height and have been altered. Only no.215-217 retains its two-storey scale. Louden Place abuts the heritage place at 219-225 Swanston Street (former ES&A Bank).

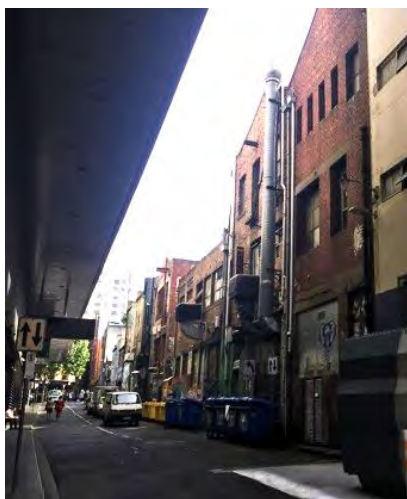


Figure 13. Caledonian Lane, showing the rear of properties from 237 – 279 Swanston Street. (Source: Context 2017).

INTEGRITY

The Swanston Street North Precinct retains its height and footprint from pre-1930 and a remarkable number of buildings of two and three stories remain. From 237–269 Swanston Street the (with the exception of no.261), there is considerable integrity in the upper floors and the buildings are highly legible. More changes have occurred between 271-279, however these buildings retain their pre-1930 scale and some remnants of their design origins. From 211-225 Swanston Street a similar degree of integrity is displayed in the upper floors.

All the ground floor shopfronts have been replaced and there is a low degree of integrity at the street level. There are multiple advertising signs at street level, on the verandahs and above. The glazed balcony at 243-249 Swanston Street is an alteration that appears reversible and would benefit the street frontage of this impressive building.

Caledonian Place, north of Little Bourke Street is a more intact laneway than Louden Place that leads south of Little Bourke Street. Louden Place has been shortened by the development of the large hotel south of 209 Swanston Street and not included in the precinct.

COMPARATIVE ANALYSIS

Other retail precincts

The retail core of the Hoddle Grid is the pedestrian focus for the city and includes a high proportion of buildings of low to moderate scale. Characteristics of the retail core include the relatively consistent scale, a complexity of building design adding a richness to the streetscapes and a network of laneways and arcades encouraging pedestrian activity.

Groupings of low-rise retail and other commercial premises are found in the following precincts:

Bourke Hill Precinct (HO500)

Within the city centre the Bourke Hill Precinct is one of the best demonstrations of small-scale, mixed-use buildings, including some particularly early examples, with the period of significance defined as 1837-1914.

Little Bourke Street Precinct (HO507)

Much of the building stock in the Little Bourke Street Precinct is low scale with the principal period of development being 1850s-1920s.

309-325 Swanston Street (HO1081)

A row of seven two storey rendered brick shops of two storeys that are noted as early construction pre-1860. These places are included within a broader precinct for Swanston Street North Precinct assessed as part of the Hoddle Grid Heritage Review.

The Block Precinct (HO502)

The historic character of the precinct as a retail area is characterised by a large number of buildings from the late Victorian and early 20th century periods and by the network of arcade shopping. The commercial and retail buildings range largely between the 1900-1940 period.

Post Office Precinct (HO509)

The traditional character of this precinct is as a major retail centre derived from the scale, form and appearance of the buildings constructed before the World War Two, and of the surviving 19th century buildings.

245-269 Elizabeth Street (HO618)

The buildings between 245-269 Elizabeth Street comprise a row of retail and commercial premises dating from 1897 to 1915. They have been assessed to be of local significance in the Guildford and Hardware Lane Heritage Study (Lovell Chen, 2017).

Swanston Street North Precinct is a low scaled retail precinct that has survived redevelopment and consolidation of its small sites. Like most other central city precincts, the development era spans a wide range, with the key feature being that the places represent the period before high rise buildings. Swanston Street North Precinct spans the period from pre1860 to the 1930s, a range that is also evident in other precincts. This precinct complements others in the retail core and supports the low rise and highly pedestrianised area of the city. Like the Bourke Hill Precinct it retains an early building (215-217 Swanston Street) within examples of other periods and styles. Caledonian Lane, despite its alterations still retains its through access and view lines, contributing to the importance of laneways across the city centre.

ASSESSMENT AGAINST CRITERIA

✓ **CRITERION A**
Importance to the course or pattern of our cultural or natural history (historical significance).

CRITERION B
Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).

CRITERION C
Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).

✓ **CRITERION D**
Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).

✓ **CRITERION E**
Importance of exhibiting particular aesthetic characteristics (aesthetic significance).

CRITERION F
Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)

CRITERION G
Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).

CRITERION H
Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as a Heritage Precinct.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

PRECINCT CATEGORY SCHEDULE

CoM Property ID	Number	Street	Grading
109289	258-264	Little Bourke Street	Non-contributory
109285	207-209	Swanston Street	Non-contributory
109286	211-213	Swanston Street	Contributory
109287	215-217	Swanston Street	Significant (HO1291)
109288	219-225	Swanston Street	Significant (HO749, VHR H0390)
109290	237	Swanston Street	Contributory
109291	239-241	Swanston Street	Contributory
109292	243-249	Swanston Street	Contributory
109293	251-253	Swanston Street	Contributory
109294	255	Swanston Street	Contributory
109295	257-259	Swanston Street	Contributory
109296	261-263	Swanston Street	Contributory
109297	265-267	Swanston Street	Non-contributory
109298	269	Swanston Street	Contributory
109299	271	Swanston Street	Non-contributory
109300	273	Swanston Street	Non-contributory
109301	275-279	Swanston Street	Contributory

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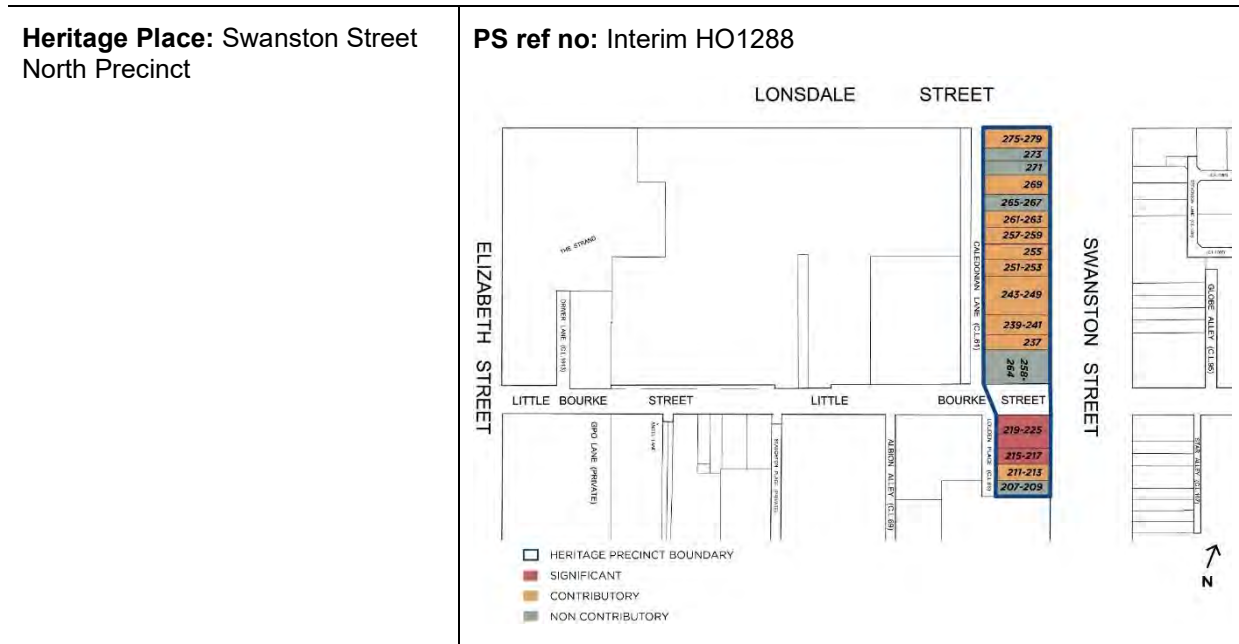
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STATEMENT OF SIGNIFICANCE



What is significant?

The Swanston Street North Precinct comprising small scale commercial buildings between 207-279 Swanston Street and 258-264 Little Bourke Street.

Elements that contribute to the significance of the precinct include (but are not limited to):

- The small scale commercial buildings constructed from c1856 to c1926, as shown on the precinct map.
- The pattern of development in the precinct which comprises a mixed streetscape of Victorian, Federation and interwar commercial buildings, and the key features and original detailing characteristic of their respective styles.
- The overall consistency of built form (two- to three-storey wall heights), materials and detailing (masonry construction, stucco detailing), and siting (consistent low-rise, narrow allotments).
- The laneway rear aspects of the buildings, particularly those on Caledonian Lane.

The buildings at 211-213, 237, 239-241, 243-249, 251-253, 255, 257-259, 261-263, 269 and 275-279 Swanston Street are contributory.

The buildings at 215-217 and 219-225 Swanston Street are significant.

Non-original alterations and additions to the Contributory buildings, including all ground floor shop fronts and the glazed balcony at 243-249 Swanston Street, are not significant.

The buildings at 207-209, 258-264, 265-267, 271 and 273 Swanston Street are non-contributory to the precinct.

How it is significant?

The Swanston Street North Precinct is of local historic, representative and aesthetic significance.

Why it is significant?

The Swanston Street North Precinct is within the retail area of the central city. The Swanston Street North Precinct demonstrates the predominant land use of retailing that was established quite early in the development of the central city between Swanston and Elizabeth Streets. (Criterion A)

Historically the Swanston Street North Precinct is significant for its demonstration of retailing from pre-1860 to c1930, including drapers, clothing outfitters, tailors, furniture dealers, booksellers, (including Coles Book Arcade), canvas manufacturers, homecrafts and a 'motorcycle exchange'. These uses are evident in the individual buildings, the streetscape, laneways and documentary evidence in plans and photographs. Historically the Swanston Street North Precinct demonstrates the small allotment size that was created by the small subdivision patterns of the 1870s and 1880s and that established the urban density of the Hoddle Grid until the 1950s. (Criterion A)

No 275-279 Swanston Street is historically significant as the former Coreglia House, developed by the Catholic Church as office accommodation and clubrooms as well as ground floor retailing. No.215-217 Swanston Street is significant for its early date of construction of 1856, a relatively rare pre-1860 place to survive within the Hoddle Grid study area. (Criterion A)

The Swanston Street North Precinct demonstrates a commercial building morphology of two to three storeys. This built form was evident from the 1850s through to the 1920s, despite changes in building construction and technology that allowed building heights of up to 40 metres from 1912. The particular characteristics of this low scale building form include masonry street walls generally faced with stucco at the front, a regular pattern of small windows, parapets that disguise the roof form and a variety of classically derived façade details. The Swanston Street North Precinct comprises buildings from 1856 to c1930 with characteristics of the periods that are most strongly evident to the upper floors. The Swanston Street North Precinct demonstrates retail development between 1856 to 1930 and has representative elements from each of the Victorian (1850-1900), Edwardian (1900-1919) and interwar (1919-1935) periods. Together these elements comprise a small but distinctive low scaled and fine-grained survivor within the retail heart of the city. (Criterion D)

The Swanston Street North Precinct is aesthetically significant for the upper floors of the buildings that demonstrate the different periods and styles in which they were built. Whilst the street level has generally been modified, the upper floors have retained architectural characteristics of the period including parapets, original window openings, moulded stucco decoration to the masonry walls and stylistic detail and elements common to each period. The Swanston Street North Precinct is aesthetically significant for its human scale in the central city. The views of the rear of buildings along Caledonian Lane north to Drewery Lane and south to Loudon Place are also aesthetically significant. The rear elevations of the buildings abutting the laneways including 209-225 Swanston Street facing Loudon Place, and 237- 273 Swanston Street facing Caledonian Lane are aesthetically significant for their scale, form and brick and stucco walls with a pattern of window and loading bay openings. (Criterion E)

Key attributes of the precinct include:

Victorian-era buildings:

- No.215-217, a two-storey shop at built in 1856 as part of a row, and now the only survivor

- No.239-241, a three-storey furniture business at built by 1880
- No.243-249 a large three storey store built in 1876-77

Edwardian era buildings:

- No.237, a three-storey shop built in 1919
- No.251-253, a two-storey shop with austere classical detail
- No.255, a two-storey shop alteration designed by A A Fritsch built in 1918
- No.257-263, a two-storey pair of shops built in 1912 and designed by R G Webb
- No.269, a two-storey shop with stuccoed quoins

Interwar era buildings:

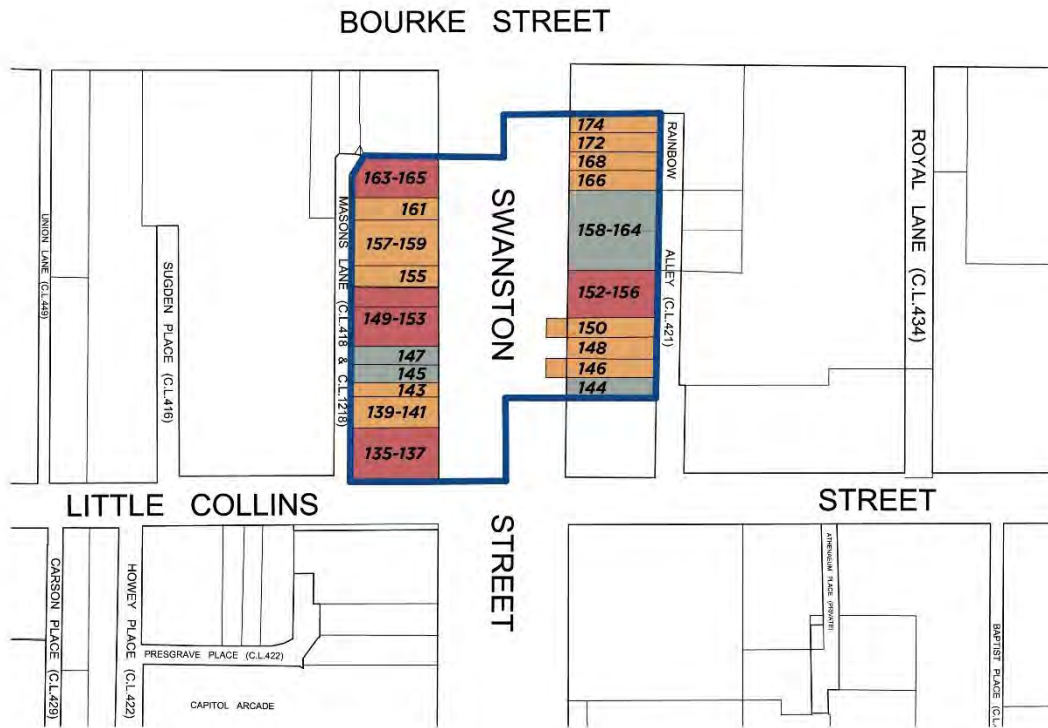
- No.207-209, a highly altered three-storey shop
- No.211-213, a two-storey shop with classical detail and steel-framed windows
- No.219-225, the Greek Revival former ES&A bank by Henry Hare built in 1928
- No.275-279, Coreglia House, a highly modified two storey retail and office corner building by A A Fritsch

The laneway rear aspects of the buildings, particularly those on Caledonian Lane.

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

PRECINCT NAME	Swanston Street South Precinct
STREET ADDRESS	135-165 Swanston Street, 144-174 Swanston Street
PROPERTY ID	Refer schedule



- HERITAGE PRECINCT BOUNDARY
- SIGNIFICANT
- CONTRIBUTORY
- NON CONTRIBUTORY



SURVEY DATE January 2018		SURVEY BY: Context	
HERITAGE INVENTORY	Refer to schedule	EXISTING HERITAGE OVERLAY	HO1079 (135-137 Swanston Street) HO1080 (163-165 Swanston Street)
PLACE TYPE	Heritage Precinct	MAJOR CONSTRUCTION PHASE	1870-1890, 1900-1919, 1920-1940
PERIOD OF DEVELOPMENT	Victorian Edwardian Interwar	ASSOCIATION WITH BUILDER OR ARCHITECT	Reed Smart & Tappin Marcus Barlow Nahum Barnet A & K Henderson

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Stage 2 Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here.
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a Commercial City	5.4 Developing a retail centre

LAND USE

HISTORIC LAND USE	
Archaeological block no: 37, 38	Inventory no: see below
Character of Occupation: Commercial, residential	
135-137 Swanston Street	H7822-1613
139-141 Swanston Street	H7822-1614
143 Swanston Street	H7822-1615
149 Swanston Street	H7822-1618
157-159 Swanston Street	H7822-1620
163-165 Swanston Street	H7822-1622
172 Swanston Street	H7822-1647
11 Rainbow Alley	H7822-1640

THEMATIC MAPPING AND LAND USE

1890s	Commercial
1920s	Commercial
1960s	Commercial

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as a Heritage Precinct.

Extent of overlay: Refer to map

SUMMARY

The Swanston Street South Precinct is within the retail core area of the Hoddle Grid. It comprises commercial buildings to Swanston Street with rear aspects to Mason Lane and Rainbow Alley. The precinct is distinguished by its almost continuous run of buildings from the nineteenth and early twentieth century on the west side and its two rows of Victorian-era buildings on the east side. It demonstrates the predominant land use of small retail premises.

HISTORY

Historical context

This Hoddle Grid precinct occupies part of the traditional land of the Kulin Nations. Whilst this study has not mapped any particular Aboriginal sites within the area of the Swanston Street Precinct, this does not mean that none exist and future archaeological investigation may reveal evidence of pre-colonial Aboriginal occupation.

Distinctive land use precincts had emerged within the city centre by the early 1840s, and within this pattern Miles Lewis has noted that precincts:

remained little changed into the 20th century and...survives today – mercantile and warehousing activity near the Pool [of the Yarra River] and the wharves, banking in central Collins Street, the retailing heart between Swanston and Elizabeth Streets, the medical precinct in the vicinity of Dr...Howitt's house in Collins Street East, and so on (Lewis 1994:22).

As Melbourne's population increased, retail activity moved east to the central zone, close to both supplies provided at the port and to demand from residential areas to the north and east. The central area provided an even grade, particularly suitable for high volumes of pedestrians (MPS:86).

By the early 1840s, Elizabeth and Swanston streets, from the Town Hall in the east and the General Post Office to the west, had become the focus of retail activity, influenced also by the location of the Western Market in the west of the city. The Eastern Market opened in 1847 as a fruit and vegetable market on the corner of Stephen Street (later Exhibition Street) and Bourke Street and drew retail further east. Arcades were a feature of the city centre, particularly from the 1870s when pressure on land led to the intensive development of the commercial centre (MPS:86).

The Post Office, originally established on its site in 1841, was completely rebuilt from 1859 to reflect the growing wealth and status of the city, and progressively enlarged up to 1907. As the principle provider for communication in the nineteenth and much of the twentieth centuries, it played a significant role in the development of Melbourne's commercial and mercantile life, as well as providing an important social focus for the town

With the economic boom of the 1880s, the 1880s–1890s was a decade of significant expansion in Melbourne. Investment funds poured in from Britain, imposing buildings were constructed and speculation reached fever pitch in land, houses, offices and shops (Marsden 2000:28). As Graeme Davison states, commercial Melbourne extravagantly asserted 'her wealth in stucco and stone' (cited in Marsden 2000:28).

Suburban retailing increased towards the end of the 1880s as greater Melbourne's population approached 280,000 and tramlines transported shoppers to suburban shops, and conversely, from the suburbs to the city (Young and Spearritt 2008).

Development slowed during the economic depression of the 1890s, only recovering with the revival of immigration in the first decades of the twentieth century. Although affected by World War One in the period 1914-1918, by the end of the 1920s, Melbourne's population had reached one million people. In the first decades of the twentieth century, the last residents moved out of the city to the new suburbs, with the service and financial sectors rapidly taking up city properties (Marsden 2000:29-30).

Development in the city slowed with the widespread economic depression of the late 1920s and 1930s. Because of a lack of finance over this period, instead of new construction, some city buildings were substantially remodelled to create new commercial spaces.

Miles Lewis writes that after World War Two (1939-1945) modernism became a permanent part of Australian architecture, with only a small number of buildings built in traditional historic styles. Although few buildings were constructed in the city in the 1940s, almost all those that were built adopted modernism as the preferred aesthetic (Lewis 2012:185).

These aforementioned phases of historical development can be traced in the landscape of central Melbourne's retail and office precinct today:

Architectural style and innovation in design, materials and building engineering, were hallmarks of many of the buildings erected in this precinct over several decades. As the centre for the major retailers and head offices of many companies, the buildings were expected to demonstrate the commercial pre-eminence of their owners. The diversity of styles including the Boom period, classical revivals, art nouveau, commercial gothic, modern, art deco and the Chicago Styles, display individual brilliance within a highly structured streetscape approach.

A prominent component of the physical form of the precinct is the density of lanes and arcades providing intimate and protected shopping venues. These set Melbourne's retail centre apart from other Australian capital cities. The shape of Melbourne's grid resulted in subdivision into long thin parcels oriented north-south. The logical mechanism for an increase in commercial 'frontage' was the creation of north-south access-ways...

Distinctive, low scale streetscapes have developed in each of the streets of the retail core - Bourke, Collins, Little Collins, Elizabeth and Swanston Streets. Tightly connected and abutting the adjoining Flinders Lane and Flinders Street precinct, this central region of Melbourne is the most extensive collection of pre-Second World War building stock in the city grid (MPS:86, 88).

Precinct history

Swanston Street was named after Captain Charles Swanston, founder of Tasmania's Derwent Bank and leader of the Port Phillip Association (RHSV). Swanston also purchased land in Swanston Street in the first Melbourne land sale of 1837.

In 1866, the subject precinct land on the west side of Swanston Street, Crown Allotments 10 and 11, Section 12, was owned by Charles Swanston and Barry Cotter. The portion of the subject precinct on the east side of Swanston Street, located on Crown Allotments 18 and 19, Section 11, was owned by William Bowman in 1866 (*Plan of Melbourne* 1866). The former allotments featured commercial buildings by 1839; and businesses operated from the latter by the 1870s (Fels, Lavelle and Mider 1993).

The buildings that make up the precinct exhibit distinct styles that mark the main phases of development in the city's retail and office development. Some histories of individual buildings are provided below and grouped into phases to illustrate their development.

Victorian buildings

Victorian era (1840-1900) buildings exist in two groups in the subject precinct on the east side of Swanston Street at numbers 166-174; and 144-150. The two- and three-storey brick buildings reflect the common practice of the era whereby commercial premises were constructed to house retail outlets at ground level with residences and workspaces for the business-owners provided on floors above.

Three-storey buildings at 168 and 172 and 174 Swanston Street were constructed by 1888, the height of the economic boom, and in that year housed, respectively, Feltham's oyster saloon, tobacconist M Bentwitch, and tailor L Levinson. In 1888, only a two-storey building at 166 Swanston Street existed therefore both premises at 166 and 168 Swanston Street were constructed after this year (Mahlstedt Map no 8, 1888).

The more modest two-storey buildings at 144-150 Swanston Street were constructed by 1877, and in that year housed, respectively Ward's cutlers, Rosier Bros bootery, Smeaton's fruit shop, and Heard's oyster saloon (Fels, Lavelle and Mider 1993, Inventory nos.639-642).

Edwardian buildings

Two individually significant places within the precinct include 135-137 Swanston Street (HO1079) built in 1919 for the Reinforced Concrete and Monier Pipe Company and Cann's Pty Ltd, millinery and drapery company. The top four floors were added in 1935 by architect Marcus Barlow. 163-165 Swanston Street (HO1080) was designed in 1922 by Nahum Barnet for the Ezywalkin footwear company.

Edwardian era (1900-1915) buildings exist at 149-153 and 161 Swanston Street. These buildings reflect the growth of the retail and service sectors in the city centre as public transport networks were established and residents moved to newly created suburbs nearby and commuted back to the city for employment.

A three-storey shop was first constructed at today's 149-153 Swanston Street in 1876 for owners Sanders and Levy by builder Harry Lockington (MCC registration no 7005, as cited in AAI, record no 77701). In 1900, the shop was demolished and three shops with studios, designed by architects Reed, Smart and Tappin were built for owners Sanders and Levy by McConnell and McIntosh (Age 18 September 1900:2; MCC registration no 8058, as cited in AAI, record no 77740). A 1910 fire survey plan shows three three-storey shops in existence, which, by 1925, were occupied by a variety of businesses, including a chemist, an auctioneer, the Children's Welfare Association, a dentist, photographer, dance teacher, dressmaker and milliner (Mahlstedt Map no 11, 1910; S&Mc 1925).

Interwar buildings

Interwar (1916-1939) buildings exist at 139-141, 152-156, 155, 157-159 and 163-165 Swanston Street. The buildings were designed, some by architects, to combine retail businesses at ground level with floors for offices and workshops above, reflecting the continued demand for office and work space in the city centre by the growing service sector.

Some of the commercial premises in the subject precinct are substantial buildings constructed during the economic boom of the 1920s. A three-storey building, for instance, was constructed at 139-141

Swanston Street for hosiery manufacturer, J L Faul, in 1924 at a cost of £7000, and was named Faul's Building (Figure 1) (CoMMaps). Faul advertised space for lease in the building in the same year (*Argus* 6 December 1924:19).



Figure 1. The three-storey Faul's Building at 139-141 Swanston Street is shown second from the left. Date unknown. (Source: Melbourne Heritage Action 2015)

Two brick buildings of three storeys at today's 152-156 Swanston Street were in existence in 1888 and housed shirtmakers A A Benjamin and tobacconist J Josephs (Mahlstedt Map no 8, 1888). In 1917, the buildings were purchased by butchers T K Bennett and Woolcock Pty Ltd, who occupied the buildings, addressed as 154-156 Swanston Street, until 1938 (*Herald* 25 October 1917:10). In 1938, the buildings were purchased by the Bank of Australasia for £60,000. As part of a complete remodelling, a newspaper report of the day stated that the bank planned to add an extra storey and mansard roof, covered in copper. A banking chamber and shop were to be located on the ground floor, with upper floors leased for offices and professional chambers. In addition, the report continued, the 'whole of the present architecture will be removed from the façade, and the new work will be carried out in brick, with a stucco finish'. The architects for the project were A and K Henderson and partners of Bank Place, Melbourne (*Argus* 5 February 1938:2). The Bank of Australasia branch at 152-156 Swanston Street opened in August 1938 (*Argus* 5 August 1938:5). The adjacent building (now demolished) was occupied by the Public Benefit Bootery (Figure 2).



Figure 2. 152-156 Swanston Street, date unknown. (Source: Melbourne Heritage Action 2015)

Architects

The architects of some of the buildings within the Swanston Street South Precinct include some notable practices who maintained an involvement in the central city over a long period of time.

Reed Smart & Tappin, architects

The practice was established by Joseph Reed upon his arrival to Victoria in July 1853. In 1883, W B Tappin joined the firm with Reed dying shortly after the announcement, followed by Tappin in 1905 (UMA 2012). Reed Smart and Tappin (1890-1907) (149-153 Swanston Street) were also briefly Smart Tappin and Peebles (*Leviathan Buildings, 271 Bourke Street*) before becoming Bates Smart McCutcheon, surviving today as Bates Smart, with the distinction of being the oldest continually operating architectural firm in Australia.

A & K Henderson, architects

A & K Henderson (1906-1942) were a father and son practice with A M Henderson senior having worked with Reed and Barnes (1869-1872) and forming Henderson and Smart 1879-1906). With his son K A Henderson the firm became A & K Henderson (1906-1942) (152-156 Swanston Street) and continued a strong commercial clientele throughout the interwar period. Alcaston House at the corner of Spring and Collins Streets is an example of their retrained classical design. The partnership was extended in 1920 to include Rodney Alsop and Marcus Martin and it was as A & K Henderson, Alsop and Martin that they secured a major commercial client in Temperance & General Life Assurance. After Henderson Snr's death in 1922 the firm completed many commercial buildings under Kingsley Henderson's direction, working across styles such as the Renaissance Revival and modern (Willis in Goad & Willis, 2012:322-3).

Nahum Barnet, architects

Nahum Barnet (1855-1931) (*135-137 and 163-165 Swanston Street*) was born into a Melbourne Jewish family and did his articles with Terry & Oakden (1876-1879), setting up practice on his own, eventually to become one of Melbourne's most prominent architects. He was responsible for many buildings in the central city including Her Majesty's Theatre, Exhibition Street and the Austral Building in Collins Street. He is distinguished by his particularly bold compositions across a variety of Edwardian and interwar styles. Barnet had an interest in developing an appropriate style for Australia which he promoted in the press and by incorporating Australian flora and fauna into his decorative schemes. He was competent working in many of the prevailing styles of the period including Gothic Revival, Romanesque, Art Nouveau. Much of his work was undertaken for members of the Jewish community including a significant number of factories, warehouses and commercial buildings (Willis in Goad & Willis, 2012:70).

Marcus Barlow, architects

Marcus Barlow (1890-1954) (*upper floors of 135-137 Swanston Street*) was a strong advocate of skyscrapers and American urbanism, as well as embracing the motor car and the typology of car-parking stations. His major contribution to the city is the Manchester Unity building on the corner of Collins and Swanston Streets. As one of the most prolific and accomplished architects of the interwar period he campaigned to overturn Melbourne's 132 feet (40 metre) height limit on buildings, which later occurred in 1958, several years after his death. His early partnership with John Grainger (1914-1917) and Harry Little (1917-1922) was followed by a partnership with F G B Hawkins (1924-1927). Barlow is credited with reshaping Melbourne's interwar central business district (Schrader in Goad & Willis, 2012:67)

PRECINCT DESCRIPTION

The Swanston Street South Precinct extends between Little Collins and Bourke Street on both east and west sides of the street, bounded by Masons Lane to the west and Rainbow Alley to the east. The precinct is characterised by predominantly three-storey buildings with ground floor retail and upper floor residences or offices. Cantilevered verandahs are continuous along the street but are not consistent in height or design. The Swanston Street South Precinct is low-rise and comprises a series of small buildings that are part of the pre-World War Two city.

Swanston Street has an avenue of London plane trees (*Platanus acerifolia*) now reaching semi-maturity and these are a dominant feature of the streetscape (Figure 3). The footpaths have been widened and paved with bluestone and the street has been modified for tram stops. At ground level the shopfront windows have been modernised and advertising signage abounds.

Swanston Street west side

The west side is predominantly interwar comprising a consistent row of three-storey buildings with some particularly fine examples of Edwardian architecture at nos.149-153 and 161. The west side of the precinct is bookmarked at each end by two landmark buildings, the eight storey 135-137 Swanston Street (HO1079) and the seven storey 163-165 Swanston Street (HO1080). Both buildings were designed in a neo-baroque style by Nahum Barnet, with architect Marcus Barlow being

responsible for the upper four floors of 135-137 Swanston Street (Figure 3). Adjacent but just outside the precinct is the five storey Leviathan buildings (HO541, HO509) that form the corner to Bourke Street built in 1912-1913 to a design by architects Bates Smart and Peebles.



Figure 3. Swanston Street South Precinct, from corner of Swanston and Little Collins streets. (Source: City of Melbourne 2018)

139-141 Swanston Street is an interwar building of three storeys with a central projecting oriel window, that forms a fine feature of the intact upper floors faced in smooth stucco. (Figures Figure and 6) 143 Swanston Street is a three-storey interwar building of face brick with industrial-type glazing and a relatively austere façade. The two buildings at 145 and 147 Swanston Street are modified interwar two storey shops.

149-153 Swanston Street is an impressive and highly intact Edwardian building of three storeys with original timber framed original windows. It makes a major contribution to the streetscape with its lively façade of large bow-fronted and arch-headed windows, intricate stucco decoration and banding combined with face brick (now painted) (Figure 8).

155 and 157-159 Swanston Street are three interwar shops of three storeys with classical stucco detail to the facades.

161 Swanston Street, an Edwardian three-storey building with intact upper floor and arched window on the top floor, with intricate stucco decoration. The ground floor has a shopfront with curved windows and pressed metal spandrel above the entrance. Whilst the glass and framing has been replaced the original entrance layout has been retained (Figure 9).

Swanston Street east side

The east side is set between the Town Hall plaza that has been landscaped over two levels including a contemporary café structure. The streetscape includes two rows of three-storey mid-Victorian era shops and a four-storey interwar building. The scale of the buildings match those on the west side but are predominantly of an earlier date.

144 Swanston Street is a two storey building built in 1985, adjacent to the open space at the corner of Little Collins Street. Although of contemporary design it matches its neighbours in scale. 146, 148 and 150 Swanston Street are three, two-storey shops with mid Victorian-era facades, stucco mouldings

and Victorian era windows. A chimney is evident, a reminder of the residential use of the upper floors. No.146 has an upper floor balcony built over the verandah and footpath and no.150 has its original windows altered (Figure 4).

The interwar classical building at 152-156 Swanston Street is based on a remodelling of two earlier shops. The façade features a stucco finish with a regular rhythm of vertically oriented windows of carefully modulated proportions reflecting the importance of each floor. First and second floor windows are particularly tall and graduated to the topmost floor where the smaller size indicates the lesser importance of this floor. Each floor has a different type of classical decorative treatment to the windows. There is an overhanging cornice and a balustraded parapet. The pitched roof over the front rooms contains an attic floor with dormer windows (Figure 5).

158-164 Swanston Street. This site has been redeveloped and extends over Rainbow Alley.

166, 168, 172 and 174 Swanston Street are two pairs of three-storey Victorian shops with intact upper floors. Nos.166-168 present a classical revival façade with engaged columns between the arch-headed windows. Nos.172-174 are also intact with typical Victorian stucco detail (Figure 6).

Laneways

Rainbow Alley, named pre-1856 after the former Rainbow Hotel extends north from Little Collins Street on the east side (eMelbourne). It has undergone significant modifications to the buildings either side and the street surface but some buildings remaining from 1890s are still there. The laneway is more intact towards the northern end. Masons Lane on the west side of Swanston Street is a particularly narrow thoroughfare with framed views of buildings to the north and south. The rear elevations of Swanston Street buildings are of three storeys are reasonably intact. The west side of Masons Lane has a remnant of bluestone wall but is otherwise bounded by a building of plain painted brick.



Figure 4. 144-150 Swanston Street constructed by 1877 and showing the contemporary Paul Bram shop adjacent to the row of three remaining Victoria- era buildings. (Source: City of Melbourne 2018)



Figure 5. 152-156 Swanston Street, a four-storey interwar building built for the Bank of Australasia in 1938, remodelled from two three-storey shops by A & K Henderson architects in 1938. (Source: Context 2017)



Figure 6. Row of four Victorian-era shops at 166-174 Swanston Street, constructed by 1888. (Source: Context 2017)



Figure 7. 139-141 Swanston Street, an interwar three storey building of 1924, formerly known as Faul's Building. (Source: Context 2017)



Figure 8. 149-153 Swanston Street, built in 1900 by architects Reed Smart & Tappin on the site of an earlier (1876) shop. (Source: City of Melbourne, 2018)



Figure 9. Shopfront at 161 Swanston Street retaining a recessed front entrance and curved glass with pressed metal panel above. (Source: Context 2017).

INTEGRITY

The Swanston Street South Precinct provides a snapshot of Victorian, Edwardian and interwar commercial buildings. The west side has a continuous three-storey scale between the two individually significant seven-storey buildings at either end. Individual places also have high integrity to their upper floors, particularly nos. 149-153 and 161. The east side has been altered with the redevelopment at nos. 144 and 158 and alterations to the upper floors of other places. However, the two and three-storey scale is continuous along the street with the exception of the four-storey building at no.152-156. Rainbow Alley has been significantly changed both in surface and through contemporary buildings that extend over the space but is more intact towards its northern end. Masons Lane has a higher integrity. One Edwardian shopfront window remains at no.161 but

otherwise all shop windows are contemporary. All verandahs are of contemporary cantilevered construction.

COMPARATIVE ANALYSIS

Other retail precincts

The retail core of the Hoddle Grid is the pedestrian focus for the city and includes a high proportion of buildings of low to moderate scale. Characteristics of the retail core include the relatively consistent scale, a complexity of building design adding a richness to the streetscapes and a network of laneways and arcades encouraging pedestrian activity.

Groupings of low-rise retail and other commercial premises are found in the following precincts:

Bourke Hill Precinct (HO500)

Within the city centre the Bourke Hill Precinct is one of the best demonstrations of small-scale, mixed-use buildings, including some particularly early examples, with the period of significance defined as 1837-1914.

Little Bourke Street Precinct (HO507)

Much of the building stock in the Little Bourke Street Precinct is low scale with the principal period of development being 1850s-1920s.

309-325 Swanston Street (HO1081)

A row of seven two storey rendered brick shops of two storeys that are noted as early construction pre-1860. These places are included within a broader precinct for Swanston Street North Precinct assessed as part of the Hoddle Grid Heritage Review.

The Block Precinct (HO502)

The historic character of the precinct as a retail area is characterised by a large number of buildings from the late Victorian and early 20th century periods and by the network of arcade shopping. The commercial and retail buildings range largely between the 1900-1940 period.

Post Office Precinct (HO509)

The traditional character of this precinct is as a major retail centre derived from the scale, form and appearance of the buildings constructed before the World War Two, and of the surviving 19th century buildings.

245-269 Elizabeth Street (HO618)

The buildings between 245-269 Elizabeth Street comprise a row of retail and commercial premises dating from 1897 to 1915. They have been assessed to be of local significance in the Guildford and Hardware Lane Heritage Study (Lovell Chen, 2017).

Swanston Street South Precinct is a low scaled retail precinct that has survived redevelopment and consolidation of its small sites. Like most other central city precincts, the development era spans a range, with the key feature being that the places represent the period before high rise buildings. Swanston Street South Precinct spans the period from c1870 to the 1930s, a range that is also evident in other precincts. The west side is characterised by predominantly interwar buildings whilst the east side by Victorian ones. This precinct complements others in the retail core and supports the low rise and highly pedestrianised area of the city. Masons Lane and Rainbow Alley still retain their through access and view lines but have undergone substantial changes.

ASSESSMENT AGAINST CRITERIA

✓ **CRITERION A**
Importance to the course or pattern of our cultural or natural history (historical significance).

CRITERION B
Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).

CRITERION C
Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).

✓ **CRITERION D**
Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).

✓ **CRITERION E**
Importance of exhibiting particular aesthetic characteristics (aesthetic significance).

CRITERION F
Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)

CRITERION G
Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).

CRITERION H
Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as a precinct.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

PRECINCT CATEGORY SCHEDULE

CoM Property ID	Number	Street	Grading
109272	135-137	Swanston Street	Significant (HO1079)
109273	139-141	Swanston Street	Contributory
109274	143	Swanston Street	Contributory
109414	144	Swanston Street	Non-contributory
109275	145	Swanston Street	Non-contributory
109413	146	Swanston Street	Contributory
109276	147	Swanston Street	Non-contributory
109412	148	Swanston Street	Contributory
109277	149-153	Swanston Street	Significant (HO1294)
109411	150	Swanston Street	Contributory
109410	152-156	Swanston Street	Significant (HO1295)
109278	155	Swanston Street	Contributory
109279	157-159	Swanston Street	Contributory
109409	158-164	Swanston Street	Non-contributory
109280	161	Swanston Street	Contributory
109281	163-165	Swanston Street	Significant (HO1080)
109408	166	Swanston Street	Contributory
109407	168	Swanston Street	Contributory
109406	172	Swanston Street	Contributory
109405	174	Swanston Street	Contributory

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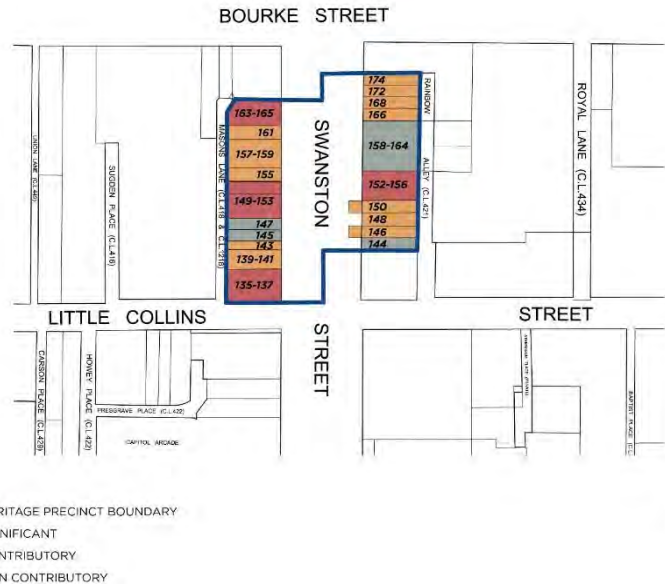
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STATEMENT OF SIGNIFICANCE

Heritage Place: Swanston Street
South Precinct

PS ref no: Interim HO1289



What is significant?

The Swanston Street South precinct comprising commercial buildings including 135-165 Swanston Street, 144-174 Swanston Street, Melbourne, is significant. This section of Swanston Street is distinguished by its almost continuous run of buildings from the nineteenth and early twentieth century on the west side, including two individually significant seven-storey landmark places; and its two rows of Victorian-era buildings on the east side.

Elements that contribute to the significance of the precinct include (but are not limited to):

- The small scale commercial buildings constructed from c1888 to c1938, as shown on the precinct map;
- The pattern of development in the precinct which comprises a mixed streetscape of Victorian, Federation and interwar commercial buildings, and the key features and original detailing characteristic of their respective styles;
- The overall consistency of built form (predominately two- to three-storey scale), materials and detailing (masonry construction, stucco detailing), and siting (narrow allotments, predominately low-rise streetscape bookmarked at each end by two landmark buildings on the west side);
- The Edwardian shopfront at 161 Swanston Street; and
- The laneway rear aspects of the buildings to Mason Lane and Rainbow Alley.

The buildings at 139-141, 143, 155, 157-159, 161 and 146, 148, 150, 166, 168, 172, 174 Swanston Street are contributory.

The buildings at 135-137, 149-153, 163-165 and 152-156 Swanston Street are significant.

Non-original alterations and additions to the contributory buildings, including cantilevered verandahs, are not significant.

The buildings at 144, 145, 147 and 158-164 Swanston Street are non-contributory to the precinct.

How it is significant?

The Swanston Street South Precinct is of local historic, representative and aesthetic significance.

Why it is significant?

The Swanston Street South Precinct is within the retail area of the central city. It demonstrates the predominant land use of retailing that was established quite early in the development of the central city between Swanston and Elizabeth Streets.

Historically the Swanston Street South Precinct demonstrates the small allotment size that was created by the subdivision patterns of the 1870s and 1880s and that established the urban density of the Hoddle Grid until the 1950s. The Swanston Street South Precinct is significant for its demonstration of retailing from the 1870s to the 1930s. Varied retail uses existed within the precinct including a strong emphasis on clothing and footwear (Ezywalkin, 163 Swanston Street, Faul's hosiery at no.139-141, millinery and drapery at no.135-137). These uses are evident in the individual buildings, the streetscape, in Masons Lane and in documentary evidence in plans and photographs. (Criterion A)

The Swanston Street South Precinct is significant for its demonstration of two distinctive urban morphologies, that of the one to three-storey building and that of the six to eight-storey building that formed the next phase once building heights were lifted to allow a maximum height of 40 metres.

The particular characteristics of the low scale buildings include masonry walls generally faced with stucco at the front, a regular pattern of small windows, parapets that disguise the roof form and a variety of classically derived façade details. 135-137 and 163-165 Swanston Street (Nahum Barnet, 1919 and 1922) are notable examples of this second type. The two-three storey buildings that form the remainder of the precinct illustrate the earlier representation of the city.

Within the precinct are fine examples of Edwardian architecture at 149-153 Swanston Street (1900, Reed Smart and Tappin) and 161 Swanston Street (c.1900, no designer identified). Other places within the precinct are representative examples from each of the Victorian (1850-1900), Edwardian (1900-1919) and interwar (1919-1935) periods. Together these elements comprise a distinctive low scaled and fine-grained group within the retail heart of the city, bookended by notable taller buildings. (Criterion D)

The Swanston Street South Precinct is aesthetically significant for the upper floors of the buildings that demonstrate the different periods and styles in which they were built. Whilst the street level has generally been modified, the upper floors have retained architectural characteristics of the period including parapets, original window openings, moulded stucco decoration to the masonry walls and stylistic detail and elements common to each period. The precinct is characterised by some individual buildings that express exceptionally fine façades with floors of bow-fronted windows and large arch-headed windows that enliven the streetscape. These include nos. 135-137, 139-141, 149-153, 161 and 163-165 Swanston Street. Nos 149 and 161 are notable for their upper floor windows, and for no.161

the curved shopfront is unusual. The interwar classical revival style is notable at 152-156 Swanston Street.

Nos.155 and 157-159 Swanston exhibit fairly austere classical revival façades. The Victorian period is well represented on the east side of Swanston Street with the typical Victorian stucco facades of nos.146-150 and 166-174 Swanston Street and their rhythmic pattern of arch-headed windows with mouldings. The recessed entry with curved glass ground floor shopfront is an important element of no.161.

The views provided along Masons Lane are also aesthetically significant, framing views of tall buildings to the north and south. The rear elevations of the buildings abutting the laneways especially nos.143-165 Swanston Street are aesthetically significant for their scale, form and brick and stucco walls with a pattern of window and loading bay openings. (Criterion E)

Key attributes of the precinct include:

Victorian-era buildings:

- 146, 148 and 150 Swanston Street, two-storey Victorian shops built by 1877
- 166, 168, 172 and 174 Swanston Street, three-storey Victorian shops built by 1888

Edwardian era buildings:

- 135-137 Swanston Street, 1919 seven-storey building by Nahum Barnet and Marcus Barlow
- 143 Swanston Street, built by c1910 as two-storey and extended in the postwar period
- 149-153 Swanston Street, three-storey shops and studios by Reed Smart and Tappin, 1900
- 161 Swanston Street including the shopfront, c1900, no designer identified
- 163-165 Swanston Street, 1922 seven-storey building Nahum Barnet

Interwar era buildings:

- 139-141 Swanston Street, 1924, no designer identified
- 155 and 157-159 Swanston Street, c1920s, no designer identified
- 152-156 Swanston Street, 1938, A & K Henderson remodelling

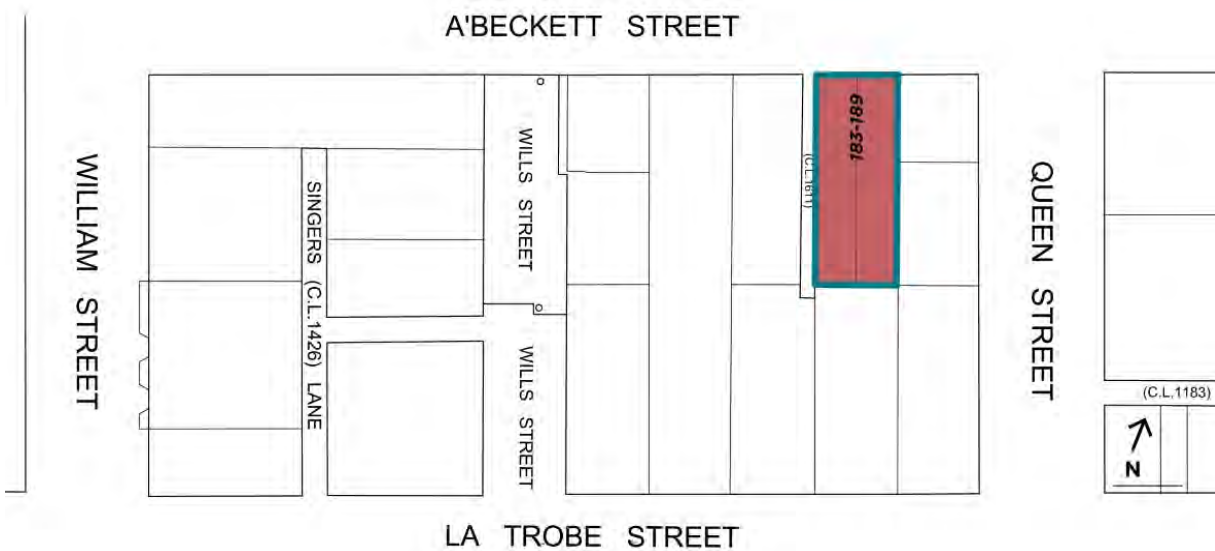
The laneway rear aspects of the buildings, particularly those on Masons Lane and the northern part of Rainbow Alley.

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

PRE-1945 INDIVIDUAL PLACE CITATIONS

SITE NAME	Grange Lynne Pty Ltd
STREET ADDRESS	183-189 A'Beckett Street Melbourne
PROPERTY ID	100157



SURVEY DATE: May 2017

SURVEY BY: Context Pty Ltd

HERITAGE INVENTORY	H7822-2113	EXISTING HERITAGE OVERLAY	Yes – interim controls HO995
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PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
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DESIGNER / ARCHITECT / ARTIST:	Edward Fielder Billson	FORMER GRADE	B
		BUILDER:	Not known

DEVELOPMENT PERIOD:	Interwar Period (c1919-c1940)	DATE OF CREATION / MAJOR CONSTRUCTION:	1937, second floor added 1943
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THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Stage 2 Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a Commercial City	5.5 Building a manufacturing capacity
	OTHER SUB-THEMES
9 Working in the city	9.3 Working in the post-war city

LAND USE

HISTORIC LAND USE	
Archaeological block no: 72	Inventory no: 2113
Character of Occupation: Commercial	
Land sale details not provided	
1866 Cox	Reserved for Presbyterian Church
1905/6 Mahlstedt	One- and two-storey buildings
THEMATIC MAPPING AND LAND USE	
1890s	Residential
1920s	Residential
1960s	Merchants

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

A three-storey factory and offices designed for Grange Lynne Pty Ltd by architect Edward Billson in 1937, and part of the printing and linotype companies located around the north-western edge of the city in the interwar period.

HISTORICAL CONTEXT

Building a commercial city

Building a manufacturing capacity

The land that factories were built on tended to be low-lying and undesirable for residential use; factories were most concentrated in West Melbourne, North Melbourne and Kensington. The higher ground of East Melbourne, by contrast, was almost free of industry, with the notable exception of the Victoria Brewery, an expansive red-brick castellated structure. Another important industrial area was on the south bank of the Yarra, where metal workshops and ship repair yards were located.

As Melbourne developed through the nineteenth century, so did its manufacturing industry. Flinders Lane became an important area for clothing manufacturers, while Chinese cabinet makers were concentrated at the east end of town. Food-processing plants were established in North and West Melbourne. Factories tended to be small and specialised. Large factories, built in the later nineteenth and early twentieth century tended to be built outside the City of Melbourne, where land was more easily obtainable.

After being the centre of manufacturing in Australia in the 1920s, Melbourne's importance in this regard began to decline. In the post-war period, many city factories and warehouses were left empty or converted for other uses. The industrial area of Southbank has been virtually obliterated by the new developments of the 1990s.

Working in the city

Working in the post-war city

The number of factories operating in central Melbourne had declined by the middle of the twentieth century. Flinders Lane remained an important wholesale area for fashion and textiles into the second part of the twentieth century, but clothing manufacturing had declined. The north-west area of the city, for example along Elizabeth Street and in Dudley Street, remained areas of light industrial and mechanical workshops. There was small-scale manufacturing north and west of Lonsdale Street.

SITE HISTORY

The site on which the Grange Lynne factory stands was reserved for the Presbyterian Church in 1855 and later comprised one and two storey buildings (Fels, Lavelle & Mider 1993, Inventory no 2113).

Former Burley Griffin associate, Edgar Fielder Billson, designed a factory and offices for this site in 1937. Replacing two residences on the site, it was built as ground and first floor accommodation for Grange Lynne Pty Ltd. Another firm, White & Gillespie Pty Ltd commissioned the addition of a matching second floor in 1943 under the supervision of the Moderne style design specialists, R M & M H King. Hawkes Brothers Pty Ltd wholesale homeware merchants and White & Gillespie (Melb) Pty Ltd electrotypers occupied the building over a long period, the latter being part of a concentration of printing and linotype companies around the north-western edge of the city, in

areas such as Lonsdale Street, in the inter-war period. This was particularly so after the construction of The Argus building at the Elizabeth and Latrobe Streets corner in the mid -1920s.

Edward Fielder Billson

Edward Fielder Billson (1892-1986), the first student to enrol and graduate in Architecture at the University of Melbourne, had worked in the office of Walter Burley Griffin as a student and graduate, and established his own practice in the 1920s. By the mid-1930s he was acknowledged as a leading architect in Melbourne and a noted exponent of modern idioms emanating from Europe and America and of refined decorative brick detailing. His work in the 1930s was strongly influenced by European modernism, particularly the Dutch designs of Willem Dudok and the Amsterdam School which he had experienced firsthand in 1930. Billson had also designed a block of flats called Grange Lynne (corner Grange Road & Lascelles Avenue) by 1936 for this same company (Central City Heritage Study Review 1993).

SITE DESCRIPTION

183-189 A'Beckett Street is an example of European Modernism.

The factory's long horizontal windows and window ledges of the ground and first floors, influenced by contemporary International modernism, are juxtaposed against porthole stairwell windows and a rounded vertical element. Such elements bear a resemblance to the work of the Amsterdam School, that was promoted in the Dutch architecture and arts publication *Wendingen*, published between 1918 and 1932 (Welch 2015).

The use of dark brown textured brick reinforces the Dutch association.

Beyond these elements, the distinctive tapestry pattern and heeler (long narrow) brickwork gives way to standard face red brickwork and a saw-tooth roof profile facing south at the rear. Concrete sun control hoods are set above the band of windows, A curved vertical brick element separates the stair from the remainder of the building and reflects another vertical brick fin. Six port holes light the stair between the upper window hood and entrance. Set under the semi-circular concrete hood at the stair entry are the street address numbers set on three steel bars behind. Inside, the metal stair handrail has a similar curved form.

The building is visually unrelated to the adjoining streetscape, except for the face brickwork used in nearby buildings.

INTEGRITY

When viewed from the street and laneway 183-189 A'Beckett Street is of high integrity.

COMPARATIVE ANALYSIS

The building compares well with the following examples, drawn chiefly from the Central Activities District Conservation Study 1985 database, being of a similar use, scale, location and creation date. The previously identified heritage values for this building have been maintained and the stylistic expression of this factory warehouse remains important.

Selected late inter-war factory warehouses or commercial buildings have been demolished since the assessment of this place in 2011. These include the Former Taubman Pty Ltd, 18-30 Lonsdale Street, and 10-16 Lonsdale Street which have been demolished and incorporated into a 47-storey development at 2-30 Lonsdale Street. No. 276-282 Little Collins Street, the G J Coles Building, (1939) also appears to have been demolished.

Other commercial buildings of similar period and style include:

Manton's Store, 209-225 Little Bourke Street (rear of 222-244 Bourke Street), c1937 (Contributory in HO507 Little Bourke Street Precinct)

222-244 Bourke Street is an amalgamation of two buildings 222-236 Bourke Street, a purpose-built department store built in 1935, and 238-244 Bourke Street, formerly a cinema. The two buildings were incorporated in 1978 and extensively refurbished in 1995. To the rear, the Little Bourke Street frontage at 209-225 Little Bourke Street retains part of a c1937 building.



Figure 1. Rear of Target Centre at 222-244 Bourke Street, 209-225 Little Bourke Street, constructed 1937. (Source: CoMMaps)

Palmer's Emporium, 220 Bourke Street, 1937 (Recommended as significant in the Hoddle Grid Heritage Review)

220 Bourke Street, a four-storey commercial building, was designed by architect Harry A Norris in 1937. Built to accommodate a multilevel department store, the design embraces modern construction technology (reinforced concrete construction) and Moderne styling to express a progressive and modern aesthetic.



Figure 2. 220 Bourke Street constructed in 1937. (Source: Context 2017)

Yule House, 309-311 Little Collins Street, 1932 (HO703)

A five-storey commercial building designed in the Moderne style with steel framed windows and horizontal banding.



Figure 3. 309-311 Little Collins Street constructed in 1932. (Source: CoMMAps)

Mitchell House, 352-362 Lonsdale Street, 1937 (VHR H2232; HO715)

This seven-storey rendered brick office building with ground level retail was also designed by architect Harry A Norris in the Moderne style. The ground level was originally a motorcar showroom.



Figure 4. 352-362 Lonsdale Street constructed in 1937. (Source: CoMMAps)

Presgrave Building, 273-279 Little Collins Street, 1938 (Significant in HO502 The Block Precinct)

A six-storey cement rendered office building with shops at street level and foyer. Designed by Marcus Barlow in the Moderne style and built in 1938. The upper floors were refurbished and converted to hotel accommodation in 2000.



Figure 5. 352-362 Lonsdale Street constructed 1937. (Source: CoMMAps)

McPherson's Building, 546-566 Collins Street, 1935 (VHR H0942; HO614)

A five-storey reinforced concrete office building with basement parking and ground level retail. Designed by Stewart Calder in association with Reid & Pearson in the International style and built as offices and showrooms for McPherson's Proprietary Limited in 1935.



Figure 6. 546-566 Collins Street constructed 1935. (Source: CoMMAps)

As an example of 1930s, modern architecture 183-189 A'Beckett Street is a notable example of European modernism, sharing some stylistic qualities with the examples above. It has a higher degree of integrity and is a more sophisticated work than the example at 209-225 Little Bourke Street. The face brickwork is an unusual design feature of this period, and 183-189 A'Beckett Street demonstrates a particularly fine use of this material.

ASSESSMENT AGAINST CRITERIA

✓ **CRITERION A**
Importance to the course or pattern of our cultural or natural history (historical significance).

CRITERION B
Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).

CRITERION C
Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).

✓ **CRITERION D**
Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).

✓ **CRITERION E**
Importance of exhibiting particular aesthetic characteristics (aesthetic significance).

CRITERION F
Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)

CRITERION G
Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).

CRITERION H
Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

REFERENCES

Fels, M, Lavelle S, and Mider, D 1993, 'Archaeological Management Plan', prepared for the City of Melbourne.

Google Street View 2017, 183-189 A'Beckett Street, Google Maps, accessed online 27 June 2017.

Welch, Anna 2015, 'Wendingen: Designing modernity' *State Library of Victoria*, <http://blogs.slv.vic.gov.au/>, accessed online 26 April 2019.

Central City Heritage Review in 2011

The references below were part of the Central City Heritage Review in 2011. No in text references were provided for the citations.

General sources

Historic Buildings Preservation Council reports on the Melbourne Central Business District from the 1970s;

Melbourne City Council on-line i-Heritage database;

Mahlstedt fire insurance map series held in the State Library of Victoria collection and Melbourne University Archives;

Daily newspaper reports such as 'The Argus';

Australian Architecture Index (AAI), prepared by Professor Miles Lewis and others;

Melbourne City Council building application drawings and files held at Melbourne City Council and the Victorian Public Records Office.

Historic Buildings Preservation Council

Yuncken Freeman Architects Pty. Ltd. 1976. Historic Buildings Preservation Council Melbourne CBD Study Area 5 (82), p1

Building Permit Application

MCC Building Permit Applications (BA): 18986, 22745

National Trust of Australia (Vic)

Grange Lynne Pty Ltd

Location: 185 A'Beckett Street, MELBOURNE,

Melbourne City

File Number: B6568

Level: Regional

Group: Manufacturing and Processing

Category: Factory/ Plant'

Sands & McDougall Melbourne or Victorian Directories

Where required directory extracts were obtained chiefly from Sands & McDougall Melbourne or Victorian Directories dating from the 1850s to 1974.

(D1935 185" -Jas. Trainor 187"-Miss Ida Mack)

D1939 Hawkes Brothers Pty Ltd homeware merchants wholesale

White & Gillespie (Melb) Pty Ltd electrotypers

D1944 - 45 Hawkes Brothers Pty Ltd homeware merchants wholesale

White & Gillespie (Melb) Pty Ltd electrotypers

D1950 Hawkes Brothers Pty Ltd homeware merchants wholesale

White & Gillespie (Melb) Pty Ltd electrotypers

D1955 White & Gillespie (Melb.) Pty Ltd electrotypers

PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985** B

**Central City Heritage
Study 1993** B

**Review of Heritage
overlay listings in the
CBD 2002** B

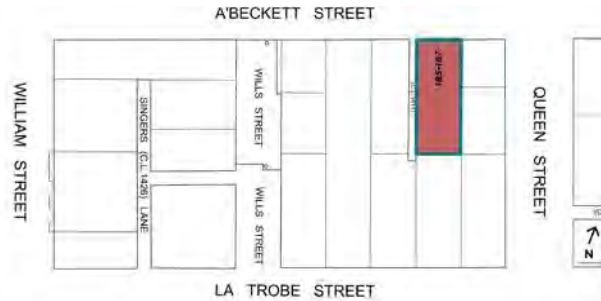
**Central City Heritage
Review 2011** B

STATEMENT OF SIGNIFICANCE

Heritage Place: Grange Lynne Pty Ltd



PS ref no: Interim HO1258



What is significant?

The building at 183-189 A'Beckett Street Melbourne, built in 1937 for Grange Lynne Pty Ltd by architect Edward Billson.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing;
- The building's high level of integrity to its original design;
- Long horizontal windows with ledges of the ground and first floors, and concrete sun control hoods above the band of windows;
- Dark brown textured face brick façade in tapestry pattern and heeler (long narrow) brickwork;
- Red face brickwork and the vertical brick fin on the west elevation, as well as the saw-tooth roof profile facing south at the rear;
- Curved vertical brick bay with six port holes above the entrance;
- Semi-circular concrete hood at the stair entry and the street address numbers set on three steel bars behind; and
- Curved metal stair handrail in the foyer.

Later alterations to the building are not significant.

How it is significant?

The Grange Lynne Pty Ltd is of local historic, representative and aesthetic significance to the City of Melbourne.

Why it is significant?

The building at 183-189 A'Beckett Street is historically significant as a well-preserved interwar city workshop and warehouse and one of a small number of surviving designs by the noted architect, Edward Fielder Billson, a former pupil and associate of Walter Burley Griffin. The building is also a reflection of long-term industry and warehouse concentration in this part of the city, in particular the printing industry that developed in proximity to the new Argus newspaper building at the corner of Latrobe and Elizabeth streets. This demonstrates the evolution of buildings of similar uses that have been assessed as significant elements of the city's development. (Criterion A)

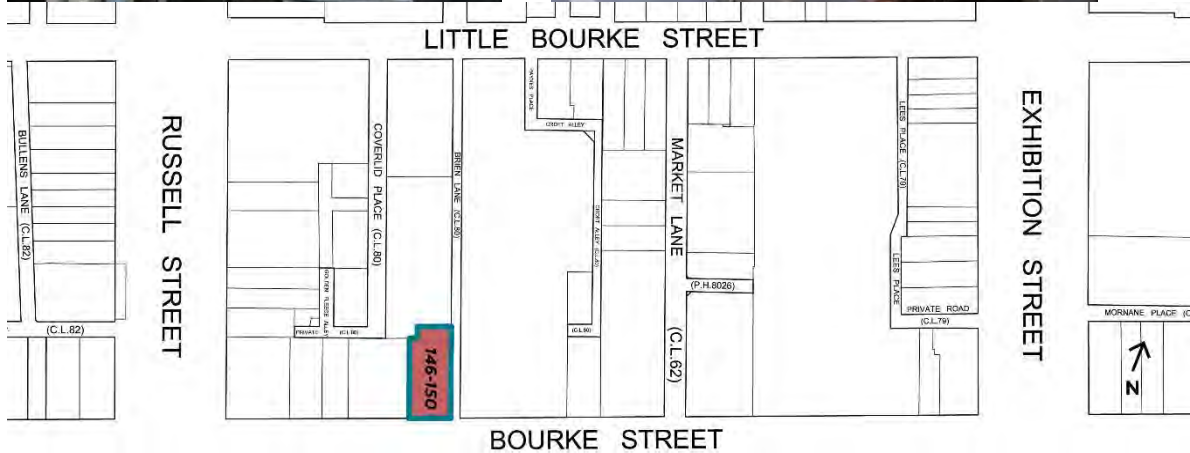
The Grange Lynne Pty Ltd building is a successfully designed and highly representative example of the Moderne style, as applied to a city commercial building, which juxtaposes curved verticals with horizontal elements. The decorative aspects of the dark brown brick façade, such as the vertical fin and round windows of the stairwell, are particularly noteworthy. While the skilful addition of a similarly detailed third storey by the firm of R M & M H King has changed the proportions of the façade, this has detracted little from the integrity of the initial concept. (Criterion D)

The factory at 183-189 A'Beckett Street is a fine and distinctive example of an inter-war factory and office building in the City of Melbourne. Built in 1937-38 to designs prepared by architect Edward F Billson, a former pupil and associate of Walter Burley Griffin, this building exhibits an unusual blending of International modernism with the Arts and Crafts-based aesthetic of the Amsterdam School. (Criterion E)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Shops, residence and former bank
STREET ADDRESS	146-150 Bourke Street Melbourne
PROPERTY ID	101214



SURVEY DATE: October 2017		SURVEY BY: Context Pty Ltd	
HERITAGE INVENTORY	H7822-1515	EXISTING HERITAGE OVERLAY	No
PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
DESIGNER / ARCHITECT / ARTIST:	Frederick Maloney White	FORMER GRADE	C
		BUILDER:	Stephen Armstrong
DEVELOPMENT PERIOD:	Victorian Period (1851-1901) Victorian Period (1851-1901)	DATE OF CREATION / MAJOR CONSTRUCTION:	1884

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Stage 2 Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a Commercial City	5.4 Developing a retail centre 5.3 Developing a large, city-based economy
	OTHER SUB-THEMES
3 Shaping the urban landscape	3.2 Expressing an architectural style

LAND USE

HISTORIC LAND USE	
Archaeological block no: 31	Inventory no: 515
Character of Occupation: Commercial	
1866 Cox	
1880 Panorama	
1888 Mahlstedt	Three storey building(s) occupied by Tobacconist & Card Printer.
1905/6 Mahlstedt	Three storey building (rebuilt?) occupied by G Buchanan, Draper.
THEMATIC MAPPING AND LAND USE	
1890s	Retail and residential
1920s	Banks
1960s	Banks

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

The three-storey, late Victorian building at 146-15 Bourke Street comprises three shops with residences above. The upper façade has a unified arrangement and exhibits the Victorian Renaissance revival styling typical of the period.

HISTORICAL CONTEXT

Building a Commercial City

Developing a retail centre

Even before the early 1850s, Melbourne had established the foundational infrastructure for international trade and commerce, including retail markets, shipping agents, and industry and finance houses - the beginnings of an entrepreneurial global city (Context 2012:2).

Retailing in Melbourne gained official recognition when eight market commissioners were elected in 1841 from a roll of local voters. The commissioners established the Western Market, which became the principal place for selling fresh food, with many goods transported from Melbourne to pastoral settlements. At this time Melbourne's population was 4479, and the wider colony's population was 20,416 (Young and Spearritt 2008). The growth of retailing was accompanied by the construction of warehouses to store goods.

By the early 1840s, Elizabeth and Swanston Streets, from the Town Hall in the east to the General Post Office in the west, had become the focus of retail activity, influenced also by the location of the Western Market. The Eastern Market opened in 1847 as a fruit and vegetable market on the corner of Stephen Street (later Exhibition Street) and Bourke Street and drew retail further east. The department store Buckley and Nunn opened in 1854, establishing Bourke Street as the preferred retail strip.

Retail premises in the nineteenth century and the early twentieth century generally included upper-level accommodation for families involved in the business. Multi-storey shop and dwelling type buildings housing ground-level shop with rooms above were constructed across the retail strips of Melbourne, and three- or more storied commercial and retail buildings began to proliferate between Bourke and Lonsdale streets from the late 1880s (Lovell Chen 2017:220).

Developing a large, city-based economy

After the discovery of gold in 1851 provided financial stability to the colony of Victoria, over the years the locality bounded by Flinders Street, William Street, Bourke Street and Elizabeth Street became the financial heart of the city. Banks, insurance companies, building societies and shipping companies were established and many of them erected substantial buildings (Savill 1987).

As well as managing locally generated income, the banks provided significant overseas capital, principally from Britain, to finance public projects and private investment. But the boom of the 1880s saw over-borrowing and overspending on building projects. Economic depression in the early 1890s saw many banks and land companies close their doors as British capital was rapidly withdrawn. The city recovered to some extent in the early twentieth century, and Melbourne underwent further development in its new role as the nation's capital. The Great Depression followed in the 1930s, which marked another period of decline. Nevertheless, during the long boom of the postwar period that followed, the bulk of Australia's leading public companies had their headquarters in Melbourne. Melbourne remained the financial centre of Australia, a role it maintained until the late twentieth century (Context 2012:41).

Shaping the urban landscape

Expressing an architectural style

In Melbourne in the 1870s and 1880s there was a building boom, both commercial and residential. The 1880s property boom made its mark on commercial design in the central city, with a new, bold generation of architects. Boom Style commercial buildings, such as William Pitt's Windsor Hotel and the Block Arcade, were characterised by increasingly rich decoration, Mannerist exaggeration of elements like keystones and segmental pediments, and the use of multiple classical trabeated and arcuated schemes overlaid one atop the other, until flat wall space was diminished to a bare minimum. While Renaissance and Italianate influences are most closely associated with Melbourne's Boom Style, a similar treatment of materials and facades was used for Gothic Revival buildings (Context 2012:17).

SITE HISTORY

The land comprising the subject property at 146-150 Bourke Street was first purchased in April 1839 by Archibald Mossman as part of Allotment 2, Block 23 in the City of Melbourne. Originally the subject site was addressed as 137-141 Bourke Street east.

In 1884 the then owner, W G Sprigg, commissioned three three-storey shops for construction on the subject site. Stephen Armstrong constructed the brick buildings to the design of F M White (MCC registration no 1054, as cited in AAI record number 73836). By 1885, each of the three buildings had a ground floor shop and a six to seven room residence above (RB).

William Gardiner Sprigg (1832-1926) was the Melbourne Omnibus Co's secretary from 1868 until he was appointed assistant manager in 1890, and by 1909 he had become a director following the resignation of H A Wilcox. Sprigg was engaged with the operation of the Melbourne Omnibus Co until it was dissolved due to liquidation in the late 1910s (*Argus* 14 June 1919:10; 16 October 1920:20).

With his colleague at the Melbourne Omnibus Co, Francis Boardman Clapp (1833-1920), Sprigg had been involved in developing at least 12 other premises along Bourke Street between 1873 and 1885, including the rows of shop and dwellings at 201-207 and 209-215 Bourke Street (MCC registration no 6299, 1054 & 5597, as cited in AAI record no 76823, 73836 & 73774; RB 1874-1877).

In 1887 the premises at 146-150 Bourke Street housed a musical instruments depot (150), a card printer (148) and a tobacconist (146) (Mahlstedt Map, section 1, no 23a, 1888). Between 1887 and 1890, ownership of the site was transferred from Sprigg to William Mclean (RB 1887 and 1890). In 1893, the subject buildings were occupied by James J Schuh, tobacconist, Hans P Rassmussen, herbalist, and William F Chamberlain, whose occupation was not recorded (RB 1893). The internal wall dividing 148 and 146 was demolished between 1890 and 1895 (MMBW Detail Plan 1014, 1895).

In the early to mid-twentieth century several reconfigurations of the interior took place, particularly of the party walls (Figure 2, Figure 3, Figure 4, Figure 5). The tenants of the building in 1910-13 included Kenny Bros draper (146), A Harris & Co fancy goods store (148), and George Schickert pastry cook (150). In 1914, the buildings at 148 and 150 were amalgamated and occupied by Schickert until 1915 when Mrs Jane Aarons Tearooms occupied the premises. The Melba Phone Co Pty Ltd tenanted 146 in 1914, and Joshua Rochlin, ophthalmic optician, was the tenant the following year (S&M 1895-1915).

The Bank of Victoria became the occupant of 146 in 1922. Between 1917 and 1925, 148-150 was used as a pastry and confectionary establishment, first managed by Mrs Margaret Metcher, then by Nicholas & Walsh from 1920, and Mrs M E Newcombe from 1923. Alterations to the bank premises took place in 1923 (MBAI); it appears that, by 1924, Mrs Newcombe and the Bank of Victoria had switched premises, with the directory for that year listing the bank at 148-150 Bourke Street (S&Mc 1917-1925). The Bank of Victoria amalgamated with the Commercial Banking Co of Sydney Ltd in 1928 (S&Mc 1927-1928).

A major fire in 1929 caused extensive damage to the eastern end of Bourke Street, including to the subject site. The fire was believed to have started on the ground floor of Payne's Bon Marche drapery store (134-36), spreading along the block and causing at least £300,000 worth of damage (*Argus* 22 July 1929:7). It was estimated that between 77-200 brigade men fought the fire, and, reputedly, the blazing conditions in the laneways were so intense that the helmets of firemen working there melted (*Beaudesert Times, QLD* 26 July 1929:3) (*Argus* 22 July 1929:7).

The subsequent repair and refurbishment of the bank building at 146-150 Bourke Street was a significant task, and carried out by architects Bates, Smart and McCutcheon and contractor W Hannah (PROV VPRS 11201/P1 unit 145). Debris was removed; the stairs, lift and chimney caps were repaired; the interior was repainted and the external walls touched up with a lime wash; cracks in the parapets were repaired; and the brickwork was repointed. Broken windows were replaced with new frames and the architraves refixed. New material was introduced to the building during these works with the eastern parapet partially demolished and rebuilt using cement mortar (PROV VPRS 11201/P1 unit 145).

In 1948 the interior of the building at 146-150 Bourke Street was refurbished and the building connected to 152-158 Bourke Street (PROV VPRS 11201/P1 unit 145). It appears that the leasable space was reconfigured the same year, with the bank occupying the entire ground floor and P L Paterson occupying the first and second floors (Mahlstedt Map, section 1, no 4, 1948). Significant alterations were made to the rear of the building, including the addition of a first storey level and staircase (Mahlstedt Map, section 1, no 4, 1948).

From 1949 to 1988 the subject site underwent several changes and modernisations. Alterations to the ground floor clerking space and lunchrooms occurred in 1949, and ten years later an illuminated plastic lantern sign was erected on the façade. In 1971 a glass two-way door to the bank chambers, and an illuminated horizontal footway sign, were installed. A floodlight was attached to the wall in 1972, and new doors to the bank installed in 1975. Extensions and alterations to the building occurred in 1965, 1987 and 1988. Still connected to 152-158 Bourke Street, it is believed that the 1988 works to the subject building involved a major refurbishment to the whole premises, and the construction of a new canopy for 144-160 Bourke Street (MBAI).

The Commercial Banking Co of Sydney Ltd amalgamated with the National Bank of Australasia to form the National Bank of Australia in 1982. While the exact date is uncertain, the bank had vacated the premises by 1988 when the building was converted to shops (MBAI). Today, the property houses several shops and a restaurant.

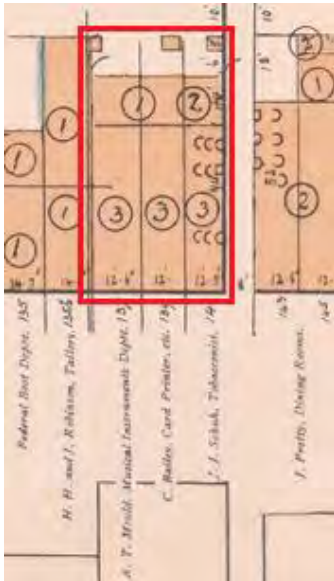


Figure 1. Extract from 1888 Mahlsted plan. (Source: Mahlsted 1888, SLV)

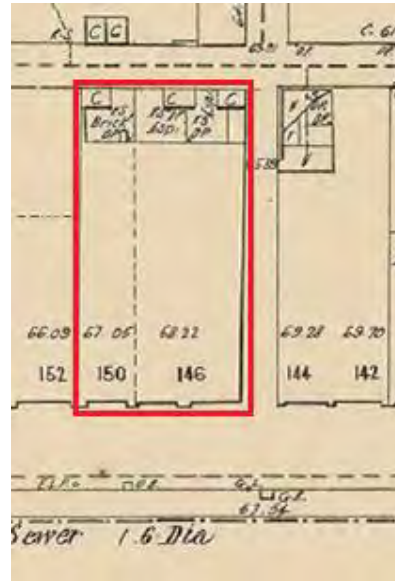


Figure 2. Extract from 1895 MMBW detail plan. (Source: MMBW 1895, SLV)



Figure 3. Extract from 1910 Mahlsted plan. (Source: Mahlsted 1910, SLV)



Figure 4. Extract from 1925 Mahlsted plan. (Source: Mahlsted 1925, SLV)



Figure 5. Extract from 1948 Mahlsted plan. (Source: Mahlsted 1948, SLV)

F M White, architect

Born Francis Maloney White in London in 1819, White was a competent architect who is known for his Gothic Revival and, later, Renaissance Revival works in Melbourne. White received his training at King's College, London, and in Rouen, France, before migrating to Australia; arriving in the South Australian colony in 1848. He spent some time in Melbourne, Hobart and Edwards River, New South Wales, before returning to Melbourne in 1851 where he commenced practice. Demonstrating a capability across a variety of modes, White produced designs for Italianate mansions, commercial buildings and for the quadrangle at the University of Melbourne. He was architect to the Melbourne Hospital, Lonsdale Street, and was an inaugural member of the Victorian Institute of Architects when it began in 1856 (Willis and Goad 2012: 762).

SITE DESCRIPTION

146-150 Bourke Street is a three-storey Victorian era building. It is located mid-block and borders Brien Lane on its eastern boundary. The rendered brick building retains much of its Victorian era character, with some sympathetic repairs carried out to the façade following damage caused by a large fire at the eastern end of Bourke Street in 1929.

The upper façade has a balustraded parapet with pedestals marking the edges of each of the three shops. A hipped roof is concealed behind the parapet. A deep cornice with dentil detail runs below the parapet, with scrolled brackets at each end of the building. Stone quoining occurs at the building corners. Three rectangular windows are evenly spaced across the upper level, each with decorative moulded architraves and detailing to the upper edge. At the mid-level, façade detailing is more elaborate. Three identical windows have a straight pediment across the top. Engaged pilasters run down each side of the window and continue below a cornice that runs across the façade at sill level. A name plate is located below each window. The upper edge of the ground level is marked with a cornice with dentil detail.

Alterations have occurred at ground level, reflecting the changing internal arrangements of the building.

INTEGRITY

The façade of the building retains a high level of integrity with the Victorian character of the upper façade largely intact. Significant alterations have occurred at ground level. After a fire in 1929, repairs and refurbishments were made to the building by architects Bates, Smart and McCutcheon and builder W Hannah. The stairs, lift and chimney caps were repaired; the interior was repainted, and the external walls touched up with a lime wash; cracks in the parapets were repaired; and the brickwork was repointed. Broken windows were replaced with new frames and the architraves refixed. New material was introduced to the building during these works with the eastern parapet partially demolished and rebuilt using cement mortar.

COMPARATIVE ANALYSIS

The subject building can be compared to other similar rows of three storey shops with residences above from the late Victorian period. It compares well with the following examples, drawn chiefly from

the Central City Heritage Review 2011, being of a similar use, scale, location and creation date. The images and descriptions below are provided by CoM Maps unless stated otherwise.

136-140 Elizabeth Street, built date not known (Significant in HO509 Post Office Precinct)

A row of three, three-storey shops with residences above. The rendered brick building was built in the mid-Victorian era in the Neo-Renaissance style.



Figure 6. 136-140 Elizabeth Street, unknown built date.

73-77 Bourke Street, c1880 (HO536, Significant in HO500 Bourke Hill Precinct)

A row of three, three-storey shops with residences above. The rendered brick building was built in the mid-Victorian era in the Neo-Renaissance style.



Figure 7. 73-77 Bourke Street constructed c1880.

32-38 Bourke Street, 1882 (HO529, Significant in HO500 Bourke Hill Precinct)

A row of four three-storey shop and residences with basement parking. Designed by Edward G Kilburn in the Italian Renaissance Revival style and built by TJ Taylor in 1892.



Figure 8. 32-38 Bourke Street constructed 1882.

189-195 Exhibition Street, 1882 (HO630, Significant in HO507 Little Bourke Street Precinct)

A row of two-storey brick shops with residences above and a basement. Built in 1882 in the Renaissance Revival style.



Figure 9. 189-195 Exhibition Street constructed 1882.

201-207 Bourke Street, 1874 (Interim HO1239 – recommended as significant in the Hoddle Grid Heritage Review)

A row of four, three-storey shops with residences above. Built by investors F B Clapp and W G Sprigg in 1874.



Figure 10. 201-207 Bourke Street constructed 1874 (Source: City of Melbourne 2018)

209-215 Bourke Street, 1876 (Interim HO1240 – recommended as significant in the Hoddle Grid Heritage Review)

A row of four, three storey shops with residences above. Built by builder and investors F B Clapp and W G Sprigg in 1876.



Figure 11. 209-215 Bourke Street constructed 1876. (Source: City of Melbourne 2018)

146-150 Bourke Street compares to the examples above as a row of shop and residences built in the late Victorian era. Consistent with the examples above, shopfronts at ground level have been altered but the upper façade retains its classical styling.

ASSESSMENT AGAINST CRITERIA

✓ **CRITERION A**
Importance to the course or pattern of our cultural or natural history (historical significance).

CRITERION B
Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).

CRITERION C
Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).

✓ **CRITERION D**
Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).

✓ **CRITERION E**
Importance of exhibiting particular aesthetic characteristics (aesthetic significance).

CRITERION F
Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)

CRITERION G
Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).

CRITERION H
Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

REFERENCES

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Beaudesert Times, as cited.

Building permit card for 146-150 Bourke Street, Melbourne, 1920-1988 (BP).

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PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985** D

**Central City Heritage
Study 1993** C

**Review of Heritage
overlay listings in the
CBD 2002** Ungraded

**Central City Heritage
Review 2011** Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Shops, residence and former bank



PS ref no: Interim HO1244



What is significant?

The row of shops/residences at 146-150 Bourke Street, built in 1885.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing;
- The building's high level of integrity to its original design;
- Balustraded parapet with pedestals; and
- Upper façade detailing including cornices with dentil detailing, scrolled brackets, quoining to the building's corners, moulded architraves to openings on the upper level and straight pediments and engaged pilasters to windows at the mid-level.

Later alterations made to the street level facades are not significant.

How it is significant?

146-150 Bourke Street is of local historic, representative and aesthetic significance to the City of Melbourne.

Why it is significant?

146-150 Bourke Street is historically significant as a Victorian building that represents a key phase in the retail development of Melbourne during the economic boom of the 1880s when investment in city property increased dramatically. Built by investment partners F B Clapp and W G Sprigg, who developed

up to 12 similar properties along Bourke Street between 1873 and 1885, 146-150 Bourke Street is typical of retail buildings of the Victorian era that housed retail outlets at ground level with residences and workspaces for business-owners provided on the floor above. The building is also historically significant for its use as bank premises by the Bank of Victoria from 1922, the Commercial Banking Co of Sydney Ltd from 1928, and the National Bank of Australasia from 1982 until c1988. (Criterion A)

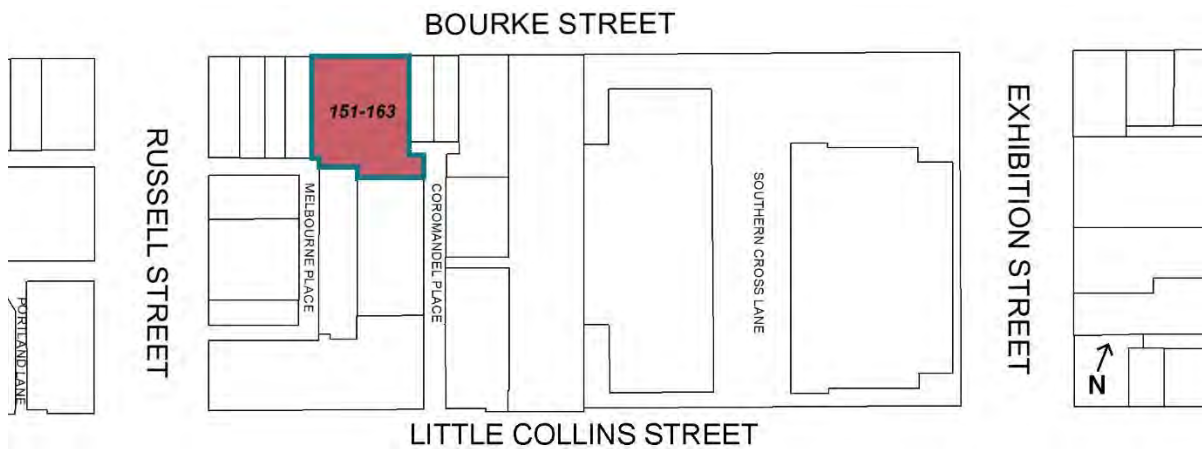
146-150 Bourke Street is a notable example of the 1880s property boom that made its mark on commercial design in the central city. It is significant as a well-designed Renaissance revival building by architect Francis Maloney White. White's contribution to the city's architecture and profession included major buildings for the University of Melbourne and the Melbourne Hospital in Lonsdale Street. Such prominent commissions serve as evidence of his standing in the profession at the time. 146-150 Bourke Street is significant as a fine commercial building with residences above, built in the height of the property boom. Built as one unified arrangement, the upper façade exhibits a scholarly interpretation of the Renaissance revival. (Criterion D)

146-150 Bourke Street is aesthetically significant for its classically styled upper façade. Key characteristics include a balustraded parapet with pedestals marking the edges of each of the three shops, a deep cornice with dentil detail below the parapet, scrolled brackets at each end of the building, with quoining at the corners of the building. 146-150 Bourke Street demonstrates an understanding of the elements of Renaissance architecture with its particular attention to each floor level and the highlighted importance of the first floor. The importance of this floor is expressed in the three identical windows with a straight pediment, engaged pilasters and recessed panels framed between cornices at sill level and above. The top floor offers a simplified treatment of the decorative elements of the windows. (Criterion E)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Former Malcolm Reid & Co Department Store
STREET ADDRESS	151-163 Bourke Street Melbourne
PROPERTY ID	101122



SURVEY DATE: October 2018		SURVEY BY: Context	
HERITAGE INVENTORY	H7822-1653	EXISTING HERITAGE OVERLAY	No
PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
		FORMER GRADE	C
DESIGNER / ARCHITECT / ARTIST:	Oakley & Parkes (151-155) H W & F B Tompkins (157-163)	BUILDER:	Clements Langford Pty Ltd (151-155)
DEVELOPMENT PERIOD:	Interwar Period (c.1919-c.1940)	DATE OF CREATION / MAJOR CONSTRUCTION:	1915-16, 1938 (151-155) 1929 (157-163)

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here.
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a commercial city	5.4 Developing a retail centre
	OTHER SUB-THEMES
13 Enjoying the city	13.1 Public recreation

LAND USE

HISTORIC LAND USE	
Archaeological block no: 39	Inventory no: 653
Character of Occupation: Commercial, Residential	
4th land sale 1839, Allotment 17 & 18 – Anthony Hordern	
1888 Mahlstedt	Six buildings, five two-storey shops to Bourke St; one-storey house to lane (Coromandel Pl).
1905/6 Mahlstedt	As above
THEMATIC MAPPING AND LAND USE	
1890s	Factories and workshops
1920s	Retail
1960s	Retail

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

151-163 Bourke Street comprises two four-storey buildings respectively constructed in 1929 (157-163) and substantially remodelled in 1938 (151-155). Originally built as a picture theatre in 1915-16, in 1938, 151-155 Bourke Street was largely remodelled in the Moderne style to a design by Oakley & Parkes for Adelaide furnishing company Malcolm Reid & Co, who was the occupier from 1936. 157-163 Bourke Street was built in the Chicagoesque style to a design by architects H W & F B Tompkins for drapers Payne's Bon Marche Pty Ltd. The buildings share a long history of use as retail stores, from 1929 (157-163) and 1936 (151-155). First linked in 1956, both buildings operated together as the Malcolm Reid Department Store until c1984. They were converted into apartments in 1998.

HISTORICAL CONTEXT

Enjoying the city

Public recreation

The first films screened in Melbourne in the 1890s in a variety of venues: vaudeville theatres, suburban halls and at open-air venues such as cricket grounds and beaches. Dedicated cinema buildings appeared after 1907. In 1909 T J West opened Melbourne's first purpose-built cinema at the corner of Sturt Street and City Road, South Melbourne. By 1916, there were eight cinemas in Bourke Street presenting continuous screenings (Catrice 2008).

As Daniel Catrice writes:

By 1919 there were 67 suburban cinemas and 11 cinemas in the city. These cinemas were modest in design and scale compared to the luxury cinemas built during the 1920s. The first of the American-style picture palaces was the Capitol Theatre in Swanston Street, designed by Walter Burley Griffin and opened in 1924. Two of Melbourne's grandest cinemas, the State Theatre in Flinders Street and the Regent Theatre in Collins Street, were opened in 1929. The atmospheric State Theatre was decorated after the style of an ancient Italian courtyard, with trailing clouds and twinkling stars on a blue dome ceiling (Catrice 2008).

The introduction of sound films in 1929 contributed to changes in cinema design, and the picture palace era ended with the depression of the 1930s. Most of the new construction activity was centred in the suburbs, where Hoyts established itself as the major cinema chain. Construction activity in the city was confined to newsreel cinemas, which screened continuous programs of newsreels (each session lasting about an hour), designed for a smaller, more transient audience (Catrice 2008).

Building a commercial city

Developing a retail centre

Department stores offered customers a wide range of goods, organised into 'departments', under the one roof. In Melbourne, department store Buckley and Nunn, which opened in 1854, established Bourke Street as the preferred retail strip. Russian immigrant Sidney Myer bought a block in Bourke Street in 1911, where he established his successful Myer emporium (Context 2012:43).

After 1920, chain department stores grew rapidly, opening branches or new stores in central Melbourne. Department stores elevated 'fashion, drapery and furnishings to a level of luxury and range which differentiated it from the everyday or rural emporium' (Young and Spearritt 2008). With increasing car ownership and widespread distribution of shopping catalogues, department stores attracted shoppers from both the suburbs and rural areas, consolidating the central Melbourne area as the state's preferred retail destination.

After World War Two, department stores elevated 'fashion, drapery and furnishings to a level of luxury and range which differentiated it from the everyday or rural emporium'. Department stores were also among the first in early postwar years to modernise their premises with improved escalators and shop fittings.

SITE HISTORY

The land at 151-163 Bourke Street Bourke Street, Melbourne, is part of Allotments 17 and 18, Block 10, purchased respectively by Charles Williams and Anthony Hordern during the fourth land sale in 1839 (Fels, Lavelle, Mider 1993, Inventory no 653). The site was occupied by a building as early as 1839. In 1888, the site comprised six buildings including three two-storey shops at 151-155 Bourke Street, two two-storey shops at 157-163 Bourke Street and a single-storey house fronting the laneway currently known as Coromandel Place (Fels, Lavelle, Mider 1993, Inventory no 653).

The subject site comprises two co-joined buildings: one built in 1915-16 (151-155 Bourke Street, on the east side of the site); and the other constructed in 1929 (157-163 Bourke Street, on the west side of the site). The Edwardian-era building at 151-155 Bourke Street was extensively altered with a completely redesigned façade in 1938. The connection of the two buildings was carried out in 1956 (*Argus* 3 July 1955:3).

151-155 Bourke Street

By c1910-12, the site of 151-155 Bourke Street had been acquired by World's Picture & Theatre Co. In December 1912, the company announced plans to erect a new grand picture theatre, the Empire Picture Theatre, with facilities to seat over 2000 people (see Figure 1). Shares were sold to the public: 75,000 shares of 10 shillings each were advertised, with the first release of 40,000 shares offered at one shilling per share. In 1915-16, the three-storey Empire Theatre was built to the design of architect Sydney H Wilson (*Age* 7 May 1910:2; *Argus* 6 December 1912:4; S&Mc 1916). By 1929, the Empire was part of the Hoyts chain (*Everyones* 1929:44).

During the early 1930s, the building was re-purposed as a dancing hall known as Centenary Palace (S&Mc 1933-1935). Figure 2 shows the building around this period.

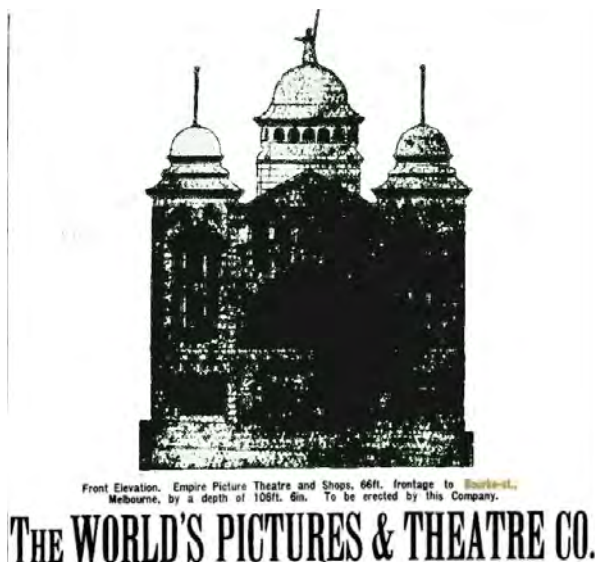


Figure 1. The initial elevation planned for the Empire Theatre. (Source: *Age* 7 May 1910:2)



Figure 2. Photograph from 1935 showing the Empire Theatre and the interwar building at 157-163 Bourke Street (RHS). (Source: Moir 1935, SLV [copyright](#))

In 1936, an Adelaide furnishing company, Malcolm Reid & Co Ltd, leased the former Empire Theatre, then owned by Mr Jones MLC, and opened its first Melbourne store (*Argus* 11 August 1936:9).

The founder of the company, Malcolm Reid, born in Port Adelaide in 1857, operated timber mills and yards in the boom years at Broken Hill and on the Rand goldfields in South Africa. He later went into the manufacturing and selling of home furnishings, establishing Malcolm Reid & Co Pty Ltd in 1911. Reid died in 1933 (*Chronicle* 23 March 1933:46; *Argus* 11 August 1936:9).

After operating their showrooms at the theatre building for two years, in 1938 Malcolm Reid & Co Pty Ltd announced the complete remodelling of the building. According to the *Argus*, the work carried out was as follows:

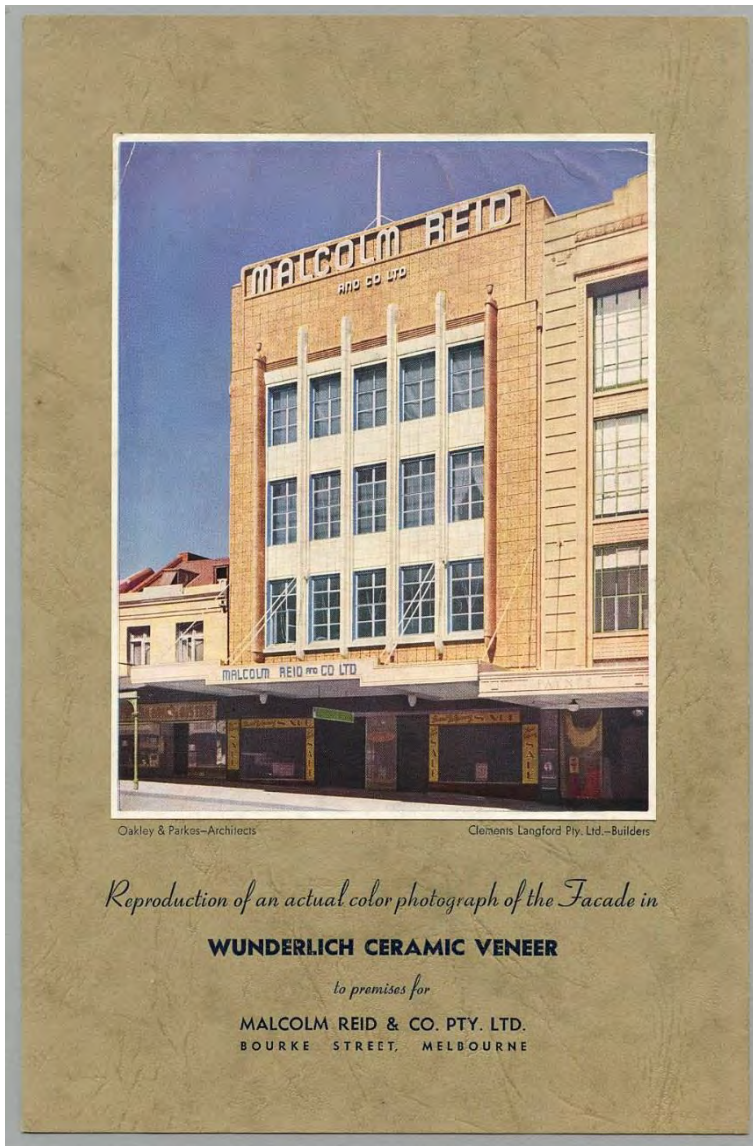
The total floor space of the store is being increased to 20,000 square feet by extending the ground floor, basement, and first floor over the full depth of the site and by adding a new second and third floor over the whole area.

The present front of the building will be demolished and the new façade will be faced with architectural terra cotta above the cantilevered verandah. Provision is being made for floodlighting the building at night (*Argus* 11 October 1938:8).

The architects of the remodelling project were Oakley & Parkes and the builder was Clements Langford Pty Ltd (*Argus* 11 October 1938:8). The façade was finished with Wunderlich Limited's faience tiles, branded as 'Wunderlich ceramic veneer' (see Figure 3). Wunderlich Limited was a New South Wales-based architectural elements manufacturer that commenced manufacturing architectural terra cotta tiles after World War One. By the mid-1920s they had two tile works in Melbourne: in Brunswick and Sunshine (Wilson 2009:4).

A leaflet published by Wunderlich Limited during the 1940s featured a colour photograph showing the original façade of Malcolm Reid & Co Ltd's showroom at 151-155 Bourke Street, which featured a parapet with three-dimensional signage (see Figure 3).

Malcolm Reid's furniture store had a long association with 151-163 Bourke Street, operating their store from the premises for almost 50 years from 1936, later expanding into both buildings at 151-163 from 1953 to c1984 (*Age* 22 August 1984:61).



A7437-28/689
11.6.2009

Figure 3. A leaflet, c1940s, showing a colour photograph of Malcolm Reid & Co's building at 151-155 Bourke Street. (Source: Wunderlich Ltd, c1940s [copyright](#))

157-163 Bourke Street

In November 1926, the two-storey brick building at 157-163 Bourke Street owned and occupied by W H Bruce Ltd, tailor and mercer shop, was sold to developers City Property Pty Ltd (RB 1930-31; *Age* 29 November 1926:2). By 1928, Payne's Bon Marche Pty Ltd, drapers, opened its second display store in the former two-storey shop at 157-163 Bourke Street, while operating their main store across the road at 138-144 Bourke Street (*Herald* 22 March 1928:12). Payne's Bon Marche drapery was founded in Bourke Street in 1885 by Irish businessman, John Payne. In 1909, a new main store was erected at 138-144 Bourke Street. In the late 1920s, commissioning architects H W & F B Tompkins, Payne redeveloped his Bourke Street properties (see [Figure 4](#)), including the fire-damaged main store (138-144 Bourke Street) and two other retail buildings (130-132 and 134-136 Bourke Street) in the adjoining land.



Figure 4. Now demolished Payne's buildings between 134-144 Bourke Street in 1955. (Source: *Herald* 2 December 2018)

In December 1928, tenders were invited for the purchase and removal of the Payne's Bon Marche building at 157-163 Bourke Street by appointed architects, H W & F B Tompkins (*Argus* 19 December 1928:3). Coinciding with the tender notice, throughout late 1928 and the beginning of 1929, Payne's held a 'special rebuilding sale' of stock (*Herald* 13 February 1929:14; *Herald* 7 January 1929:3).

In January 1929, the application for the erection of 'brick premises' at 157-163 Bourke Street was lodged with the City of Melbourne. The cost for the construction of the four-storey shop was £8000, and the shopfront was completed at an additional cost of £1000 (MBAI 11205 and 11680). The building plans dated 19 January 1929 show the original façade design prepared for Payne's by the architects H W & F B Tompkins. Signage was located under the pedimented parapet and above the ground-floor shopfronts (see Figure 5) (PROV VPRS11200/P1/1382).



Figure 5. The 157-163 Bourke Street elevation from 1929 plans by architects, H W & F B Tompkins. Note the pediment and signage reading 'Payne's'. (Source: PROV VPRS11200/P1/1382)

The ground floor of the new building at 157-163 Bourke Street reused the existing concrete floor and basement space of the former building on site. The lobby was to feature large showcases, with a separate entry leading to the staircase to the upper levels on the right-hand side. A goods lift and a narrow staircase were to be provided to the rear of the premises (PROV VPRS11200/P1/1382).

By late 1929, the new four-storey store and office building had opened at 157-163 Bourke Street. Payne's Bon Marche drapery store was addressed at 157-161 Bourke Street, and a separate business, Bon Marche Cash Order Co Pty Ltd, occupied the upper floor spaces addressed as 163 Bourke Street (S&Mc 1930).

Payne's Bon Marche Pty Ltd operated from the building for 25 years until the mid-1950s.

151-163 Bourke Street, post-1956

In 1953, Malcolm Reid & Co (Vic) Ltd, operating from 151-155 Bourke Street, purchased the adjoining building at 157-163 Bourke Street (*Advertiser* 15 September 1953:12). A N Reid, the director of Malcolm Reid, informed the public that the building would be altered to link with their existing store at 151-155 Bourke Street (*Argus* 3 July 1955:3).

The Melbourne Building Application Index for 157-163 Bourke Street lists substantial building works carried out in 1956, totalling £18,742, which presumably included the connection of the building with the adjoining premises of 151-155 Bourke Street (S&Mc 1955, 1960; MBAI 30285, 30400). The parapet at 157-163, which had featured Payne's signage, may have been altered around this time (see Figure 6) (*Age* 20 November 1985:32).

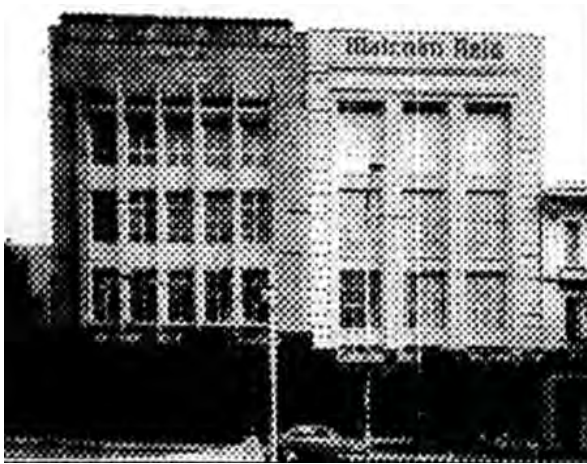


Figure 6. 151-163 Bourke Street photographed in 1985. Note the parapet at 157-163 has been replaced with 'Malcolm Reid'. (Source: *Age* 20 November 1985:32)

In 1960, an addition was made at the 'rear of 151-155' Bourke Street at a cost of £15,000 (MBAI 33854). This possibly included alterations to the two-storey Victorian-era brick warehouse at 13 Coromandel Place, at the immediate rear of 151-155 Bourke Street, which was incorporated as part of the Bourke Street buildings at this time. A Mahlstedt Fire Survey Plan, amended in the 1960s, shows the Malcolm Reid store by this stage occupying three interconnected buildings at 151-155 Bourke Street, 157-163 Bourke Street, and 13 Coromandel Place (see Figure 7) (Mahlstedt Map, section 1, no 5, 1948).



Figure 8. Newspaper advertisement showing the site in 1998 with additions carried out in the 1990s. (Source: *Age* 15 November 1998:63)

Oakley & Parkes, architects

The *Encyclopedia of Australian Architecture* contains the following entry for architects Oakley & Parkes:

Oakley & Parkes was a partnership of Melbourne-born architects Percy Oakley (1883-1955) and Stanley Parkes (1894-1986), lasting from 1926 until 1955. Parkes concentrated on design while Oakley was primarily responsible for seeking new clients, administration and specifications... (Dernelley 2012)

Oakley...attended the Working Men's College (now RMIT University) at night to become an architect. Initially working for King & Stainsbury, Oakley began practicing as an architect in 1908, forming a partnership with A S Eggleston in 1914. This partnership was dissolved in 1923...and Oakley established his own firm. Parke's architectural training was disrupted by his war service from 1914 to 1919. After studying at the Working Men's College and the University of Melbourne, he was articled with Eggleston & Oakley, where he remained until leaving with Oakley. ...in 1926, the firm Oakley & Parkes was established. They were commissioned to design 'The Lodge' (1926), intended only as a temporary residence for the Prime Minister. They eventually designed 150 houses in Canberra, as well as a number of other buildings. (Dernelley 2012)

Oakley & Parkes completed over 370 known works. Notable works include:

- Spicers & Detmold Factory, Coburg, 1940 (with Carleton & Carleton);
- Equity Chambers, Bourke Street, Melbourne, 1931;

- ANZAC House, Collins Street, Melbourne, 1938-39;
- Rippon Lea mansion entrance lodge, 1926;
- Brighton Sea Baths, 1936;
- Yule House, Little Collins Street, Melbourne, 1932 (with Rae Featherstone); and
- Kodak House, Collins Street, Melbourne, 1934-35.

H W & F B Tompkins, architects

The *Encyclopedia of Australian Architecture* contains the following entry for architects H W & F B Tompkins:

H W & F B TOMPKINS, architects were established in 1898 when the brothers won a design competition for the Commercial Travellers Association CTA Clubhouse, 190 Flinders Street, Melbourne. Henry Harry William (1865-1959) and Frank Beauchamp Tompkins (c1867-1952) were born in England and educated in South Africa. They migrated to Australia with their parents in 1886. Harry became an assistant architect to Richard Speight Jnr and Frank worked with a number of architects including Evander Mclver and Nahum Barnet. By the mid-1890s Harry had entered a partnership, forming Speight & Tompkins of 493 Collins Street, Melbourne. He left the partnership in 1896 to take up a position in the Western Australia Public Works Department, but was retrenched in 1898 and returned to Melbourne and formed the partnership of H W & F B Tompkins.

The competition win established the firm and by the early 20th century, H W & F B Tompkins was a leading commercial firm. Their commercial work up to WWII reflects the three influences popular at the time: the Romanesque style popularised by such architects as H.H. Richardson in the United States during the late 19th century; the Baroque Revival of the early 20th century, popular in Chicago and San Francisco after 1908; and the Moderne or interwar functionalist style of the 1930s.

The firm is one of the longest surviving in Victoria. In the 1950s it became Tompkins & Shaw when P M.Shaw entered the partnership and then Tompkins, Shaw & Evans when Stan Evans joined. In 2003 it was acquired by Michael Davies Associates, forming a new firm, Tompkins MDA Group (Beeston 2012:707-708).

SITE DESCRIPTION

151-163 Bourke Street comprises two four-storey buildings that were joined in 1956. 151-155 Bourke Street was originally constructed in 1915-16 and extensively remodelled in 1938. 157-163 Bourke Street was constructed in 1929. Linked in 1956, 151-163 Bourke Street was converted to apartments around 1998. The eastern building at 151-155 has a façade designed in the interwar Moderne style, while the western building at 157-163 is in the slightly earlier Chicagoesque style.

The Modern style façade of 151-155 Bourke Street is clad in glazed terracotta (faience), fixed to non-loadbearing brickwork. It comprises five equal width vertical panels of glazing separated by narrow mullions that terminate at the deep parapet. The parapet has small rectangular openings centred on the five vertical panels, although these may have been inserted during the 1990s redevelopment works. There is a solid vertical panel at each end of the façade.

The original steel framed multi-paned windows survive at the upper three levels, with each module comprising eight rectangular sashes, all of which are an identical size with horizontal emphasis. At the third-floor level, the original glazed terracotta transoms have been replaced with small Juliet balconies constructed of fibre cement or a similar material. The eastern side wall of 151-155 Bourke Street retains a painted sign with the name of Malcolm Reid, the owner and occupant of the building from 1936.

The façade of 157-163 Bourke Street is of painted render, probably over non-loadbearing brickwork walls. It comprises three equal width vertical panels of glazing separated by wide mullions that support a deep parapet and spandrels. The spandrels, tops of the glazing panels and parapet feature stylised decoration, including acanthus leaves. The parapet has small rectangular openings centred on the three vertical panels, although these may have been a 1990s modification. There is a rusticated vertical panel at each end of the façade, typical of the Chicagoesque style.

The original steel framed multi-paned windows survive at the upper three levels. At the third-floor level, the original painted render transoms have also been replaced with small Juliet balconies constructed identical to the adjoining façade at 151-155 Bourke Street.

The ground floors of both façades have been significantly altered with a contemporary shopfront and hotel entry foyer. There is a suspended box awning above the ground floor.

The 1998 apartment redevelopment resulted in the remodelling of the earlier buildings. The facades remained substantially intact and sections of the side and rear walls of both buildings were retained. A new additions including three additional set back storeys was constructed above the existing buildings. The addition demonstrates a contemporary design approach to materials and articulation and is both visible and uniform across the parapets of these two distinct buildings. The limited scale and setback of the new structure means that it does not dominate the individual character or uniform scale of the two facades.

INTEGRITY

Both buildings at 151-155 and 157-163 Bourke Street have been substantially modified as part of the 1998 apartment conversion, though retain the façades and the side and rear walls. As part of the apartment conversion the façades underwent conservation work and retain a high degree of three-dimensional and material integrity. 151-155 Bourke Street retains its glazed terracotta (faïence) façade emphasising verticality, steel-framed multi-paned windows and parapet with Art Deco detailing. 157-163 Bourke Street retains its elements representative of the Chicagoesque style, including the vertical glazing separated by wide mullions, decorative spandrels, glazing panels and parapet and rusticated vertical panels at each end. At the third level both buildings have had their transoms replaced and small Juliet balconies added, and openings have been punched through both parapets. At street level shop fronts have been significantly altered over time. The limited scale and setback of the apartment development above the pair of buildings means that it does not dominate their individual character or uniform scale, leaving the original storey height, form and characteristic stylistic details legible.

COMPARATIVE ANALYSIS

151-163 Bourke Street comprises two buildings completed during the interwar period in 1929 (157-163) and 1938 (151-155). Both buildings utilised brick as its main building material, while the

structural steel and reinforced concrete framing became popular building materials in central Melbourne. Departing from load-bearing brick walls, many examples from the interwar period employed these new building methods that allowed windows to become larger and more prominent on façades, while also facilitating increased building heights.

Comprising an expressed structural system of concrete columns and floor plates, the interwar department store and commercial buildings in central Melbourne often utilised the Commercial Palazzo, Chicagoesque or Moderne styles, as seen in landmark examples and other office/retail buildings around the city.

Built in 1929, the façade at 157-163 features some elements characteristic of the Chicagoesque style, which typically adopted understated classical detailing in the form of dentils to parapets, capitals to columns or mouldings to spandrel panels (Lovell Chen 2017:21). Remodelled in 1938, the façade at 151-155 Bourke Street has some elements influenced by the Moderne style, with the use of strong verticality and non-historic ornaments.

The following examples in Melbourne are comparable with 157-163 Bourke Street, being of a similar use, scale, location and/or creation date. The images and descriptions are provided by CoM Maps unless stated otherwise, with images dated c2000 or later.

Benjamin House, 358-360 Little Collins Street, 1929 (HO1210)

The commercial building (former warehouse) at 358-360 Little Collins Street incorporates building components from pre-1869, 1871 and 1929. The latter works are most evident in the current building form and expression, including the five-storey height, Chicagoesque style facade, and large windows to the east elevation above ground floor level.



Figure 9. 358-360 Little Collins Street, built in 1929.

482-484 Bourke Street, 1926 (Interim HO1241 – Recommended as significant in the Hoddle Grid Heritage Review)

482-484 Bourke Street is a four-storey reinforced concrete commercial building originally built for Victorian Amateur Turf Club (later known as the Melbourne Racing Club). The building façade features classical styling associated with the classical revival styles of the interwar period.



Figure 10. 482-484 Bourke Street, built in 1926. (Source: iHeritage)

Former Union Bank, 351-357 Elizabeth Street, 1926-1927 (HO1019)

A five-storey rendered brick bank building. Designed by Butler & Martin in the Commercial Palazzo style and built for the Union Bank by Thompson & Chalmers in 1928.



Figure 11. 351-357 Elizabeth Street, built in 1926-27.

The following examples are comparable with 151-155 Bourke Street, being of a similar use, scale, location and/or creation date. They are selected examples of Melbourne's Moderne style offices or retail buildings with faience-clad façade.

Diamond House, 313-317 Bourke Street, 1936 (Significant in HO509 Post Office Precinct)

Diamond House is a four-storey brick building designed by H W & F B Tomkins in the Moderne style and built by E A Watts in 1936.



Figure 12. 313-317 Bourke Street, built in 1936. (Source: Google 2019)

Akira House, 18 Queen Street, 1937 (VHR H0397; HO729)

A ten-storey reinforced concrete former office building. It features a striking facade of black, green and grey terracotta faience tiles. Designed by James H Wardrop in the Jazz Moderne style. It was built by Swanson Bros in 1937 at a cost £11,000. Originally of six storeys a further four were added when the building was refurbished, subdivided and converted to apartments in 1998.



Figure 13. 18 Queen Street, built in 1927.

Former Patersons Pty Ltd, 152-158 Bourke Street, 1934 (Interim HO1266 – Recommended as significant in the Hoddle Grid Heritage Review)

The former Patersons Pty Ltd Building was built for the Paterson family as a furniture retailing outlet. The building was designed by architect Arthur W Purnell and is a fine example of a Moderne/Jazz Moderne façade from the interwar period.



Figure 14. Former Patersons Pty Ltd 152-158 Bourke Street, built in 1934.

Former Kodak House, 252 Collins Street, 1935 (HO593), and Lyric House, 250 Collins Street, 1930 (Significant in HO502 The Block Precinct)

Originally known as Kodak House (left-hand side in Figure 15), 252 Collins Street is an eight-storey office building with a basement and ground level retail. Designed by Oakley & Parkes in the Art Deco Moderne style it was built in 1935. Of note is the use of stainless steel for the spandrels and mullions, a first for Melbourne. Refurbished and sub-divided in 1997.

Lyric House (right-hand side in Figure 15) is a five-storey office building with Art Deco detailing, designed by A & K Henderson and built in 1930.



Figure 15. 250 Collins Street on right (built in 1930) and 252 Collins Street on left (built in 1935).

151-155 Bourke Street is a largely intact example of the 1930s retail building with Moderne elements. However, in comparison to some of the larger scale examples currently on the City of Melbourne's Heritage Overlay (HO), it is more modest in scale and more restrained in its use of the style, while demonstrating considerable sophistication in its attention to detail and use of materials including glazed terracotta faience cladding. Constructed in 1936 to the design of eminent practitioners of the style H W & F B Tompkins, the HO listed Diamond House at 313-317 Bourke Street is a comparable but larger scale example of the restrained yet refined use of the Moderne style architecture in the central city area.

157-163 Bourke Street is a largely intact example of the Chicagoesque style. However, in comparison to some of the larger scale examples currently on the City of Melbourne's Heritage Overlay, it is more modest in scale, while demonstrating sophistication in its attention to detail and use of materials including large panels of multi-pane steel framed windows. Benjamin House at 358-360 Little Collins Street and the former Kodak House at 252 Collins Street, both HO listed buildings, are comparable examples of the restrained yet refined use of the Chicagoesque style.

The subject buildings at 151-163 Bourke Street are highly unusual in the central Melbourne context as being identical in height and numbers of floors, while demonstrating how stylistic tastes evolved within a relatively short time frame of ten years. Between 1929 and 1938, the popularity of the conservative Chicagoesque style for new development had waned, with the non-classical Modern style becoming the style of choice.

ASSESSMENT AGAINST CRITERIA

✓	<p>CRITERION A Importance to the course or pattern of our cultural or natural history (historical significance).</p>
	<p>CRITERION B Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).</p>
	<p>CRITERION C Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).</p>
✓	<p>CRITERION D Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).</p>
✓	<p>CRITERION E Importance of exhibiting particular aesthetic characteristics (aesthetic significance).</p>
	<p>CRITERION F Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)</p>
	<p>CRITERION G Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).</p>
✓	<p>CRITERION H Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).</p>

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

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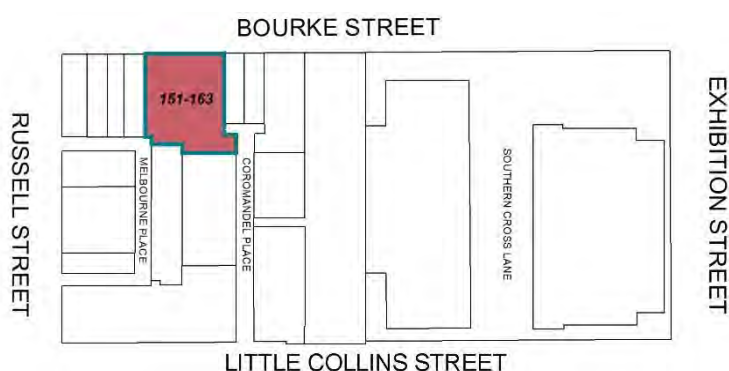
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STATEMENT OF SIGNIFICANCE

Heritage Place: Former Malcolm Reid & Co Department Store



PS ref no: HOXXXX



What is significant?

151-163 Bourke Street, Melbourne, comprising two four-storey buildings respectively completed in 1938 (151-155 Bourke Street, designed by Oakley & Parkes) and 1929 (157-163 Bourke Street, designed by W & F B Tompkins).

Elements that contribute to the significance of the place include (but are not limited to):

- The form and scale of the original four-storey buildings (151-155 and 157-163);
- The original patterns of symmetrical façade geometry and fenestration, including recessed spandrels, projecting mullions, terracotta faience cladding (151-155), vertical rusticated end panels (157-163); and
- The original multi-paned steel-framed windows at the first, second and third levels.

Later alterations, including the Juliet balconies, openings in the parapets, awnings and alterations made to the street level shopfront are not significant.

How it is significant?

151-163 Bourke Street, Melbourne, is of local historical, representative, aesthetic and associative significance to the City of Melbourne.

Why it is significant?

The buildings at 151-163 Bourke Street are historically significant for the evidence they provide of an important phase in Melbourne's retail history; and the rise in popularity of the department store from the 1920s in the central city. Their long use as department stores began in 1929 (for 157-163) and 1936

(151-155, in the former Empire Theatre built 1915-16). Both comprising four floor levels, 151-155 Bourke Street (built 1915-16 and extensively remodelled in 1938 in Moderne style by architects Oakley & Parkes), and 157-163 Bourke Street (built 1929 in Chicagoesque style to a design by architects H W & F B Tompkins) are representative of the small-scale wave of development in central Melbourne during the later interwar period that replaced the low scale masonry buildings dating from the late nineteenth and early twentieth centuries. (Criterion A and D)

The buildings at 151-163 Bourke Street are significant as small-scale examples of Chicagoesque and Moderne style buildings, two popular styles in the later interwar period. Both buildings demonstrate the key characteristics of their respective styles. 157-163 Bourke Street utilised the conservative aesthetic of the Chicagoesque style, which stands in contrast to the streamlined confidence of the Moderne style at 151-155, although the latter is a relatively restrained derivative of the style. The façades demonstrate the symmetry, strong vertical emphasis with projecting mullions and recessed spandrels that were common to both styles, while also exhibiting considerable sophistication in their attention to detail and use of materials including glazed terracotta faience cladding (151-155) and large panels of multi-pane steel framed windows. 157-163 is a modestly scaled and restrained but substantially intact example of the Chicagoesque style. It is notable as a work of the eminent firm of Melbourne architects H W & F B Tompkins, who were primarily recognised at the time for their Art Deco designs. This wave of building also utilised the engineering benefits of steel and concrete frame structures to maximise window areas and to provide flexibility for external articulation and decoration. (Criterion D)

The pair of buildings demonstrate how stylistic tastes evolved within a relatively short time frame of ten years. Between 1929 and 1938, the popularity of the conservative Chicagoesque style for new development had waned, and the non-classical Modern style had become the style of choice. (Criterion E)

The buildings are also significant for their long association with the retail businesses Malcolm Reid & Co Pty Ltd and Paynes Bon Marche Pty Ltd, which operated department stores at the site for almost 50 years and 25 years respectively. By late 1929, a new four-storey store and office building opened at 157-163 Bourke Street, built to a design by architects H W & F B Tompkins for Payne's Bon Marche drapery. Payne's drapery occupied the site for some 25 years, from 1929 to 1953. In 1936, the Adelaide furnishing company, Malcolm Reid & Co Ltd leased the building at 151-155 (built originally as the three-storey Empire Picture Theatre in 1915-16). Malcolm Reid had the building completely remodelled in 1938 to a design by architects Oakley & Parkes for use as the company's Melbourne showroom and retail store. In 1953 Malcolm Reid also occupied 157-163, and the buildings were linked. By 1960, the Malcolm Reid store occupied three interconnected buildings at 151-155 Bourke Street, 157-163 Bourke Street, and 13 Coromandel Place. The company operated from the site for almost 50 years, until c1984. (Criterion H)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Former Patersons Pty Ltd
STREET ADDRESS	152-158 Bourke Street Melbourne
PROPERTY ID	101212



SURVEY DATE: May 2017

SURVEY BY: Context Pty Ltd

HERITAGE INVENTORY	H7822-1516
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EXISTING HERITAGE OVERLAY	No
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PLACE TYPE	Individual Heritage Place
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PROPOSED CATEGORY	Significant
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DESIGNER / ARCHITECT / ARTIST:	Arthur W Purnell
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BUILDER:	Not known
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DEVELOPMENT PERIOD:	Interwar Period (c1919- c1940)
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DATE OF CREATION / MAJOR CONSTRUCTION:	1934
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THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Stage 2 Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a commercial city	5.5 Building a manufacturing capacity
	5.4 Developing a retail centre
	OTHER SUB-THEMES
3 Shaping the urban landscape	3.2 Expressing an architectural style

LAND USE

HISTORIC LAND USE	
Archaeological block no: 23	Inventory no: 516
Character of Occupation: Commercial	
Block between Coverlid Place and Brien Lane owned by William Martin & J J Thomson since 1850s. Bought by Abbondio Campi in 1882. Campi's first store built 1884-5. Campi's second store built 1889.	
1866 Cox	
1880 Panorama	
1888 Mahlstedt	
1905/6 Mahlstedt	
THEMATIC MAPPING AND LAND USE	
1890s	Retail
1920s	Retail or warehouse – furniture
1960s	Commercial and retail

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

The (former) Patersons Pty Ltd Building (1934) was built for the Paterson family as a furniture retailing outlet. The building was designed by architect Arthur W Purnell and is a fine example of a moderne façade from the Inter-war period.

HISTORICAL CONTEXT

Building a commercial city

Building a manufacturing capacity

As Melbourne developed through the nineteenth century, so did its manufacturing industry. Flinders Lane became an important area for clothing manufacturers, while Chinese cabinet makers were concentrated at the east end of town. Food-processing plants were established in North and West Melbourne. Factories tended to be small and specialised. Large factories, built in the later nineteenth century and early twentieth century tended to be built outside the City of Melbourne, where land was more easily obtainable (Context 2012:44).

From the 1930s, like the rest of Australia, an increasing proportion of the city's workforce took up jobs in manufacturing, an industry that led Australia's recovery from the economic depression of the late 1920s-early 1930s, when, the *Encyclopedia of Melbourne* notes, a

steep rise in tariffs, devaluation of the Australian pound, falling wages and electricity costs all made local producers far more competitive internationally. Textiles benefited first, then the metals industries and engineering took over as pacemakers (Dingle 2008).

Developing a retail centre

Department stores offered customers a wide range of goods, organised into 'departments', under the one roof. In Melbourne, department store Buckley and Nunn, which opened in 1854, established Bourke Street's reputation as the preferred retail strip. Russian immigrant Sidney Myer bought a block in Bourke Street in 1911, where he established his successful Myer emporium (Context 2012:43).

Chain department stores grew rapidly after 1920. With increasing car ownership and widespread distribution of shopping catalogues, by the 1920s department stores attracted shoppers from both the suburbs and rural areas.

Department stores elevated 'fashion, drapery and furnishings to a level of luxury and range which differentiated it from the everyday or rural emporium'. According to the 1948 retail census, in Victoria the 130 shops defined as department stores accounted for 10.3 per cent of retail sales. In money terms the stores sold 30.3 per cent of drapery, clothing and soft furnishings; 18.1 per cent of hardware, ironmongery and crockery; and 15.4 per cent of furniture and floor coverings (Young and Spearritt 2008).

Shaping the urban landscape

Expressing an architectural style

The interwar period brought with it a surge in tall building construction in the central city, made possible by the use of structural steel and reinforced concrete framing. In response, a height limit was imposed by the City Council in 1916, dictated by the limitations on fire-fighting at that time. A maximum height of 40 metres was dictated for steel and concrete buildings, a limit that was not broken until the 1950s. Commercial buildings in the 1920s were mainly of the Commercial Palazzo style, as exemplified by Harry Norris's Nicholas Building in Swanston Street (1925). The style was an early attempt at creating a style suitable for the tall building. It was divided into a base, shaft and cornice, much like a Renaissance palazzo. The scale, however, was greatly enlarged, with the shaft

stretching up to 10 storeys. By the 1930s, the soaring height of the new office towers was embraced and the vertical thrust emphasised in the commercial gothic style and the jazz moderne. Landmark examples include, respectively, Marcus Barlow's Manchester Unity Building (1929-32) and the Tompkins Bros' Myer Emporium in Bourke Street (1933) (Context 2012:19-20).

SITE HISTORY

The buildings at 152-158 Bourke Street comprise six interconnected brick buildings between Bourke Street and Little Bourke Street, varying from two to five storeys. The former Patersons Pty Ltd building faces Bourke Street. Several former warehouses stand at Coverlid Place, including two that were built by William Radden in 1885 (at the northern end) and in 1889 (at the southern end). A two-storey building constructed in the mid-Victorian era faces Little Bourke Street (CoM Maps 2017). This citation assesses the former Patersons Pty Ltd building only.

The land on which the subject building stands at 152-158 Bourke Street has been occupied by a number of commercial enterprises since 1866. It is now occupied by the former Patersons Pty Ltd building. The block between Coverlid Place and Brien Lane was owned by William Martin and J J Thomson from the 1850s. It was bought by Abbondio Campi in 1882. Campi's first store was built in 1884-85, and his second store in 1889 (Fels, Lavelle & Mider 1993, Inventory no 516).

Patersons Pty Ltd was first established in 1884 as a small Richmond furniture business, later the Richmond Furniture Company, by Simeon Nathan, and his brother, George Nathan. Another branch was opened in Footscray in 1889. Simeon became mayor of Richmond in 1896 (*Daily Telegraph* 1 August 1925:13; University of Melbourne 2012; *Age* 29 August 1936:6).

In 1896, new premises were built for the business at 152-154 Bourke Street, Melbourne, and named Patersons Furniture Warehouse (Figure 1, Figure 2). Designed by architects Fisher and Yourelle, it was constructed by master builders Clements Langford Pty Ltd (University of Melbourne 2012). Patersons Furniture opened another large store in Fitzroy in 1911.



Figure 1. Patersons Furniture Warehouse, 152-154 Bourke Street constructed 1896. (Source: University of Melbourne 2012)

Patersons Furniture Company was incorporated in 1923 and grew into one of Melbourne's largest furniture firms (University of Melbourne 2012).

Simeon Nathan, the founder of Patersons Pty Ltd with his brother George, died from heart failure on 30 July 1925 aged 64 years; he was chairman of directors of both Patersons Pty Ltd and the Richmond Furniture Company, and president of the Victorian Bowling Association at the time of his death. His son, Harold Benjamin Nathan, born in Richmond in 1887, became chairman-director of Patersons Pty Ltd (*Riverine Herald* 21 July 1938:3; *Daily Telegraph* 1 August 1925:13).

A large fire in 1929 that started at Payne's Bon Marche in Bourke Street caused significant damage to the three upper floors of Patersons Furniture Warehouse (*Sydney Morning Herald* 22 July 1929:11).

A new building for Patersons Pty Ltd was constructed in 1934. The building was designed in the moderne style by architect Arthur W Purnell, who, in that year, also invited tenders for extensions and alterations at the rear of premises at 152-158 Bourke Street (*Age* 31 January 1934:4). Purnell's sketch of the new Patersons building (Figure 2).

In March 1934, the *Age* reported that:

An interesting example of present-day tendencies to introduce colour into the facades of shopping premises - tints now produced scientifically to accord with local climatic conditions - will be found...in the new stores being erected in Bourke-street for Paterson's Pty. Ltd. The whole front of the building will be faced with [terra cotta] tiles of a mottle-green tone, these being selected because of the southern aspect. It is of interest to note that, after repeated experiments, a bright color is preferable in the city when buildings face to the south. As will be seen from a sketch of the architect, Mr. A. W. Purnell, of Collins-street, the vertical piers, which are to project about eight inches, will be accentuated, and the central portion treated as the main focal point to the eye of an observer. The balconette and canopy above the middle of the facade were included in the design to strike a true balance between the various structural elements. Other harmonious notes will be the ornamental panels and shallow bas-relief between the piers at the first-floor level. The spaces here will be dressed with cement renderings of a dark ivory shade to match the subdued appearance imparted by the green tiles.

An additional floor area of 8200 square feet will be available when the new premises are completed, or a total area for the block of 24,500 square feet. Internally, the ceilings will be lined with fibrous plaster, with the beams and cornices of modern and distinctive design. The columns will be cased up to the height of seven feet in figured Australian hardwood panels, and a staircase of selected blackwood incorporated. The manager's office on the first floor will receive special treatment, acid glass and chromium being specified for lighting and other fittings. It is proposed to install powerful lights at the top of the columns, by which arrangement customers entering from the head of the staircase at the front of the building will be enabled to see a wide range of goods. The street windows will be formed of sand-blasted glass in an amber shade to give a soft and diffused light. As an integral part of the elevation an electric name sign will be introduced vertically and mid-way in the façade.

*The foundations will be completed shortly by the master builder, Mr. M. L. Massey, and the stores will be occupied by the firm in about four months (*Age* 27 March 1934:5).*

The new premises housed a variety of furniture for the home (Figure 3).

In 1938, Patersons took over Pears' Furniture stores, including six 'modern shops' at Horsham, Ballarat, Colac, Warragul, St Arnaud and Chapel Street, Prahran (*Horsham Times* 1 July 1938:1).

Director and chairman of Patersons Pty Ltd, Harold Nathan, died at Toorak in 1938, just weeks after the merger with Pears' Furniture (*Riverine Herald* 21 July 1938:3).

Under the leadership of managing director, Maurice Nathan, Patersons Pty Ltd underwent significant expansion after World War Two, stocking a range of items for the home. In 1948, the company managed sixteen branches in Victoria and in that year took over Andrade's furnishings in Mount Gambier, South Australia (*Border Watch* 16 October 1948:12). Formed as a public company, Patersons (Australia) Ltd, in 1949, in 1950 the company issued 600,000 shares to provide for further business expansion (*Sun* 12 December 1950:3). In this year it operated 22 branches.

In 1955, Patersons Pty Ltd purchased properties with frontages to Bourke Street and Little Bourke Street from G J Coles, who had bought the properties in 1954 to build a new store, for approximately £250,000. Patersons planned to demolish Ushers Hotel at 202-204 Bourke Street and the adjoining Maples store building to make way for the 'largest furniture emporium in Australia'. The building design by Bogle and Banfield was to follow the 'latest American store planning trends' and house the headquarters of the company, by which time had 33 branch stores. The existing Paterson store at 152-158 Bourke Street was to remain (*Argus* 12 August 1955:3). The planned emporium was never constructed.

Today the former Paterson Pty Ltd building at 152-158 Bourke Street houses businesses and a number of retail outlets.

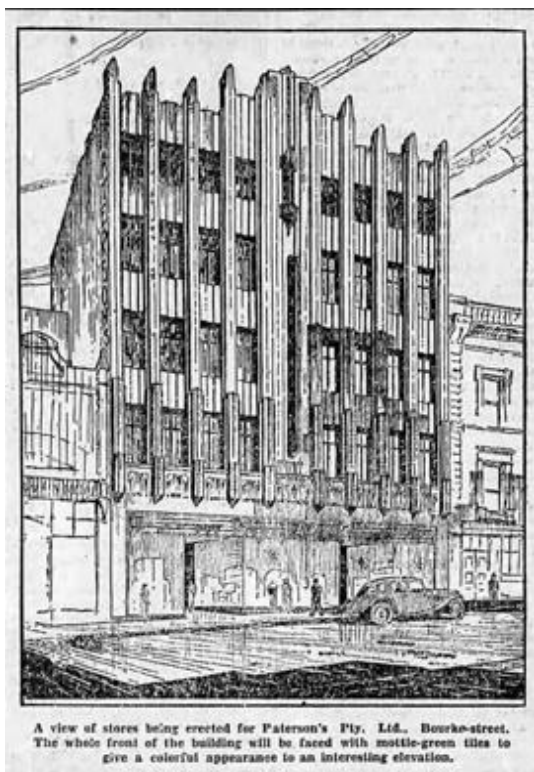


Figure 2. Purnell's sketch of the new Patersons building at 152-154 Bourke Street, 1934. (Source: Age 27 March 1934:5)



Figure 3. Advertisement for Patersons, 1935. (Source: Argus 6 April 1935:20)



Figure 4. Patersons Furniture Warehouse in 1920 shown in a section of Melbourne 1920, showing Bourke Street, 1920, by Row. (Source: SLV)

Arthur W Purnell, architect

Arthur W Purnell designed the 1934 Patersons building. The University of Melbourne Archives is the custodian of Arthur W Purnell's architectural drawings, and provides the following information about Purnell's practice:

Arthur W. Purnell (1878-1964) was a Geelong-born architect who built a thriving practice in Melbourne. Arthur Purnell had a long and successful career, maintaining a busy architectural practice in Melbourne - both on his own and in partnership with others - until he retired in the late 1950s. Over this time he designed hundreds of buildings, ranging from garages to grandstands.

His eclectic repertoire included Chinoiserie, Italianate, Modern, Neo-Classical, Queen Anne, Spanish Mission and even what would be described today as Post-Modern. Always eager to move with the times, he designed ornate Queen Anne-style houses in his thirties and plain ranch-style houses in his seventies. He also designed many factories, offices, shops and warehouses. A large number of these still exist, including the Melbourne landmark Michael's Corner (1915) on Elizabeth Street, Melbourne.

Purnell's commissions frequently reflected his own interests. As a lover of sport, for example, he designed a...variety of sporting facilities, including the Clifton Springs Golf Club (1926), the grandstand at Western Oval (1929), a greyhound-racing track at Tottenham (1927), the Olympia Sea Water Swimming Pool at South Melbourne (1937) and the Rosebud Yacht Club (1939). Indeed, he is perhaps best remembered for his last major commission, the Olympic Stand at the Melbourne Cricket Ground (1953-1955).

Regrettably, many of his best buildings have been demolished, such as the Wattle Path Palais De Danse and Café (1922), perhaps better known as St Moritz Ice Skating Rink.

Between 1900 and 1910 Purnell lived and worked in China. At least a dozen of Purnell's buildings still exist in China and recently Purnell has been 'rediscovered' by the Chinese and acclaimed as a major architect there.

Purnell initially set up on his own in the Nicholson Chambers at 101 Swanston Street. The practice gradually grew, so he moved to larger premises in Phair's Buildings at 327 Collins Street. In 1915 he went into partnership with Isadore George Beaver, a Manchester-born architect 19 years his senior. They moved office to Altson's Buildings at 82 Elizabeth Street. In 1925 the partnership with George Beaver ended and the following year Purnell moved to the Equitable Building at 314 Collins Street. In 1928 he went into partnership with Eric Hazel Round and William Alfred Graham.

Purnell also had a long-standing and a close client-architect relationship with Alexander George ('Alec') Barlow (1880–1937), a trailblazing, somewhat shady Melbourne car dealer. Redesigned car show rooms, racing stables and a house were amongst the work completed by Purnell for Barlow (University of Melbourne Archives 2016).

SITE DESCRIPTION

Located on the northern side of Bourke Street, between Exhibition Street and Russell Street, this five-storey building is distinguished by the dynamic moderne styling to the upper façade. The façade incorporates a combination of plain concrete with glazed tiling as accent decoration.

The ten vertical fins that extend beyond the stepped parapet provide vertical emphasis to the façade. Each fin projects slightly from the main façade and is clad in distinctive green-glazed terracotta tiles. Decorative elements such as a balconette and flag pole are located high on the building and contribute to the sense of verticality.

The vertical fins divide the symmetrical façade into eight vertical bays of equal width with a double width bay at the centre. Vertical bays are intersected by horizontal bands comprised of regular window openings over concrete spandrels, at each of the four upper levels of the building. Regular rectangular window openings have steel framed casement sash windows with four (unequal) panes.

A repeated curved Art Deco motif has been inscribed across the lowest concrete spandrel at the bottom edge of the façade, just above street level. A glazed and non-original shopfront is located at street level.

INTEGRITY

The upper four floors of the façade retain a high level of integrity. At street level the shopfronts have been altered.

COMPARATIVE ANALYSIS

Structural steel and reinforced concrete framing became popular building materials in interwar Melbourne. The 1930s interwar industrial or commercial buildings in Melbourne often embraced commercial gothic style and jazz moderne, as seen in landmark examples and other office/retail buildings around the city.

The subject building compares well with the following examples, drawn chiefly from the Central City Heritage Review 2011, being of a similar use, scale, location and creation date. The below images and descriptions are provided by CoM Maps unless stated otherwise.

Selected examples of Melbourne's offices/retail building from the 1930s include:

Bourke House and Hardy Brothers Jewellery Store, 340-342 Collins Street (HO1090) & 338 Collins Street (HO1007)

Formerly known as Burke House, 340-342 Collins Street is a seven-storey concrete rendered office and retail building, designed by Schreiber & Jorgensen in the Commercial Gothic style. It was built for the noted businessman and philanthropist Thomas Burke by The Reinforced Concrete & Monier Pipe Construction Company in 1930. At the time of completion, the property was valued at £60,000. It incorporates a two-storey brick shop. This shop was designed by Marcus Barlow in the moderne style and built for Hardy Jewellers in 1933. The ground floors of both buildings were integrated into one shop in 2002. Both buildings feature particularly fine terracotta facades.



Figure 5. 340-342 Collins Street constructed 1930 (left), and 338 Collins Street, constructed 1933 (right).

Norman's Corner Store, 180-182 Bourke Street, 1932 (HO1000)

An eight-storey brick office building with basement and ground level retail. Formerly a three-storey warehouse it was purchased by Mr Norman Sharpe from the clothier Leopold Leber in 1932 for £38,000. Mr Sharpe, a successful merchant from Morwell who had established a chain of stores in Gippsland, refurbished the building and established a drapery emporium which he named Norman's Corner Store. In 1935 the building was completely rebuilt with the addition of five extra storeys. The reconstruction was designed by Marcus Barlow in the jazz moderne style. It was subdivided into 23 commercial units in 2003.



Figure 6. Norman's Corner Stores, 180-182 Bourke Street constructed 1932.

Manchester Unity Building, 220-226 Collins Street, 1932 (VHR H0411; HO590, Significant in HO502 The Block Precinct)

A twelve-storey concrete encased steel office building with retail, offices, residential units and an arcade. Crowned with a turreted gothic style tower it is clad with a glazed terracotta faience.

Designed by Marcus R Barlow in the Neo-Gothic Commercial style and built for the Manchester Unity Independent Order of Oddfellows by WE Cooper Pty Ltd in 1932, the Manchester Unity Building houses twelve stories of offices, residential units, and retail spaces. The building is clad in glazed terracotta faience and crowned with a turreted gothic style tower.



Figure 7. Manchester Unity Building, 220-226 Collins Street, constructed 1932.

Myer Emporium, 314-316 Bourke Street, 1933 (VHR H2100; HO542, Significant in HO509 Post Office Precinct)

Seven storey rendered concrete department store with basement. Designed by H W & F B Tompkins and built by Clement Langford in 1933. The Bourke Street Mall store was first opened in 1911 and continues to trade today as the flagship store of the Myer department store chain.



Figure 8. Myer Emporium, 314-316 Bourke Street constructed 1933.

The subject building compares well with the above buildings, (all of which have Heritage Overlays) particularly in terms of its architectural style and dominant land uses. With its highly intact details, it is a finer example of jazz moderne building than the Former Bourke Building (HO1090) or the Hardy Brothers Jewellery Store (HO1007).

ASSESSMENT AGAINST CRITERIA

✓	<p>CRITERION A Importance to the course or pattern of our cultural or natural history (historical significance).</p>
	<p>CRITERION B Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).</p>
	<p>CRITERION C Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).</p>
	<p>CRITERION D Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).</p>
✓	<p>CRITERION E Importance of exhibiting particular aesthetic characteristics (aesthetic significance).</p>
	<p>CRITERION F Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)</p>
	<p>CRITERION G Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).</p>
✓	<p>CRITERION H Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).</p>

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

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PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985** C

**Central City Heritage
Study 1993** C

**Review of Heritage
overlay listings in the
CBD 2002** C

**Central City Heritage
Review 2011** Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Former Patersons Pty Ltd



PS ref no: Interim HO1266



What is significant?

The former Patersons Pty Ltd Building at 152-158 Bourke Street, built in 1934 to a design by architect Arthur W Purnell.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing;
- The building's high level of integrity to its original design;
- The pattern and size of fenestrations to its Bourke Street façade at above ground level;
- The stepped parapet, concrete spandrels and steel framed casement sash windows; and
- Green-glazed tiling, vertical fins, balconette and flagpole.

Later alterations made to the street level façade are not significant.

How it is significant?

The former Patersons Pty Ltd Building at 152-158 Bourke Street is of local historic, aesthetic and associative significance to the City of Melbourne.

Why it is significant?

The building, 152-158 Bourke Street, built in 1934 for Paterson Pty Ltd as a furniture store and warehouse to a design by architect Arthur W Purnell, is historically significant for its association with manufacturing and retailing in the City of Melbourne. From 1938, and particularly after World War Two, Patersons expanded into suburban Melbourne, regional Victoria and interstate; by 1950 it operated 22 branches throughout Australia. Patersons Pty Ltd was listed as a public company in 1949 and was an important part of the Bourke Street retail strip until 1987. (Criterion A)

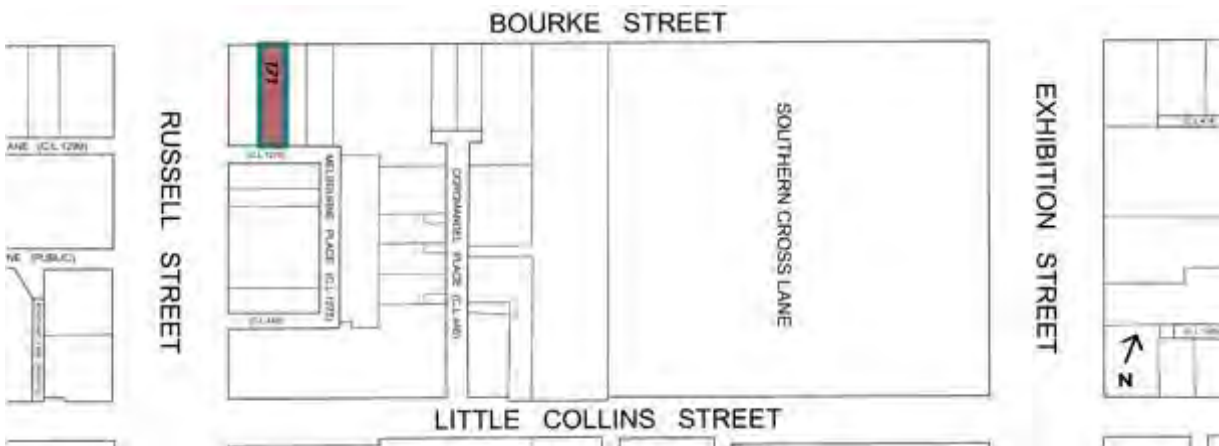
The former Patersons Pty Ltd Building at 152-158 Bourke Street is of local aesthetic significance for its upper façade which is a fine example of the moderne style that was popular in the interwar period. The particular characteristics include an emphatic vertical expression derived from the ten vertical fins that run the full height of the façade and extend beyond the stepped parapet. Projecting slightly from the main façade each fin is clad in distinctive green glazed terra cotta tiles. Decorative elements such as the balconette and flag pole contribute to the sense of verticality contrasted by horizontal bands of windows and concrete spandrels. A repeated curved Art Deco motif is inscribed across the lowest concrete spandrel at the bottom edge of the façade. (Criterion E)

The former Patersons Pty Ltd building at 152-158 Bourke Street is significant for its long association with the Paterson family, who manufactured furniture in Richmond from 1884, and who sold furniture and homewares from this site from 1896 and from the current building from 1934 until 1987. The building is also significant for its association with architect Arthur W Purnell, who, both on his own and in partnership with others, designed houses, factories, offices, shops, sports centres and warehouses in Melbourne. A large number of these buildings still exist, including the Melbourne landmark Michael's Corner (1915) on Elizabeth Street, Melbourne. (Criterion H)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Shop
STREET ADDRESS	171 Bourke Street Melbourne
PROPERTY ID	101125



SURVEY DATE: October 2017		SURVEY BY: Context	
HERITAGE INVENTORY	H7822-1656	EXISTING HERITAGE OVERLAY	No
PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
DESIGNER / ARCHITECT / ARTIST:	Not known	FORMER GRADE	C
		BUILDER:	N W Dike
DEVELOPMENT PERIOD:	Victorian Period (1851-1901)	DATE OF CREATION / MAJOR CONSTRUCTION:	1867

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Stage 2 Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a Commercial City	5.4 Building a retail centre

LAND USE

HISTORIC LAND USE	
Archaeological block no: 39	Inventory no: 656
Character of Occupation: Commercial, residential	
Land sold at fourth sale, 1839.	
1839 Williamson	
1840 Hoddle	
1850 Proeschel	Building on site?
1855 Kearney	
1866 Cox	
1880 Panorama	
1888 Mahlstedt	
1905/6 Mahlstedt	
THEMATIC MAPPING AND LAND USE	
1890s	Retail, Residential
1920s	Retail, Residential, Medical
1960s	Retail, Residential, Medical

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

An early two-storey shop and dwelling dating from 1867. Simple detailing to the upper façade is typical of mid-Victorian era. Distinctive brass framed highlight leadlight windows (c1910) are intact to the street façade. The building operated as a pharmacy for more than 100 years. Motifs in the leadlight reflect this use.

HISTORICAL CONTEXT

Building a Commercial City

Developing a retail centre

Even before the early 1850s, Melbourne had established the foundational infrastructure for international trade and commerce, including retail markets, shipping agents, and industry and finance houses - the beginnings of an entrepreneurial global city (Context 2012:2).

Retailing in Melbourne gained official recognition when eight market commissioners were elected in 1841 from a roll of local voters. The commissioners established the Western Market, which became the principal place for selling fresh food, with many goods transported from Melbourne to pastoral settlements. At this time Melbourne's population was 4479, and the Australia's was 20,416 (Young and Spearritt 2008). The growth of retailing was accompanied by the construction of warehouses to store goods.

By the early 1840s, Elizabeth and Swanston streets, from the Town Hall in the east to the General Post Office in the west, had become the focus of retail activity, influenced also by the location of the Western Market in the west of the city. The Eastern Market opened in 1847 as a fruit and vegetable market on the corner of Stephen Street (later Exhibition Street) and Bourke Street and drew retail further east. The department store Buckley and Nunn opened in 1854, establishing Bourke Street as the preferred retail strip.

Retail premises in the nineteenth century and the early twentieth century generally included upper-level accommodation for families involved in the business. Multi-storey shop and dwelling type buildings housing ground-level shop with rooms above were constructed throughout the retail strips of Melbourne, and three- or more storied commercial and retail buildings began to proliferate between Bourke and Lonsdale streets from the late 1880s (Lovell Chen 2017:220).

SITE HISTORY

The land at 171 Bourke Street was part of Allotment 18, Block 10, purchased by Anthony Hordern Senior at the fourth Crown land sale in 1839. Block 10 is bounded by Bourke, Russell and Little Collins streets, and the west boundary of Allotment 17 (CoMMaps).

Prior to the current two-storey brick shop and dwelling, a single-storey shop housing gaslights and lamps, named Davis and Co, was located on the site (S&Mc 1959; Samuel Calvert 1863, 'Stanford & Co's Warehouse'). By early 1867, the current building was commissioned by the owner, William Hordern, Anthony Hordern's son, and built by N W Dike (MCC registration no 1817, as cited in AAI record no 73704). It was erected by November 1867 (Figure 1) (Harrison 1867, 'Illumination at Messers Stanford & Co').

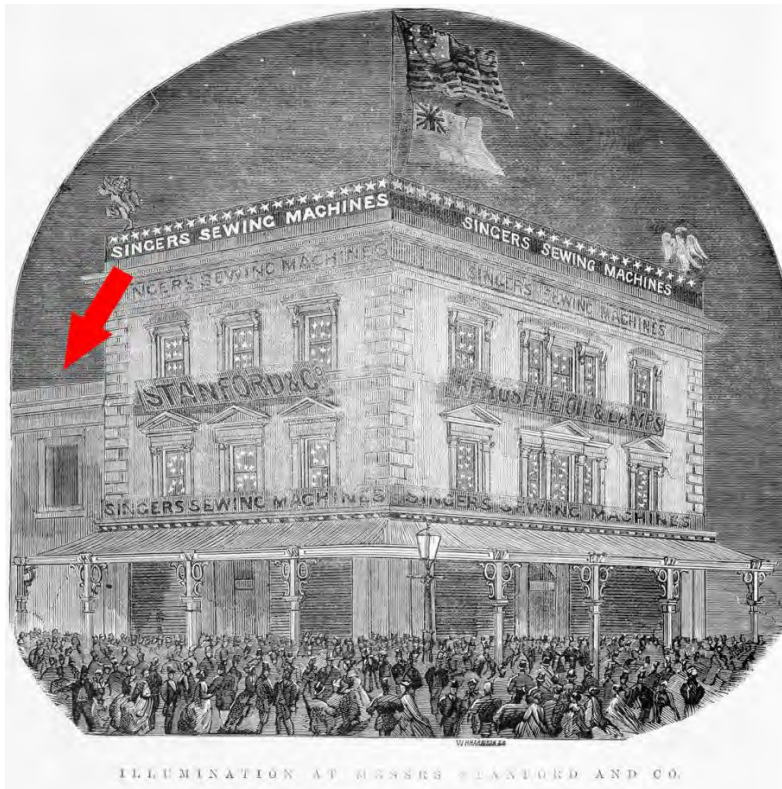


Figure 1. The current two-story building at 171 Bourke Street (shown by the red arrow) was completed by November 1867, as shown in the above engraving of the adjoining Stanford & Co building at 173-175 Bourke Street (Source: Harrison 1867, SLV).

Although it was subdivided into a number of parcels, much of the land in allotments 18 and 19 continued to be owned by the Horderns until Anthony Hordern Senior's death in 1869. In September 1872, the land at 171 Bourke Street was advertised for sale in the *Age*, together with other freehold lands in possession of the late Anthony Hordern (*Age* 16 September 1872:4).

The Hordern family is an Australian retailing dynasty who first came to prominence in Sydney (as merchants and retailers) with the establishment of Anthony Hordern & Sons, and then gained notability in rural pursuits, stockbreeding, stockbroking, fashion, cricket and parliament. Anthony Hordern Senior (1788-1869) and his wife, Ann Woodhead (c1791-1871) migrated to Sydney in 1823 with their four children. They moved to Melbourne in 1839, with their eldest son Anthony Junior and his brother, Lebbeus, returning to Sydney shortly after and setting up the drapery business, L and A Hordern in 1844. Hordern Senior eventually established the firm Anthony Hordern & Sons with his second son, Samuel, which became the largest department store in Sydney. With 52 acres (21 hectares) of retail space, Anthony Hordern's Sydney store was once the largest department store in the world (Teale 1972).

The building at 171 Bourke Street was occupied by its first tenant E Guthiel, a pharmacist, in 1868 (S&Mc 1868). The 1872 advertisement for the subject site read: 'Lot 2. Bourke Street...a two-story brick-built shop, occupied by Mr. Guthiel as first-class druggist's shop. Rent, 306 pounds...Frontage about 22 ft. 9 in. to Bourke Street, running back 89 ft 7 in' (*Age* 16 September 1872:4). According to the same advertisement, E Guthiel rented a nearby iron storage off Russell Street, also owned by A Hordern, for storing his stock (*Age* 16 September 1872:4).

From its opening, the shop was occupied by chemists for over 100 years. The first occupier, E Guthiel, remained at 171 Bourke Street from 1867 to the mid-1870s; later occupiers included: Henry Gamble (mid-1870s-1883); James Lacey (1884-1910s); Bartholomew Farrer (1920s); and H Sutcliffe (1930s-1979) (S&Mc 1875-1942; *Age* 24 April 1979:42). The subject building in 1901 and 1969 is shown in Figures 2 and 3.



Figure 2. A section of the Citizens' Arch (1901) showing 171 Bourke Street decorated with a temporary festive pediment. The signage above the first-floor windows reads 'Lacey Chemist'. (Source: Jenkins 1901, SLV)



Figure 3. A 1969 photograph showing 171 Bourke Street with vertical signage. (Source: Halla 1969, SLV)

In 1979, with the closure of Sutcliffe's pharmacy, the original pharmacy shop fittings, which dated from 1868, were removed from the premises. An auction sale notice in the *Age* noted that the items for sale included 'rare Victorian cedar shelving and display cases and cabinets, Coat of Arms, rare cash register, stained glass windows, marble scale and weights and autoclave' (*Age* 24 April 1979:42). Only the brass-framed stained-glass windows from c1910 (leadlights above the shopfronts) remain today as a reminder of the former pharmacies that occupied the building (Butler 1984).

In the early 1980s, the building was converted to a bank, housing the Statewide Building Society (which became the Bank of Melbourne in 1989) (*Age* 8 September 1982:28 & *Age* 3 June 189:4). Today, the building contains a restaurant.

SITE DESCRIPTION

The two-storey brick shop at 171 Bourke Street occupies a small site with a shop and residence that is simple in form and detailing, reflecting a pre-1870s construction date. The relatively small scale of the building is typical of the mid-Victorian period prior to the late Victorian boom style. The remainder of the block in which it is located has varying scales of buildings up to six storeys, with no 171 as the smallest in the row. It has a simple classical facade with a pair of windows set between pilasters. This

feature articulates the front façade. A parapet is decorated with a simple cornice and conceals a hipped roof form. The upper façade is rendered with the windows set within slightly recessed panels. They have simple moulded architraves with double hung timber sash windows that are sympathetic, but non-original. Early images show the windows were originally four-pane. They have now been replaced with double hung sash windows. A photograph of the Citizens Arch dated 1901 (Figure 2) shows the building with a verandah over the street. This has since been removed. The early shop front is altered, however distinctive high, brass framed, leadlight windows with pharmacy motifs (c1910) survive and demonstrate the building's long-term use as a pharmacy.

INTEGRITY

The upper façade of the building remains intact apart from alterations to the window frames. Significant alterations to the shop front windows have occurred at street level, however brass framed highlight leadlight windows (c1910) remain intact.

COMPARATIVE ANALYSIS

These small, early two storey shop buildings are becoming increasingly rare in the city. Erected to serve as daily retail points, the small number of surviving shops can be found in both main streets and smaller laneways. Whilst the use of upper storey residences decreased over time, the ground floors of these examples continue to operate as commercial outlets.

The subject building compares well with the following examples, drawn chiefly from the Central City Heritage Review 2011, being of a similar use, scale, location and creation date. The below images and descriptions are provided by CoMMaps unless stated otherwise.

Clarke's Shop & Dwellings, 203-205 Queen Street, 1869 (HO1070)

A two-storey rendered brick retail building with a basement, two ground level shops and an upper level office. Designed in the Italian Renaissance style by George Browne of the firm Browne & Howitz and built for the grazier William John Turner Clarke by Charles Brown in 1869.



Figure 4. Clarke's Shops & Dwellings, 203-205 Queen Street, constructed 1869-70 (Source: Butler 2011).

Bourke Street East Post Office, 35-37 Bourke Street, 1872 (HO527, Significant in HO500 Bourke Hill Precinct)

A two-storey rendered brick shop, built in 1872.



Figure 5. 35-37 Bourke Street built in 1872.

470-472 Little Lonsdale Street, 1872 (Recommended as significant in the Hoddle Grid Heritage Review)

470-472 Little Lonsdale Street is a pair of early shops built in 1872 that has simple detailing, typical of the mid-Victorian period. The upper level is mostly intact .



Figure 6. 470-472 Little Lonsdale Street constructed 1872. (Source Context 2017)

113-117 Little Bourke Street, 1882 (HO690 113-125 Little Bourke Street, Significant in HO507 Little Bourke Street Precinct)

A two-storey brick shop and residence built in 1882.



Figure 7. 113-117 Little Bourke Street, constructed 1882. (Source: Google Maps).

The subject building compares favourably to the examples above. It has a similarly early build date (1867–1872) to all the examples except 113-117 Little Bourke Street, which was built in 1882. It is one of an increasingly rare group of small mid-Victorian shop buildings remaining in the city, and, as a single shop, rarer than examples of pairs or rows of small shops.

Like all the examples listed above, the subject site retains a simple classical styling at the upper level, with an altered shop front at ground level. 171 Bourke Street is unusual in retaining some part of a decorative early shopfront.

ASSESSMENT AGAINST CRITERIA

✓ **CRITERION A**
Importance to the course or pattern of our cultural or natural history (historical significance).

✓ **CRITERION B**
Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).

CRITERION C
Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).

✓ **CRITERION D**
Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).

CRITERION E
Importance of exhibiting particular aesthetic characteristics (aesthetic significance).

CRITERION F
Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)

CRITERION G
Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).

CRITERION H
Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

REFERENCES

Age, as cited.

Butler, Graeme 1984, 'Central Activities District Conservation Plan', prepared for Melbourne City Council.

Calvert, Samuel 1863, 'Messrs Stanford & Co's Warehouse, corner of Bourke and Russell Streets, Melbourne', State Library of Victoria (SLV): Illustrated newspaper file. Illustrated Melbourne post, accessed online 22 March 2018.

City of Melbourne Interactive Maps (CoMMaps) 2017, <http://maps.melbourne.vic.gov.au/>, accessed March 2018.

Context Pty Ltd 2012, *Thematic History: A History of the City of Melbourne's Urban Environment*, prepared for the City of Melbourne.

Halla, K J 1969, 'Intersection of Bourke and Russell Streets, Melbourne', State Library of Victoria (SLV): Halla collection of negatives. Views of East Melbourne, Fitzroy, Melbourne & North Melbourne, accessed online 14 March 2018.

Harrison, W H 1867, 'Illumination at Messrs Stanford & Co', State Library of Victoria (SLV): Illustrated newspaper file. Illustrated Australian news for home readers, accessed online 22 March 2018.

Lovell Chen 2017, 'Melbourne Planning Scheme Amendments C271 and C301 – Guildford and Hardware Laneways Heritage', prepared for the City of Melbourne.

Sands & McDougall, *Melbourne and Suburban Directories (S&Mc)*, as cited.

Young and Spearritt 2008, 'Department Stores' in *eMelbourne*, School of Historical and Philosophical Studies, The University of Melbourne, <http://www.emelbourne.net.au/>, accessed 16 June 2017.

PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985** D

**Central City Heritage
Study 1993** C

**Review of Heritage
overlay listings in the
CBD 2002** Ungraded

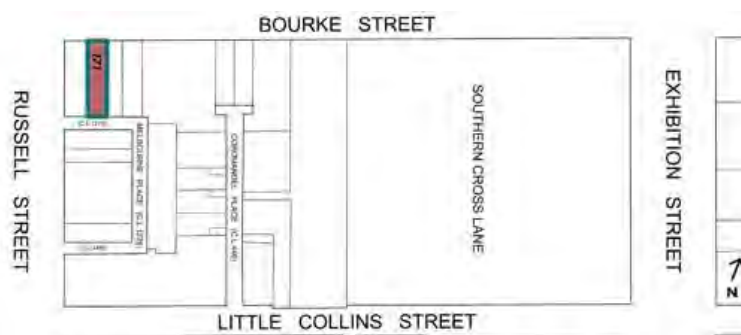
**Central City Heritage
Review 2011** Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Shop



PS ref no: Interim HO1237



What is significant?

The two-storey shop/residence at 171 Bourke Street, completed in 1867 and used as a pharmacy for over 100 years.

Elements that contribute to the significance of the place include (but are not limited to):

- the building's original external form, materials and detailing;
- the building's high level of integrity to its original design;
- pattern and size of original fenestration;
- simple rendered façade with a pair of upper-level windows set within slightly recessed panels between pilasters;
- parapet decorated with a simple cornice and hipped roof form behind the parapet; and
- brass-framed leadlight windows above the ground-level shopfronts with pharmacy motifs dating from c1910.

More recent alterations to the ground-level shopfronts except for the brass-framed highlight leadlight are not significant.

How it is significant?

171 Bourke Street is of local historic, rarity and representative significance to the City of Melbourne.

Why it is significant?

171 Bourke Street is historically significant as a mid-Victorian building that represents a phase of expansion in the retail development of Melbourne in the 1860s. Housing a pharmacy for over 100 years, it is typical of retail buildings of the Victorian era that housed retail outlets at ground level with

residences and workspaces for business-owners on the floor above. The building is also significant for its association with the Hordern family, an Australian retailing dynasty who first came to prominence in Sydney as merchants and retailers. (Criterion A)

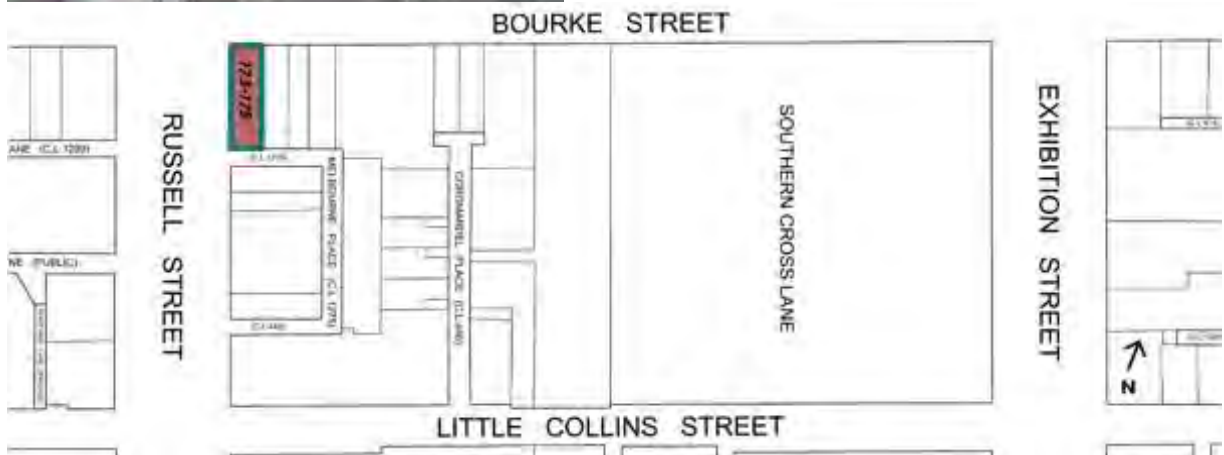
171 Bourke Street is a relatively rare remaining example of a small-scaled shop and residence, a building typology from the mid-Victorian period. Erected to serve as daily retail points, a small number of surviving shops can be found in both the main streets and smaller laneways. While the use of upper storey residences decreased over time, the ground floors of these buildings continue to operate as commercial outlets. 171 Bourke Street is significant for its rare brass framed, leadlight windows with pharmacy motifs dating from 1910. (Criterion B)

The building design of 171 Bourke Street is a representative example of the mid-Victorian period of commercial buildings. Its attributes of two storey scale, small building footprint and classical styling are typical of the mid-Victorian period. (Criterion D)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Shops
STREET ADDRESS	173-175 Bourke Street Melbourne
PROPERTY ID	101126



SURVEY DATE: October 2017		SURVEY BY: Context	
HERITAGE INVENTORY	H7822-1657	EXISTING HERITAGE OVERLAY	No
PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
		FORMER GRADE	C
DESIGNER / ARCHITECT / ARTIST:	Albert Purchas (1857), Godfrey & Spowers (addition)	BUILDER:	N W Dike
DEVELOPMENT PERIOD:	Victorian Period (1851-1901)	DATE OF CREATION / MAJOR CONSTRUCTION:	1857, 1920

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Stage 2 Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a Commercial City	5.4 Developing a retail centre

LAND USE

HISTORIC LAND USE	
Archaeological block no: 39	Inventory no: 657
Character of Occupation: Commercial, Residential	
Land sale details not provided.	
1839 Williamson	
1840 Hoddle	
1850 Proeschel	
1855 Kearney	
1866 Cox	
1880 Panorama	
1888 Mahlstedt	Three and two-storey buildings, Singer Sewing Machines.
1905/6 Mahlstedt	Three and two-storey buildings, R White, Bootshop; W G Higginbotham, Hairdresser & Tobacconist
THEMATIC MAPPING AND LAND USE	
1890s	Retail
1920s	Retail
1960s	Retail

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

A complex of buildings comprising a three-storey Victorian building on the corner of Bourke and Russell Streets, and a three-storey Victorian building and a pair of two-storey interwar shops facing Russell Street.

HISTORICAL CONTEXT

Building a commercial city

Developing a retail centre

Even before the early 1850s, Melbourne had established the foundational infrastructure for international trade and commerce, including retail markets, shipping agents, and industry and finance houses - the beginnings of an entrepreneurial global city (Context 2012:2).

Retailing in Melbourne gained official recognition when eight market commissioners were elected in 1841 from a roll of local voters. The commissioners established the Western Market, which became the principal place for selling fresh food, with many goods transported from Melbourne to pastoral settlements. At this time Melbourne's population was 4479, and Australia's was 20,416 (Young and Spearritt 2008). The growth of retailing was accompanied by the construction of warehouses to store goods.

By the early 1840s, Elizabeth and Swanston streets, from the Town Hall in the east to the General Post Office in the west, had become the focus of retail activity, influenced also by the location of the Western Market in the west of the city. The Eastern Market opened in 1847 as a fruit and vegetable market on the corner of Stephen Street (later Exhibition Street) and Bourke Street and drew retail further east. The department store Buckley and Nunn opened in 1854, establishing Bourke Street as the preferred retail strip.

With the economic boom of the 1880s, the 1880s to the 1890s was a decade of significant expansion in Melbourne. Investment funds poured in from Britain, imposing buildings were constructed, and speculation reached fever pitch in land, houses, offices and shops (Marsden 2000:28). As Graeme Davison states, commercial Melbourne extravagantly asserted 'her wealth in stucco and stone' (cited in Marsden 2000:28). Multi-storey shop and dwelling type buildings housing ground-level shop with rooms above were constructed across the retail strips of Melbourne, and three- or more storied commercial and retail buildings began to proliferate between Bourke and Lonsdale streets from the late 1880s (Lovell Chen 2017:220).

Development slowed during the economic depression of the 1890s, only recovering with the revival of immigration in the first decades of the twentieth century. Although affected by World War One in the period 1914-1918, by the end of the 1920s Melbourne's population had reached one million. In the first decades of the twentieth century, some of the last residents moved out of the city to the new suburbs, with the retail sectors rapidly taking up city properties (Marsden 2000:29-30).

Development in the city slowed with the widespread economic depression of the later 1920s and early 1930s. Because of a lack of finance over this period, instead of new construction, some city buildings were substantially remodelled to create new commercial spaces.

SITE HISTORY

The corner allotment at 173-175 Bourke Street, part of Crown Allotment 18, Block 10, was purchased by Anthony Hordern Senior at the fourth Crown land sales in 1839. The block in Section 10 was bounded by Bourke, Russell and Little Collins streets, and the west boundary of Allotment 17 (CoMMaps).

Located on the corner of Bourke and Russell streets, the subject property comprises two parts; an older three-storey corner building and a two-storey addition along Russell Street. The corner shop currently at 173-175 Bourke Street (originally 140 Bourke Street East) is also known as 144-146 Russell Street. The ground floor shops in the adjoining two-storey parts are numbered 138-140 Russell Street, and the upper storey premises are accessed from a doorway in Russell Street and are numbered 142 Russell Street (S&Mc 1942; CoMMaps).

Completed in 1857, the three-storey corner building was originally a flat-parapeted, palazzo style commercial building with a rendered finish and elaborate detailing. It was designed by the prominent English-born architect Albert Purchas who invited tenders for erecting 'a large shop in Bourke Street for A Hordern', noting the building location as 'Bourke and Russell streets' (*Australian Builders* 14 August 1856; *Argus* 13 August 1856:7, as cited in AAI record nos 39704 & 39703).

Although subdivided into a number of parcels, much of the land in Crown allotments 18 and 19 continued to be owned by the Horderns' until Anthony Hordern Senior's death in 1869.

The Hordern family is an Australian retailing dynasty who first came to prominence in Sydney (as merchants and retailers) with the establishment of Anthony Hordern & Sons, and then gained notability in rural pursuits, stockbreeding, stockbroking, fashion, cricket and parliament. Anthony Hordern Senior (1788-1869) and his wife, Ann Woodhead (c1791-1871) migrated to Sydney in 1823 with their four children. They moved to Melbourne in 1839, with their eldest son Anthony Junior and his brother, Lebbeus, returning to Sydney shortly after and setting up the drapery business, L and A Hordern in 1844. Hordern Senior eventually established the firm Anthony Hordern & Sons with his second son, Samuel, which became the largest department store in Sydney. With 52 acres (21 hectares) of retail space, Anthony Hordern's Sydney store was once the largest department store in the world (Teale 1972).

The first tenant at 173-175 Bourke Street was the London & Melbourne Mantle Company, managed by C Henry & Co, which specialised in seasonal and occasional mantles and other ladies' and children's ready-made clothing and accessories. The building was leased mainly for use as their show rooms (Figure 1) (*Age* 1 July 1857:8; 7 November 1857:8).

The next tenant was Stanford & Co, importers of Singer sewing machines, who moved into the subject property in the early 1860s. At this time, the street-level verandah was added to the building (Figure 2) (Calvert 1863, 'Stanford & Co's warehouses', SLV).

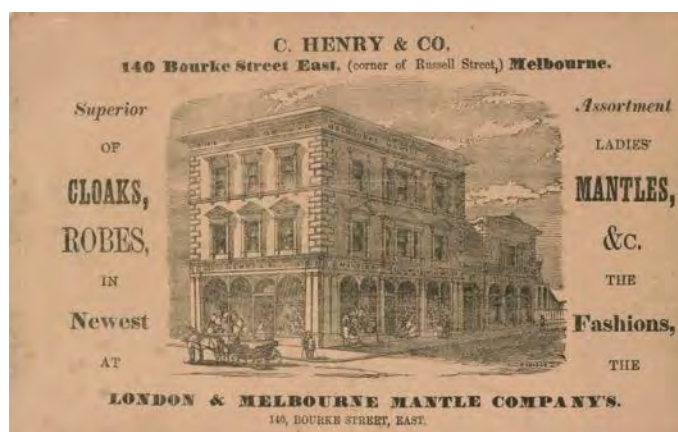


Figure 1. A flyer for the London & Melbourne Mantle Company, not dated but c1856-60, showing the building at 173-175 Bourke Street with its original design (Source: Gilks n.d.,SLV).



Figure 2. Stanford & Co trading in the building at 173-175 Bourke Street c1880. (Source: Paterson Bros c1880, SLV)

In September 1872, 173-175 Bourke Street was advertised for sale, together with other freehold sites owned by the late Anthony Hordern (*Age* 16 September 1872:4). At this time, the property was described as a:

valuable shop, three-stories high, and premises at the corner of Bourke Street and Russell Street, occupied by Mr Stanford, erected at great cost, and presenting an imposing appearance, unsurpassed by any place of business of this class in the city (Age 16 September 1872:4).

In the 1880s, Stanford & Co moved from the main ground-level shop facing Bourke Street but continued trading in the upper-storey premises through to the mid-1920s (S&Mc 1892 & 1920-1925).

From the mid-1890s to the 1970s, the shop at 173-175 Bourke Street was occupied by a chain store, Richard White's Shoe Store, which had 52 outlets across Victoria (Figure 4) (*Age* 12 December 1936:9; 26 January 1957:5). The upper levels housed offices and club rooms during this time (*Age* 16 March 1957:35). From the 1980s until today, the Bourke Street shop has been tenanted by Florsheim Shoes Pty Ltd, another franchise shoe store that started in Chicago in 1892.

As mentioned above, the subject site also comprises the two and three-storey extensions at 138-142 Russell Street (Figure 3). The Russell Street additions were built in a number of stages. Also owned by the Hordern family, the land at 138-142 Russell Street (formerly numbered 96) had been integrated with the corner building by the 1880s, during Stanford & Co's occupancy of 173-175 Bourke Street. Completed between 1880 and 1888, the narrow three-storey addition at 142 Russell Street replaced the two-storey building seen in (Figure 2) (Mahlstedt Map, section 1, no 10, 1888). The current two-storey shops at 138-140 Russell Street (Figure 3) were built to a design by architects Godfrey & Spowers in 1920-1921, replacing the former nineteenth century shop and storage (Mahlstedt Map, section 1, no 5, 1910 & 1925; S&Mc 1910-1915).

Records show that the section that houses the lobby and a staircase to the upper levels (currently numbered 142 Russell Street (Figure 3) was erected between the late 1880s and 1895 (Mahlstedt Section 1, no 10, 1888; MMBW Detailed Plan no 1013, 1895). This addition, however, appears to have been replaced above ground floor level with the current structure in 1920, when the Russell Street shops were constructed, although the arched doorway to the ground floor may remain from the earlier structure.

The early tenants of 138-140 Russell Street included Mrs Benjamin Mitchell, clothier and wardrobe dealer (S&Mc 1915-1925); Croft's Stores, grocers (S&Mc 1930); and Conn's Corner Tea House (S&Mc 1942). The shops are currently occupied by two food and drink outlets (CoMMaps).

In March 1937, the property underwent building works including the alterations and 'erection of shop front', with the cost totalling £1022 (MBAI). It is likely that the street façades were refaced at the same time. Some of the late Victorian design elements, including the arched entrance, decorative cornices and eave brackets, survive in the section at 142 Russell Street (Figure 4) (Commercial Photographic Co c1940s, SLV).

Today, the building contains one residential property and two food and drink outlets (CoMMaps).

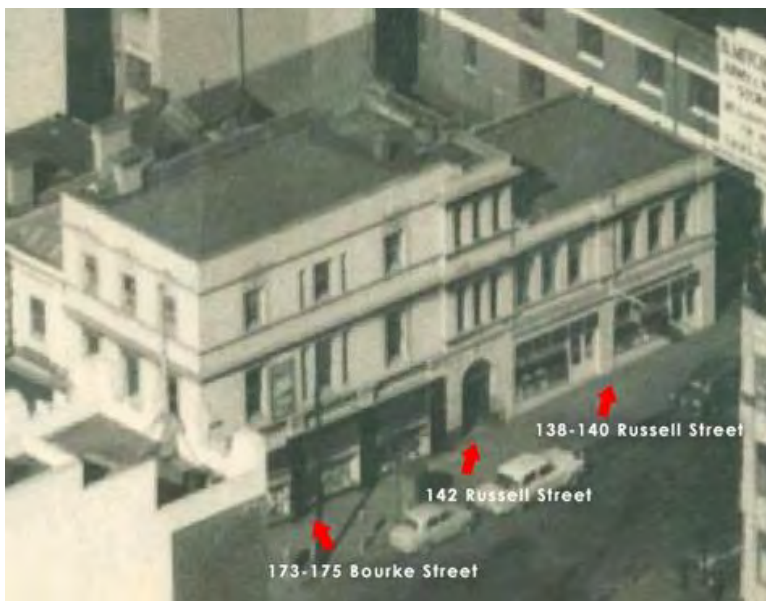


Figure 3. A 1950s aerial view of 173-175 Bourke Street. (Source: Pratt c1950s, SLV)



Figure 4. The building in 1969 at 173-175 Bourke Street after exterior alterations (Source: Halla 1969, SLV).

Albert Purchas, architect

Albert Purchas (1825-1909), architect, civil engineer and surveyor, was born in Chepstowe, England. He arrived in Victoria in 1851 and soon established an architectural practice. In 1853 he was the author of a *Book of Reference and Map of the Settled Districts Around Melbourne*. Joining the Victorian Institute of Architects in 1856, his first major works involved the Oriental Bank (1856) and the Melbourne General Cemetery (1853) (Tibbits & Goad 2012:570).

In 1856, Purchas was joined by his brother-in-law Charles R Swyer (1825-76). Together they designed many banks, mostly in the Renaissance Revival style, and ecclesiastical buildings, mostly in the early Gothic Revival style. The partnership Purchas & Swyer practised until 1862. After the partnership separated, Swyer went to New Zealand and Purchas continued his sole practice until his death, although it appears he was less active after 1891. Purchas's most well-known works include St George's Presbyterian Church, a polychromatic Gothic Revival church in St Kilda; the offices of the Mutual Insurance Company and the Northern Insurance Company, Collins Street West; and warehouses for Briscoe & Co and George & George both in Collins Street (Tibbits & Goad 2012:570).

Purchas was also a Justice of the Peace, and for many years vice-president of the Victorian Institute of Architects (VIA). In 1887-88 he served a term as VIA president, and between 1873 and 1886 he was the secretary of the Melbourne General Cemetery and the chairman of the Cemetery Board from 1867 to 1909 (Tibbits & Goad 2012:570).

Godfrey & Spowers, architects

William Scott Purves Godfrey (1872-1953) was born in Toorak, Victoria. He was articled by Reed, Henderson & Smart in 1889, and started his own practice in Collins Street in Melbourne in 1895. On his return from two years in the United Kingdom and Europe, Godfrey entered partnership with Henry Howard Spowers (c1873-1933) (Murphy & Raworth 2012:278-9).

In the following decades, Godfrey & Spowers completed a large number of houses, warehouses and institutional buildings, along with bank buildings, for which the firm became renowned. In 1936 the partnership was awarded the Street Architecture Medal for the Bank of NSW, at 374 Collins Street, Melbourne (Murphy & Raworth 2012:278-9).

Spowers died in 1932, and Godfrey's son, William Purves Race Godfrey (1907-83) joined the firm in the early 1930s whilst studying. Graduating from the University of Melbourne with a Bachelor of Architecture in 1933, Race Godfrey was admitted as an associate to the Royal Victorian Institute of Architects (RVIA) in 1934 and was the president of RVIA in 1956-7 (Murphy & Raworth 2012:278-9).

The firm continues to practice today, having changed its name from Godfrey Spowers, Hughes Mewton & Lobb in the 1960s to Spowers in the 1990s. Notable works by the firm include the Argus Building (1926) and the Egyptian-influenced Bank of New South Wales at 190 Bourke Street (1930) (Murphy & Raworth 2012:278-9).

SITE DESCRIPTION

173-175 Bourke Street comprises a three-storey corner building dating from 1857, a three-storey addition built between 1880s-1895 facing Russell Street (142 Russell Street), and a pair of two-storey brick shops rebuilt in the 1920s, also facing Russell Street (138-140 Russell Street). The complex of buildings, though built at separate times, appears as a somewhat cohesive grouping located on the corner site, with consistent banding lines continuing across the façade of each section of the building as a result of the 1937 alterations.

The corner building is constructed of brick with a rendered finish and built to both street boundaries with a parapet wall concealing a hipped roof. Early images show an elaborately decorated façade designed by architect Albert Purchas, however few details remain following the refacing of the façade in the early twentieth century. Window openings remain intact with three regular rectangular openings on each of the upper levels of the Bourke Street elevation. On Russell Street a tripartite composition is located centrally on the elevation, with a single rectangular opening at either end. The ground floor has also been altered significantly. A modern cantilevered verandah has replaced the early post-supported verandah.

The narrow three-storey building at 142 Russell Street retains an arched opening at the ground level that appears to date from the late Victorian era. A timber door to the arch also appears to be an early feature and a fanlight window remains but has been overpainted with modern signage. The pair of two-storey shops at 138-140 Russell Street, rebuilt in the interwar period by Godfrey & Spowers have centrally-arranged engaged pilasters, rendered name plates along the top of the building and at the ground floor, and three regular window openings at the upper level of each shop. Alterations have occurred at ground level.

INTEGRITY

The building at 173-175 Bourke Street incorporating 138-140 Russell Street and 142 Russell Street was built in three sections. The Victorian shop at 173-175 Bourke Street has been twice substantially altered. No. 142 Russell Street retains a ground floor arched opening that appears to date from the construction that linked the other two buildings, but has been extended by two floors. Alterations have occurred at ground level of all three sections of the building and the cantilevered verandah is of contemporary construction. The buildings as they present today are consistent with the extent of the 1937 alterations.

COMPARATIVE ANALYSIS

By the 1840s, Bourke Street was established as the preferred retail strip in the central city. During the latter half of the nineteenth century, multi-storey shop and dwelling type buildings housing ground-level shop with rooms above were constructed across the retail strips of Melbourne, and three-storeyed (or more) commercial and retail buildings were commonly built between Bourke and Lonsdale Streets from the late 1880s. The subject buildings represent aspects of the interwar period, although 173-175 Bourke Street is a particularly evolved design that has few clear precedents. Commercial premises that were either built or modified within the interwar period have been adopted for the purposes of comparison. The images and descriptions below are provided by CoMMaps unless stated otherwise, with images dating from c2000 or later.

152-156 Swanston Street, 1888, remodelled in 1938 (Interim HO1295, Significant in Interim HO1289 Swanston Street South precinct)

The former Bank of Australasia at 152-156 Swanston Street was remodelled from two Victorian shops by A & K Henderson in 1938-39.



Figure 5. 152-156 Swanston Street, constructed 1888 and remodelled in 1938-39. (Source: Context 2017)

David Jones, former Buckley & Nunn stores, 294-312 Bourke Street and 285-295 Little Bourke Street, 1933 (VHR H2153; HO980, Significant in HO509 Post Office Precinct)

In 1933 the former Buckley and Nunn store was extended to the east, with the building of a new men's store, designed by Walter Osbert McCutcheon. The original shopfronts have been replaced and cantilevered verandahs added across the entire Bourke Street façade. David Jones is one of Australia's oldest department store company, having opened their first store in Sydney in 1838.



Figure 6. Former Buckley & Nunn Men's Wear store constructed 1933.

Former Law Institute of Victoria, 382 Little Collins Street, 1905 & altered 1924 (Recommended as significant in the Hoddle Grid Heritage Review)

Located at the corner of Little Collins and McKillop streets, the former Law Institute of Victoria building at 382 Little Collins Street was originally built in 1905-06 to house the retail business of established hardware manufacturer, W Willis & Co. In c1924, the Law Institute of Victoria engaged architects Peck & Kemter to modify the building to suit their usage of the building's upper storeys, remodelling the western elevation fronting McKillop Street to enlarge openings on the upper levels and to create additional retail spaces fronting McKillop Street.



Figure 7. 382 Little Collins Street constructed 1905 and altered in 1924. (Source: Context 2019)

Farrant's Building, 387 Little Bourke Street, 1926 (Significant in HO1205 Guildford & Hardware Laneways Precinct)

Farrant's building is more clearly of the interwar period, having been constructed in 1926 for saddle manufacturer Farrant's, the three-storey building comprises retail and manufacturing premises. It has

two street frontages, facing Little Bourke Street and Hardware Lane. It is a good example of interwar classical revival design.



Figure 8. 387 Little Bourke Street constructed 1926

Like the examples above, 173-175 Bourke Street demonstrates the evolution of retailing in the interwar period. The building fronting Bourke Street and the accompanying photographic evidence clearly demonstrate the building's adaptation from a Victorian retail premises to its current condition. The complex of buildings at 173-175 Bourke Street once owned by the Hordern family, is comparable historically with the establishment of Buckley & Nunn and with its interwar expansion. 173-175 Bourke Street is prominently sited and commands a presence at the corner of Russell Street, compared with more modest interwar commercial premises such as 387 Little Bourke Street and 382 Little Collins Street.

ASSESSMENT AGAINST CRITERIA

✓	<p>CRITERION A Importance to the course or pattern of our cultural or natural history (historical significance).</p>
	<p>CRITERION B Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).</p>
	<p>CRITERION C Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).</p>
✓	<p>CRITERION D Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).</p>
	<p>CRITERION E Importance of exhibiting particular aesthetic characteristics (aesthetic significance).</p>
	<p>CRITERION F Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)</p>
	<p>CRITERION G Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).</p>
	<p>CRITERION H Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).</p>

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

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PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985** D

**Central City Heritage
Study 1993** C

**Review of Heritage
overlay listings in the
CBD 2002** Ungraded

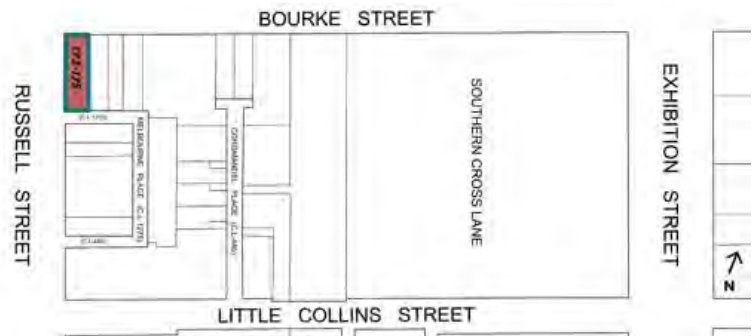
**Central City Heritage
Review 2011** Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Shops



PS ref no: Interim HO1238



What is significant?

The complex of buildings at 173-175 Bourke Street (142 Russell Street), Melbourne, comprising; a three-storey corner building dating from 1857, a three-storey addition either replacing or extending an existing building from 1920 (142 Russell Street), and a pair of adjoining shops rebuilt in brick in the 1920s, also facing Russell Street (138-142 Russell Street).

Elements that contribute to the significance of the place include (but are not limited to):

- The buildings' cohesive external forms (two and three storeys), with consistent banding continuing across the façade of each section;
- The three-storey corner building's high level of integrity to its 1937 design;
- The three-and two-storey Russell Street buildings' high level of integrity to its original design;
- Pattern and size of original or early fenestration (Bourke and Russell streets), including the early ground floor arched opening at 142 Russell Street; and
- Large square industrial steel-framed windows (Little Collins Street).

More recent alterations, including the modern cantilevered verandah and ground level shopfronts, are not significant.

How it is significant?

173-175 Bourke Street (142 Russell Street), Melbourne is of local historic and representative significance to the City of Melbourne.

Why it is significant?

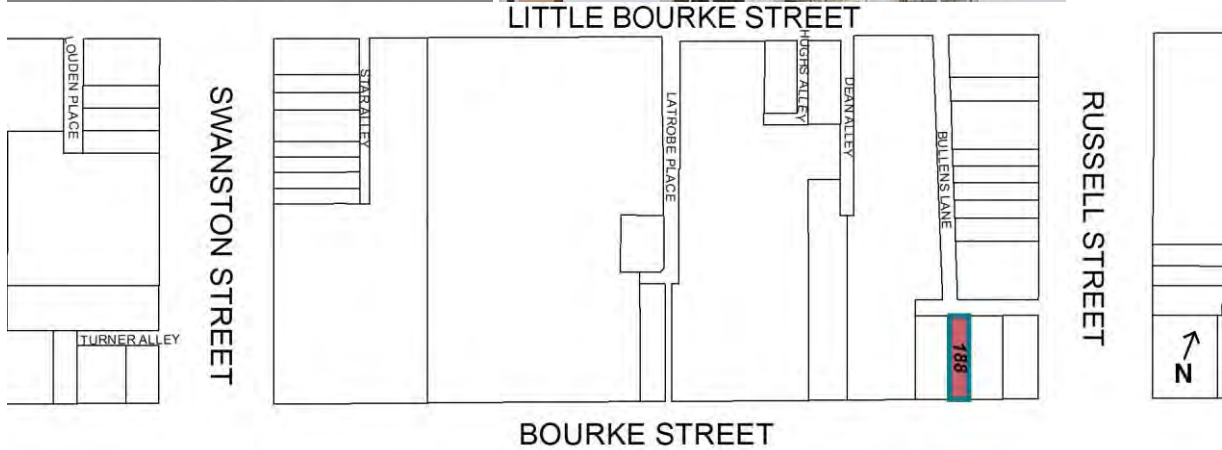
173-175 Bourke Street is historically significant as a complex of retail buildings dating from 1857, with additions in the first decades of the twentieth century that reflect key phases in the expansion of retail development in the City of Melbourne. The building complex is historically significant for its association with the Hordern family, a well-known Australian retailing dynasty who first came to prominence as merchants and retailers in Sydney, and who owned both the corner site and the Russell Street frontages until 1872. 173-175 Bourke Street, is historically significant for its long occupation by Richard White's Shoe Store from the mid-1890s to the 1970s. (Criterion A)

173-175 Bourke Street is significant as an early commercial building, but with its current presentation dating from the interwar period and incorporating both nineteenth and twentieth century elements. The corner building remains legible in scale and form to its 1857 design by architect Albert Purchas despite two major alterations to its elevations. The elements of the 1857 building are evident in the three rectangular openings on each of the upper levels on the Bourke Street façades, and the pattern of tripartite and single rectangular windows to the Russell Street façade. Evidence of the previous two separate buildings facing Russell Street is provided by the arched ground level opening with timber doors and fanlight. The substantial alterations and extensions by Godfrey & Spowers in 1920, incorporating 138-142 Russell Street, contribute to the interwar character of the Russell and Bourke Street corner. (Criterion D)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Former Rockman's Showrooms Pty Ltd
STREET ADDRESS	188 Bourke Street Melbourne
PROPERTY ID	101206



SURVEY DATE: October 2018		SURVEY BY: Context	
HERITAGE INVENTORY	N/A	EXISTING HERITAGE OVERLAY	No
PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
DESIGNER / ARCHITECT / ARTIST:	H W & F B Tompkins	FORMER GRADE	C
BUILDER:		BUILDER:	Not known
PERIOD OF DEVELOPMENT:	Interwar Period (c1919- c1940)	DATE OF CREATION / MAJOR CONSTRUCTION:	1937

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here.
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a commercial city	5.4 Developing a retail centre
	OTHER SUB-THEMES
3 Shaping the urban landscape	3.2 Expressing an architectural style

LAND USE

HISTORIC LAND USE	
Archaeological block no: 30	Inventory no: Inventory not provided
THEMATIC MAPPING AND LANDUSE	
1890s	Not able to be determined
1920s	Not able to be determined
1960s	Retail

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

188 Bourke Street is a three-storey interwar commercial building designed in 1937 in the Art Deco/Jazz Moderne style by Melbourne architects H W & F B Tompkins. It was occupied by clothes retailer Rockman's Showrooms Pty Ltd from 1937 to the 1960s. First established in 1931 in Melbourne, the firm operated a chain of stores under the name and 'Best for less' style of 'Rockmans' across Australia in the ensuing years.

HISTORICAL CONTEXT

Building a commercial city

Developing a retail centre

The department store Buckley and Nunn, which opened in 1854, established Bourke Street as the preferred retail strip in Melbourne. By the 1880s, the central section of Bourke Street became closely associated with the drapery trade. Russian immigrant Sidney Myer bought a block in Bourke Street in 1911, where he established his successful emporium, replacing Robertson & Moffatt and Stephen & Sons. By the 1910s, central Bourke Street thus gained retail ascendancy over other inner-suburban shopping strips in Collingwood and Prahran. (Context 2012:43; May 2008).

After 1920, chain department stores grew rapidly, opening branches or new stores in central Melbourne (Young and Spearritt 2008). To accommodate growing demand for retail stores in central Melbourne, by the 1930s, former businesses in the block east of Bourke Street mall were quickly replaced with clothing retailers and chain stores. Designed by architect Harry Norris, a new six-storey building was built for the drapers Foy & Gibson at the corner of Swanston and Bourke streets, and an eight-storey building was built in 1932-35 to a design by architect Marcus Barlow at the corner of Russell and Bourke streets, for successful Gippsland merchant Norman Sharpe's drapery emporium (Butler 2011:61; Young & Spearritt 2008).

Shaping the urban landscape

Expressing an architectural style

The interwar period brought with it a jump in tall building construction in the central city, made possible by the use of structural steel and reinforced concrete framing. In response, a height limit was imposed by Melbourne City Council in 1916, dictated by the limitations on fire-fighting at that time. A maximum height of 40 metres (132 feet) was introduced for steel and concrete buildings, a limit that was not broken until the 1950s. Architects experimented with a range of styles to express the increased height in buildings.

Some styles adapted the classical styles from earlier periods. Commercial buildings in the 1920s were mainly of the Commercial Palazzo style, as exemplified by Harry Norris's Nicholas Building in Swanston Street (1925). The style was an early attempt at creating a style suitable for the tall building. It was divided into a base, shaft and cornice, much like a Renaissance palazzo. The scale, however, was greatly enlarged, with the shaft stretching up to ten storeys.

Other styles were more closely associated with the modern movement and expressed a more dynamic and streamlined aesthetic. Emphasis was placed on the horizontal or vertical composition of a building to accentuate certain qualities of the building. In styles such as the Commercial Gothic style and the Jazz Moderne, vertical fins and ribs were used to accentuate the height of buildings. Landmark examples of this style include: Marcus Barlow's Manchester Unity Building, Collins Street (1929-32) and the Tompkins Bros' Myer Emporium in Bourke Street (1933). (Context 2012:19-20).

SITE HISTORY

The site at 188 Bourke Street is part of Crown Allotment 8, Block 22, of the City of Melbourne, initially purchased by J H Phelps in September 1837 (DCLS c1839). By 1888, the land was developed with a two-storey shop, occupied by Mason Bros, hatters (Mahlstedt Map Section 1, no 22, 1888). Between

c1910 and 1924, the building housed restaurants, Hoffmann's Grill Room, and later Mrs Kitz's tearooms (S&Mc 1924; *Herald* 23 August 1937:11; Mahlstedt Map Section 1, no 7, 1910).

The Kitz family still owned the building between the mid-1920s and 1936, during which time Sharpe Bros occupied the premises (S&Mc 1925-1938; RB 1936). Sharp Bros was a retail drapery originally established in Gippsland.

In August 1937, the building at 188 Bourke Street, which the *Herald* described as an 'old city landmark' was demolished to make way for a modern three-storey concrete building. The site had one of the smallest frontages in Bourke Street (*Herald* 23 August 1937:11). The original building plans for 188 Bourke Street prepared by architects H W & F B Tompkins for the owners E B and D W Kitz show the Art Deco-style store with signage reading 'Sharpes' above the ground-floor shopfront (see Figure 1) (PROV VPRS 11201/P1, unit 219). It is possible that the new three-level shop at 188 Bourke Street was originally intended to be tenanted by Sharpe Bros, who eventually moved to a nearby location at 202-204 Bourke Street (also assessed as part of this study).

Following the demolition of part of the former building in 1937, the construction of the new building was delayed for several months due to a legal negotiation for demolition of a 70-year-old party wall that existed at the rear of the site. The wall formed part of one of the oldest houses in the city, which was later extended southward with a two-storey shop fronting Bourke Street. The land occupied by the old party wall was purchased inch by inch at a higher price, in order to fully demolish all of the old structure at 188 Bourke Street. The final site occupied a slightly larger frontage of about 16 feet 6 inches (*Herald* 6 October 1937:22). The architects H W & F B Tompkins provided an amended plan to implement the changes, and adjusted the signage and shopfront designs to suit the newly-designated tenant, Rockman's Showrooms Pty Ltd, owned by frock sellers Phillip and Norman Rockman, who utilised the building as a retail outlet (see Figure 2).

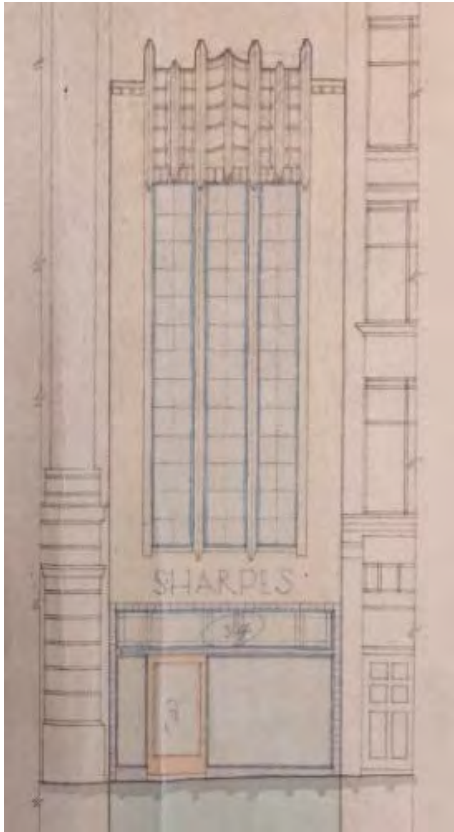


Figure 1. H W & F B Tompkins' drawing for the subject building at 188 Bourke Street, Melbourne, which was to be occupied by Sharpe Bros. (Source: PROV VPRS 11201/P1/382)

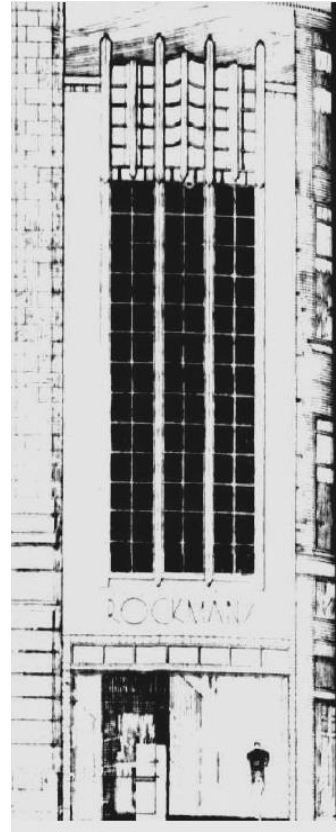


Figure 2. Newspaper illustration showing the amended façade design for Rockman's Showrooms Pty Ltd. (Source: *Herald* 6 October 1937:22)

The Rockman's Showrooms Pty Ltd chain of stores was founded by brothers Philip and Norman Rockman who came to Australia from Poland in 1924. Phillip initially made his living by hawking drapery as a travelling salesman. The first Rockman brothers' shop was opened in Collins Street in 1930, with a chain of stores opened across Australia in ensuing years. The company Rockman's Showrooms Pty Ltd was established in 1931 (*Daily Commercial and Shipping List*, NSW 11 July 1931:4). Carrying out the business under the style of 'Rockmans', the firm sold serviceable, inexpensive dresses, adopting the motto, 'Best for Less', and the store established an extensive mail order system and catalogue. In 1933, the firm had two outlets at 343 Bourke Street and 139-141 Swanston Street. Rockman's Showrooms Pty Ltd leased the building at 188 Bourke Street in 1937 for use as a retail outlet. Rockman's opened its 58th store in Yallourn in 1953, and by that year, had diversified into home wares. Rockman's continues to operate today (George and Spaul 2016; *Age*, 27 July 1934:13). Norman Rockman's son, Irvin Rockman, was Lord Mayor of the City of Melbourne in the period 1977-79.

The new 1937 brick shop and warehouse building at 188 Bourke Street leased to Rockman's Showrooms comprised three floors and a basement with an electric lift. The verticality of the building was emphasised with strips of windows to the façade. Other notable design features involved a front window display, which was 20 feet in depth, with plate glass shelving, and an original three-toned terrazzo-paved entrance from Bourke Street (*Herald* 6 October 1937:22).

Between 1938 and the early 1960s, the building was occupied by Rockman's Showrooms Pty Ltd, and subsequently tenanted by another dress salon, Magnin Pty Ltd, until the early 1970s (S&Mc

1960; RB 1965 & 1970). The property remained in the ownership of the Kitz family until c1970 (RB 1965 & 1970).

The Mahlstedt Fire Survey plan published in 1948 and amended in the early 1970s shows the three-storey shop at 188 Bourke Street occupied by 'Magnin Fashions' (see Figure 3) (Mahlstedt Map Section 1, no 7, 1948).



Figure 3. Detail of the 1948 (amended post-1960s) Mahlstedt plan showing the subject building at 188 Bourke Street. (Source: Mahlstedt Map Section 1, no 7, 1948)

In 1976, the ground floor of 188 Bourke Street was altered at a cost of \$4,500, and again in 1978 at a cost of \$6,500 (MBAI). Other known substantial building works included an upgrade carried out in 1986; enclosure of stairs and the installation of a new shopfront in 1987; and the installation of a new shopfront and internal partitions in 1988 (MBAI).

The property today contains a shop and a food and drink outlet (CoMMaps).

H W & F B Tompkins, architects

The Encyclopedia of Australian Architecture contains the following entry for architects H W and F B Tompkins:

H. W. & F.B. TOMPKINS, architects were established in 1898 when the brothers won a design competition for the Commercial Travellers Association CTA Clubhouse, 190

Flinders Street, Melbourne. Henry Harry William (1865-1959) and Frank Beauchamp Tompkins (c1867-1952) were born in England and educated in South Africa. They migrated to Australia with their parents in 1886. Harry became an assistant architect to Richard Speight Jnr and Frank worked with a number of architects including Evander McIver and Nahum Barnet. By the mid-1890s Harry had entered a partnership, forming Speight & Tompkins of 493 Collins Street, Melbourne. He left the partnership in 1896 to take up a position in the Western Australia Public Works Department, but was retrenched in 1898 and returned to Melbourne and formed the partnership of H.W. & F.B. Tompkins (Beeston 2012:707-708).

The competition win established the firm and by the early 20th century, H.W. & F. B. Tompkins was a leading commercial firm. Their commercial work up to WWII reflects the three influences popular at the time: the Romanesque style popularised by such architects as H.H. Richardson in the United States during the late 19th century; the Baroque Revival of the early 20th century, popular in Chicago and San Francisco after 1908; and the Moderne or interwar functionalist style of the 1930s. Both Harry and Frank travelled to the United States and Europe, studying the latest trends in design and construction technology. They were the first architects in Melbourne to implement modern methods of steel frame construction and reinforced concrete in the Centre Way, Collins Street 1911 and the new Commercial Travellers' Association Clubhouse and Commerce House, 318-324 Flinders Street (1912). In 1913, the firm's association with Sidney Myer began with a warehouse building in Bourke Street, the first of many Myer commissions (Beeston 2012:707-708).

Harry Tompkins and Sidney Myer travelled in the United States visiting department stores, including the Emporium in San Francisco, which is reputedly the influence for the Myer Emporium in Bourke Street, Melbourne (Beeston 2012:707-708).

Harry Tompkins, the public face of the firm, was a prominent member of the RVIA; he was a council member (1905-), vice-president (1913) and president (1914-16). Harry was also president of the Federal Council of the AIA (1918-19) and mayor of Kew, the suburb in which he lived, for the same period (Beeston 2012:707-708).

The firm is one of the longest surviving in Victoria. In the 1950s it became Tompkins & Shaw when P.M. Shaw entered the partnership and then Tompkins, Shaw & Evans when Stan Evans joined. In 2003 it was acquired by Michael Davies Associates, forming a new firm, Tompkins MDA Group (Beeston 2012:707-708).

SITE DESCRIPTION

188 Bourke Street is a three-storey, narrow fronted building with retail at ground level and basement. Featuring the Art Deco style elements, the building demonstrates the symmetry, strong vertical emphasis with projecting mullions terminating in fins above the parapet and other characteristics typical of the style. The subject site is located on the northern side of Bourke Street near the intersection of Russell and Bourke streets. The building has rear access from Bullens Lane, an L-shaped servicing laneway connecting Little Bourke and Russell streets.

The façade to Bourke Street is painted render, probably over non-loadbearing brickwork, although some of the detailed elements may be either precast concrete or overpainted glazed terracotta. The façade is punctuated by three equal width vertical panels of glazing separated by narrow mullions that terminate in finials projecting above the deep, stepped and articulated Art Deco parapet. There is a solid vertical panel at each end of the façade.

The original steel framed multi-paned windows survive at the second-floor level, although at the first-floor level the original windows have been replaced with single pane glazing to the central and western bays and three aluminum framed awning openable windows set into the eastern bay.

The ground floor has been substantially altered with a contemporary shopfront. Above the ground floor is a cantilevered box awning.

INTEGRITY

The building is largely intact above the ground floor with some changes visible to original or early significant fabric. The building retains evidence of key characteristics of its Jazz Moderne style, including its vertical openings terminating in the stepped Art Deco style parapet. The original steel framed multi-paned windows survive at the second-floor level. The building's integrity is slightly diminished by the partial removal of original steel windows at the ground and first floor level. Overall the building is has relatively high integrity.

COMPARATIVE ANALYSIS

Structural steel and reinforced concrete framing became popular building materials in interwar Melbourne, inspired by Chicagoan architecture in the late nineteenth and early twentieth centuries. Departing from load-bearing brick walls, many examples employed these new building methods that allowed windows to become larger and more prominent on façades, while also facilitating increased building heights.

The interwar department store or commercial buildings in Melbourne often utilised the Commercial Palazzo, Chicagoesque or Art Deco/Jazz Moderne styles. Popularly known as Art Deco, the Jazz Moderne style is characterised as the embodiment of dynamic progress and faith in modern technology represented with the use of strong vertical and/or horizontal motion, and non-historic ornaments.

The following examples are comparable with 188 Bourke Street, being of a similar use, scale, location and/or creation date. The images and descriptions are provided by CoM Maps unless stated otherwise.

Former Patersons Pty Ltd, 152-158 Bourke Street, 1934 (Interim HO1266 – Recommended as significant in the Hoddle Grid Heritage Review)

The former Patersons Pty Ltd Building was built for the Paterson family as a furniture retailing outlet. The building was designed by architect Arthur W Purnell and is a fine example of a Moderne façade from the Inter-war period.



Figure 4. Former Patersons Pty Ltd 152-158 Bourke Street, built in 1934.

Norman's Corner Store, 180-182 Bourke Street, 1935 (HO1000)

An eight-storey brick office building with basement and ground level retail. Formerly a three-storey warehouse, in 1935 the building was completely rebuilt with the addition of five extra storeys. The reconstruction was designed by Marcus Barlow in the Jazz Moderne style. It was subdivided into 23 commercial units in 2003.



Figure 5. Norman's Corner Stores, 180-182 Bourke Street, built in 1935.

Akira House, 18 Queen Street, 1927 (VHR H0397, HO729)

A ten-storey reinforced concrete former office building. It features a striking facade of black, green and grey terracotta faience tiles and was designed by James H Wardrop in the Jazz Moderne style. It was built by Swanson Bros in 1937 at a cost £11,000. Originally six storeys, a further four were added when the building was refurbished, subdivided and converted to apartments in 1998.



Figure 6. 18 Queen Street, built in 1927.

Former Alexanders Building, 88 Elizabeth Street, 1928 & 1933 (Significant in HO502 The Block Precinct)

A three-storey brick retail building with a faience tile-clad facade and a mezzanine. Built for the pipe and smoking requisites retailer Alexanders Proprietary Limited in 1928, and the façade was renovated in 1933 (Age 19 September 1933:14)



Figure 7. Elizabeth Street, built in 1928.

Former Sharpe Bros Pty Ltd, 202-204 Bourke Street, 1934 (Recommended as significant in the Hoddle Grid Heritage Review)

202-204 Bourke Street is a four-storey interwar commercial building built in 1935 in the Art Deco/Jazz Moderne style to a design by Melbourne architects H W & F B Tompkins. It functioned as the department store of Sharpe Bros Pty Ltd from 1935 to 1963 and continued its use as a department store until c1970.



Figure 8. 202-204 Bourke Street, built in 1934.

The former Rockman's Showroom at 188 Bourke Street is a largely intact example of the 1930s commercial building with Art Deco style elements. It demonstrates more finely detailed and modestly-scaled commercial development in central Melbourne, representing the 1930s' rapid expansion in the area to the east of Bourke Street retail centre, led by clothing retailers and chain stores.

The building is substantially in its original 1937 configuration and can be most closely compared to the former Sharpe Brothers building at 202-204 Bourke Street (recommended as significant in Hoddle Grid Heritage Review) or 88 Elizabeth Street (Significant in HO502 The Block Precinct) for its overall design with vertical bays of windows separated by prominent mullions. With its articulated parapet and basic palette of materials 202-204 Bourke Street is a highly similar example. With its Jazz Moderne style detailing 188 Bourke Street also shares some architectural similarities with other larger scale buildings such as 18 Queen Street (HO729), 152-158 Bourke Street, 1934 (Interim HO1266) and Norman's Corner Store, 180-182 Bourke Street, 1935 (HO1000).

Historically, the two buildings at 188 and 202-204 Bourke Street also share a history as successful retail stores established in the 1930s in Bourke Street between Swanston and Russell streets, with long associations with their initial store tenants.

ASSESSMENT AGAINST CRITERIA

✓	<p>CRITERION A Importance to the course or pattern of our cultural or natural history (historical significance).</p>
	<p>CRITERION B Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).</p>
	<p>CRITERION C Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).</p>
✓	<p>CRITERION D Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).</p>
	<p>CRITERION E Importance of exhibiting particular aesthetic characteristics (aesthetic significance).</p>
	<p>CRITERION F Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)</p>
	<p>CRITERION G Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).</p>
	<p>CRITERION H Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).</p>

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

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PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985**

D

**Central City Heritage
Study 1993**

C

**Review of Heritage
overlay listings in the
CBD 2002**

Ungraded

**Central City Heritage
Review 2011**

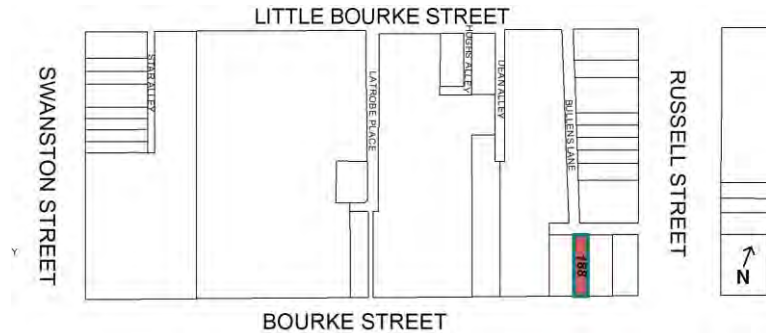
Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Former Rockman's Showrooms Pty Ltd



PS ref no: HOXXXX



What is significant?

The former Rockman's Showroom at 188 Little Bourke Street, Melbourne, a three-storey retail building constructed in 1937 is significant.

Elements that contribute to the significance of the place include (but are not limited to):

- Original building form and scale;
- Original symmetrical façade geometry and fenestration, including vertical glazed panels, projecting mullions and rooftop fins and articulated parapet; and
- Original steel windows at the second-floor level.

The awning and alterations at the street-level shopfront and replacement aluminium frame windows at the first level are not significant.

How it is significant?

188 Bourke Street, Melbourne, is of local historical and representative significance to the City of Melbourne.

Why it is significant?

The former Rockman's Showrooms Pty Ltd building at 188 Bourke Street is historically significant for the evidence it provides of an important phase in Melbourne's retail history; the rise in popularity of the chain

store retailers from the 1920s in the central city. To accommodate growing demand for retail stores in central Melbourne, by the 1930s, former businesses in the block east of Bourke Street mall were quickly replaced with clothing retailers and chain stores. Designed in 1937 by architects H W & F B Tompkins and occupied by frock sellers Rockman's Showrooms, who established a chain of fashion stores across regional Victoria and New South Wales, it is representative of the wave of smaller-scale commercial development in central Melbourne during the later interwar period that replaced the low scale masonry buildings dating from the late 19th and early 20th century. (Criteria A and D)

188 Bourke Street is architecturally significant as a finely detailed, modestly-scaled example of a Jazz Moderne commercial building in central Melbourne. Jazz Moderne was an extremely popular style in the later interwar period. Such buildings utilised the engineering benefits of steel and concrete frame structures to maximise window areas and to provide flexibility for external articulation and decoration, and the dynamic and streamlined aesthetic of Art Deco detailing. The building is also notable as a work of the eminent firm of Melbourne architects H W & F B Tompkins, who designed a number of other Melbourne buildings in the Jazz Moderne style during the same period. (Criterion D)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Shop and residences
STREET ADDRESS	201-207 Bourke Street Melbourne
PROPERTY ID	101131 and 101132



BOURKE STREET



SURVEY DATE: October 2017

SURVEY BY: Context

HERITAGE INVENTORY	H7822-1628 H7822-1627	EXISTING HERITAGE OVERLAY	No
PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
DESIGNER / ARCHITECT / ARTIST:	Not known but possibly Francis M White	FORMER GRADE	Ungraded
DEVELOPMENT PERIOD:	Victorian Period (1851-1901)	BUILDER:	James Moore
		DATE OF CREATION / MAJOR CONSTRUCTION:	1874

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here.
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a Commercial City	5.4 Developing a retail centre
	OTHER SUB-THEMES
Shaping the urban landscape	3.2 Expressing an architectural style

LAND USE

HISTORIC LAND USE	
Archaeological block no: 38	Inventory no: 627 & 628
Character of Occupation: Commercial	
Third land sale 1838, allotment forfeited.	
1839 Williamson	
1840 Hoddle	
1855 Kearney	
1866 Cox	Building on site.
1877 Dove	
1880 Panorama	Two three-storey buildings, Leon Umbrellas; Thompson Chemist.
1888 Mahlstedt	Two three-storey buildings; Thompson Chemist.
THEMATIC MAPPING AND LAND USE	
1890s	Retail, Residential
1920s	Retail
1960s	Retail

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

This three-storey, late Victorian building is comprised of four shops with residences above. The upper façade presents as one unified arrangement and retains the classical styling typical of the period.

HISTORICAL CONTEXT

Building a Commercial City

Developing a retail centre

Even before the early 1850s, Melbourne had established the foundational infrastructure for international trade and commerce, including retail markets, shipping agents, and industry and finance houses - the beginnings of an entrepreneurial global city (Context 2012:2).

Retailing in Melbourne gained official recognition when eight market commissioners were elected in 1841 from a roll of local voters. The commissioners established the Western Market, which became the principal place for selling fresh food, with many goods transported from Melbourne to pastoral settlements. At this time Melbourne's population was 4479, and Australia's was 20,416 (Young and Spearritt 2008). The growth of retailing was accompanied by the construction of warehouses to store goods.

By the early 1840s, Elizabeth and Swanston streets, from the Town Hall in the east to the General Post Office in the west, had become the focus of retail activity, influenced also by the location of the Western Market in the west of the city. The Eastern Market opened in 1847 as a fruit and vegetable market on the corner of Stephen Street (later Exhibition Street) and Bourke Street and drew retail further east. The department store Buckley and Nunn opened in 1854, establishing Bourke Street as the preferred retail strip.

Retail premises in the nineteenth century and the early twentieth century generally included upper-level accommodation for families involved in the business. Multi-storey shop and dwelling type buildings housing ground-level shop with rooms above were constructed across the retail strips of Melbourne, and three- or more storied commercial and retail buildings began to proliferate between Bourke and Lonsdale streets from the late 1880s (Lovell Chen 2017:220).

Shaping the urban landscape

Expressing an architectural style

Melbourne witnessed a building boom, both commercial and residential, in the 1870s and 1880s. The 1880s property boom made its mark on commercial design in the central city, with a new, bold generation of architects. Boom Style commercial buildings, such as William Pitt's Windsor Hotel and the Block Arcade, were characterised by increasingly rich decoration, Mannerist exaggeration of elements like keystones and segmental pediments, and the use of multiple classical trabeated and arcuated schemes overlaid one atop the other, until flat wall space was diminished to a bare minimum. While Renaissance and Italianate influences are most closely associated with Melbourne's Boom Style, a similar treatment of materials and facades was used for Gothic Revival buildings (Context 2012:17).

SITE HISTORY

201-207 Bourke Street, Melbourne, which formed part of Crown Allotment 11, Block 11, was purchased by Sir Stuart A Donaldson, a Sydney-based businessman, who sent his agent, James Graham, to Melbourne to buy town and suburban lands (CoMMaps; Draper 1972). By c1852, there were two wooden shops built on the allotment, then addressed as 122-128 Bourke Street East (Bibbs 1856).

Arriving in Melbourne as an agent of Sir Donaldson, by the 1840s Graham had established a successful business in Melbourne, which included investments in land and buildings for Donaldson's clients. By the mid-1840s, he was running his own business. According to the *Australian Dictionary of Biography*, Graham was a director of the Port Phillip Steam Navigation Co, the Melbourne Fire and Marine Insurance Co and the Melbourne Auction Co, treasurer of the Commercial Exchange, member of the management committee of the Port Phillip Theological Education Society, secretary of the Australia Felix Immigration Society, a trustee of the Government Savings Bank and a commissioner for insolvent estates (Strahan 1972). In 1858, he founded Graham Bros & Co with his brothers Edward and Charlie. The partnership dissolved in c1870, but Graham retained the firm's title (Strahan 1972).

For almost 80 years between the 1840s and the mid-1920s, the subject property was in the possession of James Graham, and later Graham Bros & Co and the executors of Graham's estate, except for a short period around the time of the construction of the current shops at 201-207 Bourke Street. During this time the ownership of the property was transferred to Clapp & Sprigg (RB 1874-5).

A building application for 201-207 Bourke Street was lodged with the Melbourne City Council in April 1874. In the same year, the current row of four three-storey shops at 201-207 Bourke Street was constructed by the investment partnership F B Clapp and W G Sprigg (RB 1874-5).

William Gardiner Sprigg (1832-1926) was the Melbourne Omnibus Co's secretary from 1868 until he was appointed assistant manager in 1890, and by 1909 he had become a director following the resignation of H A Wilcox. Sprigg was engaged with the operation of the Melbourne Omnibus Co until it was dissolved due to liquidation in the late 1910s (*Argus* 14 June 1919:10; 16 October 1920:20).

With his colleague at the Melbourne Omnibus Co, Francis Boardman Clapp (1833-1920), Sprigg was involved in developing at least 12 other premises along Bourke Street between 1873 and 1885, including the rows of shop and dwellings at 146-150 and 209-215 Bourke Street (MCC registration no 6299, 1054 & 5597, as cited in AAI Index record no 76823, 73836 & 73774; RB 1874-1877).

Each of the three-storey brick shops and dwellings, constructed by builder James Moore had a ground retail space and residence with five rooms located on the upper levels (RB 1876-77). The adjoining row of four shops and dwellings at 209-215 Bourke Street, completed two years later for Clapp and Sprigg by the same builder, was constructed in the same manner (MCC registration no 6640, as cited in AAI record no 73786).

The shops at 201-207 Bourke Street may have been designed by the architect Francis M White, who had worked for Clapp and Sprigg the previous year on other commercial premises and invited tenders for erecting shops in Bourke Street in March 1874 (MCC registration no 5850, as cited in AAI record no 73776).

Clapp and Sprigg held the subject properties at 201-207 Bourke Street for no longer than two years. After their construction, the shops were transferred back to the original owner, James Graham (RB 1874-1877).

A number of businesses occupied the subject site. At its completion, 201 Bourke Street was leased to a flower and seed merchant, who had been trading since c1852 from the wooden shop that formerly existed on the subject land. Commenced by William McDonald, the business was transferred in 1868 to William Ireland who was formerly based in Collingwood (S&Mc 1859-1876; *Leader* 26 December 1858:15). Ireland occupied the shop at 201 Bourke through to the late 1890s, until Miss M Deegan's confectionery moved in (S&Mc 1876-1899).

The remaining shops were occupied by various retailers and businesses, including a chemist, watchmaker, tobacconist, bookseller and stationer, and boot manufacturer. While many of these businesses only remained for short periods of time, notable early tenants included Henry Drew's pastry shop and coffee palace, which occupied the two middle shops at 203-205 Bourke Street during the latter half of the 1880s; and the Cyclorama Company who briefly occupied number 207 in the early 1890s (S&Mc 1874-1920). The cyclorama appeared in the eighteenth century, showing well-known scenes on a 360-degree canvas, and became popular at the turn of the twentieth century before the emergence of cinema. Popular in Melbourne from 1889 to 1906, cycloramas were shown in two circular buildings: one in Fitzroy on Victoria Parade, the other at today's 166-186 Little Collins Street (Colligan 2008), which was constructed in 1891. The cyclorama in Little Collins Street, which showed the Siege of Paris from 1891 to 1896, was connected to the subject premises at 207 Bourke Street, which was used as its office, through a long corridor (Figure 1). It is likely that the façade of 207 Bourke Street was altered to include more windows around this time when the shop underwent extensive changes (Figure 2).

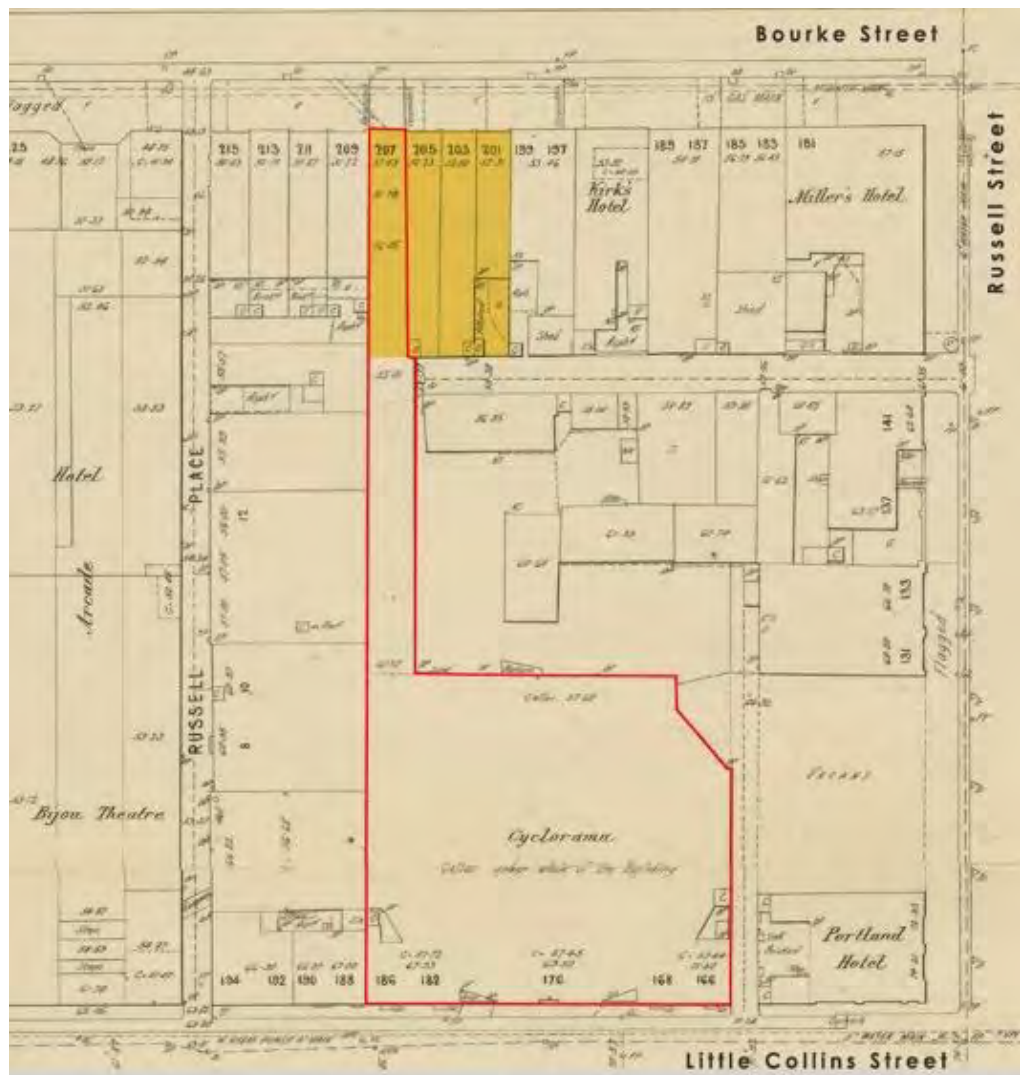


Figure 1. Coloured in yellow is the current extent of the shops at 201-207 Bourke Street, and in red outline is the original cyclorama site connected to the rear of 207 Bourke Street. (Source: MMBW Detail Plan no 1012, 1895, SLV).



Figure 2. 201-207 Bourke Street in the 1940s. Note 207 Bourke Street on the right-hand side with altered windows. (Source: Commercial Photographic Co c1940s, SLV)

After the closure of the cyclorama in 1896, 207 Bourke Street was separated from the Little Collins Street site, and the passage that once connected the two sites was removed to make way for a new right of way, which doglegged around the former Kings Theatre, currently occupied by 133 Russell Street (Mahlstedt Map Section 1, no 8, 1910).

Throughout the twentieth century, the shops at 201 and 203 Bourke Street continued to house various retail businesses. In the mid-1920s, the shops at 205-207 Bourke Street were purchased by George Mountford, hatter. In 1935, the whole block was also part of the estate of the late G Mountford (RB 1877-1935). The Mountfords, then hatters and now shoe retailers, had occupied three shops at 203-207 Bourke Street at one point until the mid-1930s when the firm renovated and occupied the two shops at 205-207. Today, the same business remains in the subject building and currently occupies the two shops at 205-207 Bourke Street, which are interconnected with the neighbouring two shops at 209-211 Bourke Street (RB 1935; MBI 'Bourke Street, 205-207', Ancestry.com).

The shops at 201 and 203 Bourke Street, then housing a fashion boutique and the Mocca Coffee Restaurant, were auctioned in November 1984 (Age 7 November 1984). Between mid-1980s and today, the buildings were merged as one shop, which currently houses a food outlet (CoMMaps).

SITE DESCRIPTION

The row of four three-storey shops and dwellings at 201-207 Bourke Street was built as one unified arrangement, with shops at ground level and residences above. Built in the mid-1870s, the row has a rendered façade with classical detailing. It is less elaborate than the adjoining row (209-215 Bourke Street), which was built in the Renaissance revival style.

The upper façade has a balustraded parapet with pedestals marking the edges of each of the four shops. A deep cornice runs along the base of the parapet. Squared brackets and a dentil row run below the cornice. Quoining occurs at the outer edges of the building.

On the upper level, shops 201-205 have regular rectangular windows with decorative moulded architraves. A narrow band with vertical markings runs the full width of the façade at sill height. At mid-level, the window openings are more decorative. Deep moulded architraves surround the openings and moulded hoods with scroll brackets sit over the top edge. A key stone is centrally located on the top edge of the architrave.

The windows at 207 Bourke Street are not consistent with the others. It is likely they were altered in the early 1890s for the Cyclorama company. A double opening is located on the upper level and elaborate Moghul-inspired stilted arched windows are located mid-level. These windows are almost identical to the decorative windows on the façade of the former Cyclorama building at 166-186 Little Collins Street.

The ground level shopfronts have been substantially altered.

INTEGRITY

The shops and residences at 201-207 Bourke Street retain a high level of intactness at the upper levels. Changes to the window arrangements at number 207 are likely to have occurred in the 1890s. At ground level, shop fronts have been substantially altered and the cantilevered canopy is non-original. The mansard tower visible in Figure 2 has been removed.

COMPARATIVE ANALYSIS

The subject building can be compared to other similar rows of late Victorian shop rows with residences built above. It compares well with the following examples, drawn chiefly from the Central City Heritage Review 2011, being of a similar use, scale, location and creation date. The images and descriptions below are provided by CoM Maps unless stated otherwise, with images dating from c2000 or later.

136-140 Elizabeth Street (Significant in HO509 Post Office Precinct)

A row of three three-storey shops with residences above. The rendered brick building was built in the mid-Victorian era in the Neo-Renaissance style.



Figure 3. 136-140 Elizabeth Street, constructed in the mid-Victorian era.

73-77 Bourke Street (HO536, Significant in HO500 Bourke Hill Precinct)

A row of three three-storey shops with residences above. The rendered brick building was built in the mid-Victorian era in the Neo-Renaissance style.



Figure 4. 73-77 Bourke Street, constructed c1880 (Source: Vogue Australia 2014)

189-195 Exhibition Street (HO630, Significant in HO507 Little Bourke Precinct)

A row of two-storey brick shops with residences above and a basement below. Built in 1882 in the Renaissance Revival style.



Figure 5. 189-195 Exhibition Street, constructed 1882.

Bourke Mews, 32-38 Bourke Street (HO529, Significant in HO500 Bourke Hill Precinct)

A row of four three-storey shop/residences with basement parking. Designed by Edward G Kilburn in the Italian Renaissance Revival style and built by TJ Taylor in 1892



Figure 6. Bourke Mews, 32-38 Bourke Street, constructed 1892.

146-150 Bourke Street, 1885 (Interim HO1244 – Recommended as significant in the Hoddle Grid Heritage Review)

A row of four three-storey shops with residences above. Built by investors F B Clapp and W G Sprigg in 1885.



Figure 7. 146-150 Bourke Street constructed 1885. (Source: Context 2018)

209-215 Bourke Street, 1876 (Interim HO1240 – Recommended as significant in the Hoddle Grid Heritage Review)

A row of four three-storey shops with residences above. Built by investors F B Clapp and W G Sprigg in 1876.



Figure 8. 209-215 Bourke Street constructed 1876. (Source: City of Melbourne 2018)

201-207 Bourke Street compares to the examples above as a row of shop/residences built in the late Victorian era. Consistent with the examples above, shopfronts at ground level have been altered but the upper façade retains its classical styling.

ASSESSMENT AGAINST CRITERIA

✓ **CRITERION A**
Importance to the course or pattern of our cultural or natural history (historical significance).

CRITERION B
Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).

CRITERION C
Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).

✓ **CRITERION D**
Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).

CRITERION E
Importance of exhibiting particular aesthetic characteristics (aesthetic significance).

CRITERION F
Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)

CRITERION G
Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).

CRITERION H
Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

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PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985** D

**Central City Heritage
Study 1993** C

**Review of Heritage
overlay listings in the
CBD 2002** Ungraded

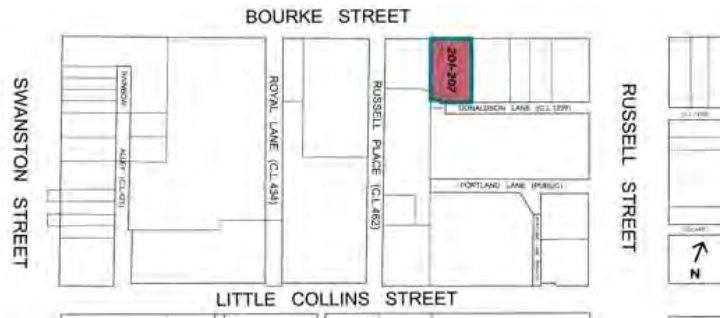
**Central City Heritage
Review 2011** Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Shop and residences



PS ref no: Interim HO1239



What is significant?

The row of shops and residences at 201-207 Bourke Street, Melbourne, built in 1874.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing;
- The building's high level of integrity to its original design;
- Balustraded parapet with pedestals;
- Decorative band with vertical markings that runs the full length of the façade at sill height;
- Upper façade detailing including deep cornices with dentil course below; square brackets; quoining at the building's corners; square windows with decorative moulded architraves (upper level); deep moulded architraves, window hoods, scroll brackets and key stone to windows at the mid-level; and
- Moghul-inspired stilted arch windows (No.207).

Later alterations made to the street level facades are not significant.

How it is significant?

201-207 Bourke Street, Melbourne is of local historic and representative significance to the City of Melbourne.

Why it is significant?

201-207 Bourke Street is historically significant as a late Victorian building that represents a key phase in the retail development of Melbourne when increasing numbers of investors developed retail premises in the city during the building boom of the 1870s and 1880s. Built in 1874 for investment partners F B

Clapp and W G Sprigg, who developed up to 12 similar properties along Bourke Street between 1873 and 1885, 201-207 Bourke Street, is typical of retail buildings of the Victorian-era that housed retail outlets at ground level and residences and workspaces for business-owners on the floors above.

(Criterion A)

207 Bourke Street is historically significant for its demonstration of its former use as an office for the cyclorama operating from 166-186 Little Collins Street in the 1890s, and once physically connected to no.207. This historical association is evident in the different window pattern to no.207. (Criterion A)

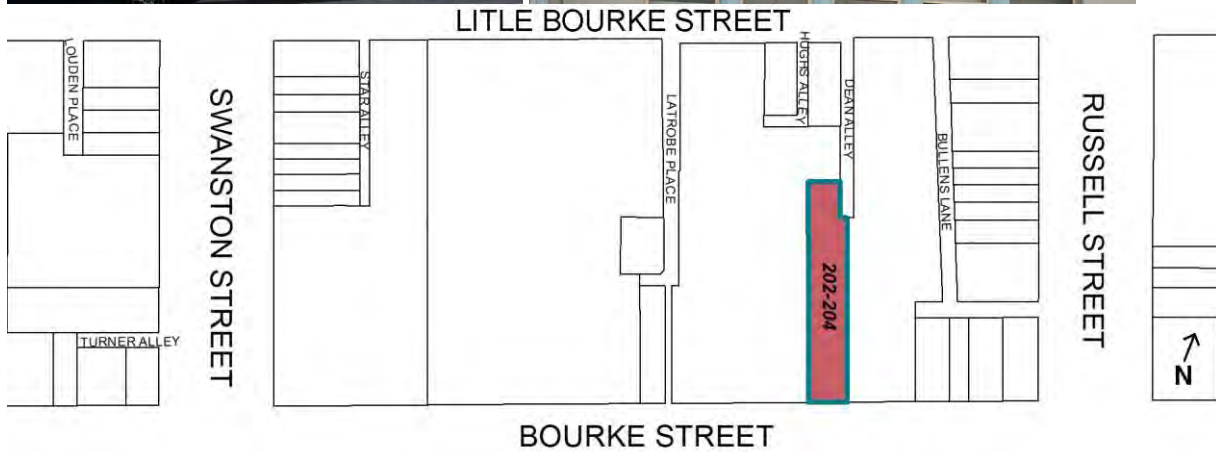
The three shops at 203-207 Bourke Street are historically significant for their association with hatter George Mountford and their occupation from the mid-1920s by well-known shoe retailer Mountfords. From the mid-1930s the business contracted to the two shops at 205-207 Bourke Street where it continues to operate as Mountfords. (Criterion A)

201-207 Bourke Street is a fine example of a row of shops with residences above built in the mid-Victorian era and characterised by stucco detailing. Built as one unified arrangement with Renaissance revival influences, the upper façade of the 201-205 Bourke Street retains the classical styling typical of the period. (Criterion D)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Former Sharpe Bros Pty Ltd
STREET ADDRESS	202-204 Bourke Street Melbourne
PROPERTY ID	101203



SURVEY DATE: October 2018

SURVEY BY: Context

HERITAGE INVENTORY	N/A	EXISTING HERITAGE OVERLAY	No
PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
DESIGNER / ARCHITECT / ARTIST:	H W & F B Tompkins	FORMER GRADE	C
		BUILDER:	A F Deague
DEVELOPMENT PERIOD:	Interwar Period (c1919-c1940)	DATE OF CREATION / MAJOR CONSTRUCTION:	1935 1937 (top floor added)

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here.
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a commercial city	5.4 Developing a retail centre
	OTHER SUB-THEMES
3 Shaping the urban landscape	3.2 Expressing an architectural style

LAND USE

HISTORIC LAND USE	
Archaeological block no: 30	Inventory no: Inventory not provided.
THEMATIC MAPPING AND LAND USE	
1890s	Manufacturing, Museum
1920s	Retail, Theatres and cinemas
1960s	Retail

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

202-204 Bourke Street is a four-storey interwar commercial building built in 1935 in the interwar Moderne style to a design by Melbourne architects H W & F B Tompkins. It functioned as the successful department store of Sharpe Bros Pty Ltd from 1935 to 1963 and continued operating as a department store until c1970.

HISTORICAL CONTEXT

Building a commercial city

Developing a retail centre

Department stores offered customers a wide range of goods, organised into 'departments', under the one roof. In Melbourne, department store Buckley and Nunn, which opened in 1854, established Bourke Street as the preferred retail strip. Russian immigrant Sidney Myer bought a block in Bourke Street in 1911, where he established his successful Myer emporium (Context 2012:43).

To the east of the Bourke Street retail centre, the section of Bourke Street between Russell and Swanston streets played a major role in Melbourne's social and leisure pursuits from the late-nineteenth century. The Theatre Royal, St Georges Hall, Melbourne Coffee Palace, and Kreitmayer's wax museum, all on the northern side of Bourke Street, attracted visitors. Multiple billiard rooms, cafés, restaurants and hotels were also located in the same strip. By the mid-1920s, three picture theatres opened in the same block (Mahlstedt Map section 1, no 22, 1888; section 1, no 7, 1925).

After 1920, chain department stores grew rapidly, opening branches or new stores in central Melbourne. Department stores elevated 'fashion, drapery and furnishings to a level of luxury and range which differentiated it from the everyday or rural emporium' (Young and Spearritt 2008). With increasing car ownership and widespread distribution of shopping catalogues, by the 1920s department stores attracted shoppers from both the suburbs and rural areas, consolidating the central Melbourne area as the state's preferred retail destination.

To accommodate growing demand for retail stores in central Melbourne, by the 1930s, former businesses in the block east of Bourke Street mall were quickly replaced with clothing retailers and chain department stores. Designed by architect Harry Norris, a new six-storey building was built for the drapers Foy & Gibson at the corner of Swanston and Bourke streets, and an eight-storey building was built in 1932-35 to a design by architect Marcus Barlow at the corner of Russell and Bourke streets, for successful Gippsland merchant Norman Sharpe's drapery emporium (Butler 2011:61; S&M 1933-38; Young & Spearritt 2008).

Shaping the urban landscape

Expressing an architectural style

The interwar period brought with it a jump in tall building construction in the central city, made possible by the use of structural steel and reinforced concrete framing. In response, a height limit was imposed by Melbourne City Council in 1916, dictated by the limitations on fire-fighting at that time. A maximum height of 40 metres (132 feet) was introduced for steel and concrete buildings, a limit that was not broken until the 1950s. Architects experimented with a range of styles to express the increased height in buildings.

Some styles adapted the classical styles from earlier periods. Commercial buildings in the 1920s were mainly of the Commercial Palazzo style, as exemplified by Harry Norris's Nicholas Building in Swanston Street (1925). The style was an early attempt at creating a style suitable for the tall building. It was divided into a base, shaft and cornice, much like a Renaissance palazzo. The scale, however, was greatly enlarged, with the shaft stretching up to ten storeys.

Other styles were more closely associated with the modern movement and expressed a more dynamic and streamlined aesthetic. Emphasis was placed on the horizontal or vertical composition of

a building to accentuate certain qualities of the building. In styles such as the Commercial Gothic style and the Jazz Moderne, vertical fins and ribs were used to accentuate the height of buildings. Landmark examples include, respectively, Marcus Barlow's Manchester Unity Building, Collins Street (1929-32) and the Tompkins Bros' Myer Emporium in Bourke Street (1933). (Context 2012:19-20). The Moderne style typically expressed the horizontal plane with continuous bands of steel framed windows and masonry spandrels running across the full width of a façade, and often returning around a curved corner. A landmark example is Harry A Norris' Mitchell House at 352-362 Lonsdale Street (1937).

SITE HISTORY

The land at 202-204 Bourke Street, Melbourne, is part of Crown Allotment 7, Block 22, purchased by George Chisholm in September 1837 (DCLS c1839). By the 1870s, the site was addressed as 99-101 Bourke Street East, and occupied by a pair of two-storey buildings to Bourke Street and a single-storey structure at the rear. In 1888, the Bourke Street buildings housed the London and American Tailoring Co (99 Bourke Street East) and Melbourne's sole waxworks factory (101 Bourke Street East) (Mahlstedt Map section 1, no 22, 1888). Maximilian Ludwig (Max) Kreitmayer operated the waxworks from the early 1870s, which became one of Bourke Street's well-known entertainment venues featuring a range of theatrical programs including vaudeville and magicians (Colligan 2005). Kreitmayer died in 1906, and the business was continued by his widow Mrs H M Kreitmayer until the early 1930s, later incorporating a picture theatre, the Star Picture Theatre, in the building by the 1920s (Mahlstedt Map section 1, no 7, 1910 & 1925; S&Mc 1933; Colligan 2005). In the early 1930s, the Mack Furnishing Company occupied the premises (S&Mc 1933; *Argus* 30 May 1934:5).

In May 1934, solicitors Madden, Butler, Elder & Graham acquired, on behalf of the merchants Richard Allen & Sons Pty Ltd, three buildings on the northern side of Bourke Street formerly owned by Hoyts Theatres Ltd. The site with a total frontage of 30 metres (100 feet) included 202-204 Bourke Street and adjoined two interconnected buildings at 206 (Sharpe Bros Drapers) and 208-212 (Hoyts Theatres Ltd, formerly Strand Picture Theatre) Bourke Street. Although no plans were announced, it was anticipated that a department store would be erected (*Argus* 30 May 1934:5; *Herald* 29 May 1934:1; Mahlstedt Map section 1, no 7, 1925; S&Mc 1933).

In October 1934, Shape Bros Pty Ltd, then located at 206-208 Bourke Street and 188 Bourke Street, confirmed plans to erect a new three-storey department store on the narrow allotment measuring 33 by 200 feet at 202-204 Bourke Street, which was still in possession of Richard Allen & Sons (RB 1936; *Weekly Times* 13 October 1934:17).

In 1905, the Sharpe brothers, Woolf and Maurice, opened a small shop in the Gippsland town of Sale. The retail drapery business prospered with an aggressive newspaper advertising policy and free mail order catalogues. By 1926, the brothers had moved their enterprise to a leased shop at 188 Bourke Street, Melbourne, and other family members, Norman and Cecil Sharpe, became engaged in the Melbourne enterprise. By 1935, Norman Sharpe established an eight-storey drapery emporium designed in interwar Moderne style which he named Norman's Corner Store, at the northwest corner of Bourke and Russell streets. The *Gippsland Times* called the family's success 'a real romance of Australian enterprise and courage' (*Gippsland Times* 9 September 1954:3).

The architects H W & F B Tompkins were appointed to design the new Moderne style building at 202-204 Bourke Street (Figure 1), and the builder was A F Deague from North Carlton. The estimated

total cost for the construction of the brick shop and warehouse was £10,000 (*Weekly Times* 13 October 1934:17; 19 January 1935:23).



Figure 1. Illustration prepared by H W & F B Tompkins for the Sharpe Bros' new premises at 202-204 Bourke Street. (Source: *Weekly Times* 19 January 1935:23)

The building featured a passenger lift and extensive floor space with a frontage of 33 feet and a depth of 153 feet, with a modern display window, on either side of the corridor-like lobby, occupying a further 32 feet of depth. A range of goods was available in the new department store, including clothing, underwear, corsets and Manchester. The firm also announced a considerable extension of its mail order department to service the needs of country customers (*Weekly Times* 19 January 1935:23).

In January 1935, the Sharpe Bros department store opened in the new three-storey brick building at 202-204 Bourke Street, only a short distance (a few buildings) away from the Moderne style Norman Sharpe's Corner Store (*Herald* 2 February 1935:11).

A fourth floor was added in 1937, at a cost of £3300 (MBAI 19007; RB 1939). The verticality of the original design was further amplified with the new addition, with the exterior vertical fins extended to the full upper section from the first to third levels (Figure 1).

In 1954, after 20 years of leasing the building, Sharpe Bros purchased the subject property for £185,000 (RB 1955; *Age* 3 July 1954:3).

In 1956, the premises underwent various upgrades, including changes to the shop front, and the installation of a ventilation system and a false ceiling in the ground floor. The total cost for the 1956 building works was £10,383 (MBAI 30267; 30380; 30379 & 30634).

Sharpe Bros traded at the subject building for 28 years, until 1963. In June 1963, a two-day auction was held at the premises to sell all shop fittings, furniture and machinery, including cash registers and typewriters (*Age* 8 June 1963:34)

In 1963, the property was acquired by Waltons Ltd. At that time, Waltons Ltd operated department store and retail drapery chain brands such as Waltons Store and Treadways Pty Ltd. From the mid-1930s, Treadways had been connected with the adjoining building at 206-218 Bourke Street. It was one of their four stores in Victoria (*Age* 29 March 1963:6). In 1965, Waltons owned both buildings at 202-204 and 206-218 Bourke Street, trading as Treadways at 202-204 (Figure 2) and as Waltons Store at 206-218 (RB 1965).

In 1969, coinciding with the closure of Treadways after thirty years of trade in Bourke Street, the subject property was sold by Waltons Ltd to Katies Ltd, then one of Australia's largest chains of women's fashion brands. In 1969, a major alteration to the building (details unknown) for Katies Ltd was carried out at a cost of \$100,000, followed by several substantial alterations to ground and first floor levels throughout the 1970s (MBAI 41844; 47220; 48174 & 49494). In 1974, 202-204 Bourke Street was shared by Katies Ltd and the former proprietor Waltons Ltd, the latter of which rented the two upper levels for their use as offices (RB 1975).

Between 1965 and 1974, the Sands & McDougall street directory listed the subject building as part of the adjoining property at 194-200 Bourke Street, which became known as Mid City Cinema, but this may be an error, as the properties were owned by different proprietors during the same period, and the conjoined use is not evidenced by the City of Melbourne rate books (S&Mc 1965-1974; RB 1965-1974).



Figure 2. Exterior of 202-204 Bourke Street in 1969, then occupied by Treadways. (Source: *Age* 12 June 1969:13)

According to the Mahlstedt Fire Survey plan published in 1948 (see Figure 4), which was amended in the early 1960s, the shop at 202-204 Bourke Street was interconnected with the Waltons Store at 206-218 Bourke Street, and had a rear access from Dean Alley (Mahlstedt Map Section 1, no 7, 1948). Access to upper levels on the principal elevation was added post-1960s (not shown in the Mahlstedt plan last amended c1960).

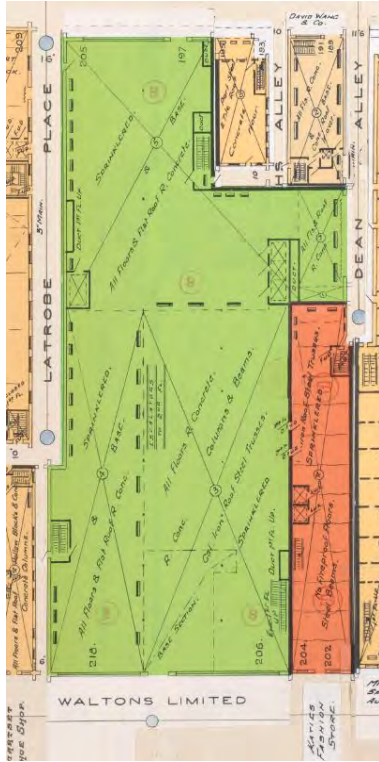


Figure 3. Detail from a 1948 (amended during the 1960s) Mahlstedt plan shows the shop at 202-204 Bourke Street (shaded in red) in the late 1960s. Note the openings on the western elevation of the subject property, which allowed accessed to 206-218 Bourke Street (shaded in green). (Source: Mahlstedt Map Section 1, no 7, 1948)

In 1981, further alterations to the building were carried out for \$70,000. Around the mid-1980s, the formerly co-joined premises at 202-204 and 206-218 Bourke Street may have been disconnected, with the latter being extensively redeveloped as the 'Village Cinema City' by the Village Theatre group (MBAI 54433; *Age* 15 February 1984:4). In 1988, the subject building was refurbished for \$320,000, and in 1989, a new shop fit-out was installed on the ground and first floors at the cost of \$150,000 (MBAI).

The property was converted to a police station in 2019 (CoMMaps).

H W & F B Tompkins, architects

The Encyclopedia of Australian Architecture contains the following entry for architects H W & F B Tompkins:

H. W. & F.B. TOMPKINS, architects were established in 1898 when the brothers won a design competition for the Commercial Travellers Association CTA Clubhouse, 190 Flinders Street, Melbourne. Henry Harry William (1865-1959) and Frank Beauchamp

Tompkins (c1867-1952) were born in England and educated in South Africa. They migrated to Australia with their parents in 1886. Harry became an assistant architect to Richard Speight Jnr and Frank worked with a number of architects including Evander Mclver and Nahum Barnet. By the mid-1890s Harry had entered a partnership, forming Speight & Tompkins of 493 Collins Street, Melbourne. He left the partnership in 1896 to take up a position in the Western Australia Public Works Department, but was retrenched in 1898 and returned to Melbourne and formed the partnership of H.W. & F.B. Tompkins (Beeston 2012:707-708).

The competition win established the firm and by the early 20th century, H.W. & F. B. Tompkins was a leading commercial firm. Their commercial work up to WWII reflects the three influences popular at the time: the Romanesque style popularised by such architects as H.H. Richardson in the United States during the late 19th century; the Baroque Revival of the early 20th century, popular in Chicago and San Francisco after 1908; and the Moderne or interwar functionalist style of the 1930s. Both Harry and Frank travelled to the United States and Europe, studying the latest trends in design and construction technology. They were the first architects in Melbourne to implement modern methods of steel frame construction and reinforced concrete in the Centre Way, Collins Street 1911 and the new Commercial Travellers' Association Clubhouse and Commerce House, 318-324 Flinders Street (1912). In 1913, the firm's association with Sidney Myer began with a warehouse building in Bourke Street, the first of many Myer commissions (Beeston 2012:707-708).

Harry Tompkins and Sidney Myer travelled in the United States visiting department stores, including the Emporium in San Francisco, which is reputedly the influence for the Myer Emporium in Bourke Street, Melbourne (Beeston 2012:707-708).

Harry Tompkins, the public face of the firm, was a prominent member of the RVIA; he was a council member (1905-), vice-president (1913) and president (1914-16). Harry was also president of the Federal Council of the AIA (1918-19) and mayor of Kew, the suburb in which he lived, for the same period (Beeston 2012:707-708).

The firm is one of the longest surviving in Victoria. In the 1950s it became Tompkins & Shaw when P.M. Shaw entered the partnership and then Tompkins, Shaw & Evans when Stan Evans joined. In 2003 it was acquired by Michael Davies Associates, forming a new firm, Tompkins MDA Group (Beeston 2012:707-708).

SITE DESCRIPTION

The subject site is located on the north side of Bourke Street between Swanston and Russell streets. The building at 202-204 Bourke Street is a four-storey, narrow fronted commercial building with elements representative of the interwar Moderne style. The building demonstrates the symmetry, strong vertical emphasis with projecting mullions terminating in fins above the Art Deco parapet and other characteristics typical of the style.

The façade to Bourke Street is painted render, over brick masonry structure. The detailed elements are precast concrete or overpainted glazed terracotta. The façade is punctuated by five equal width vertical panels of glazing separated by narrow mullions that terminate in finials projecting above the

deep, stepped and articulated parapet. There is a solid vertical panel at each end of the façade. A centrally located flagpole, a feature of the original, is still in place, fixed to the rear of the parapet.

The original steel framed multi-paned windows survive at the upper three levels, with each module comprising two fixed and two opening rectangular sashes, all of which are an identical size with horizontal emphasis.

The ground floor has been altered with a contemporary shopfront. Above the ground floor is a cantilevered box awning.

INTEGRITY

The building above street level is largely intact incorporating details from the 1937 elevation with very few changes visible to original or early fabric. The building retains the original glazing pattern and frames, vertical finials and a deep stepped Art Deco parapet with original or early flagpole. The upper level was added two years after the building's construction in 1935, extending the vertical finials and creating the current parapet. The building also retains its original built form and scale, and evidence of its original materials, with a highly intact façade above ground level. At street level the shop fronts have been replaced over time. Overall, the building is of a high integrity.

COMPARATIVE ANALYSIS

Structural steel and reinforced concrete framing became popular building materials in interwar Melbourne, inspired by Chicagoan architecture in the late nineteenth and early twentieth centuries. Departing from load-bearing brick walls, many examples employed these new building methods that allowed windows to become larger and more prominent on façades, while also facilitating increased building heights.

The interwar department store and commercial buildings in Melbourne often utilised the Commercial Palazzo, Chicagoesque or Moderne styles, as seen in landmark examples and other office/retail buildings around the city. Art Deco elements of the Moderne style are characterised by strong verticality or horizontality of the design, and the use of non-historic ornaments.

The following examples in Melbourne are comparable with 202-204 Bourke Street, being of a similar use, scale, location and/or creation date. The images and descriptions are adapted from CoM Maps unless stated otherwise, with images dated c2000 or later.

Former Patersons Pty Ltd, 152-158 Bourke Street, 1934 (Interim HO1266 – Recommended as significant in the Hoddle Grid Heritage Review)

The former Patersons Pty Ltd Building was built in 1934 for the Paterson family as a furniture retailing outlet. The building was designed by architect Arthur W Purnell and is a fine example of a Moderne façade from the interwar period.



Figure 4. Former Patersons Pty Ltd 152-158 Bourke Street, built in 1934.

Myer Emporium, 314-316 Bourke Street, 1933 (VHR H2100; HO542, Significant in HO509 Post Office Precinct)

Myer Emporium building is a seven-storey rendered concrete department store with basement, designed by H W & F B Tompkins and built by C Langford in 1933. The Bourke St Mall store was first opened in 1911 and continues to trade today as the flagship in the Myer department store chain.



Figure 5. Myer Emporium, 314-316 Bourke Street, built in 1933.

Akira House, 18 Queen Street, 1937 (VHR H0397; HO729)

Akira House is a 10-storey reinforced concrete former office building. It features a striking facade of black, green and grey terracotta faience tiles. Designed by James H Wardrop in the Jazz Moderne style, it was built by Swanson Bros in 1937 at a cost £11,000. Originally of six storeys a further four were added when the building was refurbished, subdivided and converted to apartments in 1998.



Figure 6. 18 Queen Street, built in 1927.

Norman's Corner Store, 180-182 Bourke Street, 1935 (HO1000)

The former Norman's Corner Store is an eight-storey brick office building with basement and ground level retail. Formerly a three-storey warehouse it was purchased by Mr Norman Sharpe from the clothier Leopold Leber in 1932 for £38,000. The current eight-storey building was built in 1935 to a Jazz Moderne style design by Marcus Barlow. It was subdivided into 23 commercial units in 2003.



Figure 7. Norman's Corner Stores, 180-182 Bourke, built in 1935.

Rockman's Showrooms Pty Ltd, 188 Bourke Street, 1937 (Recommended as significant in the Hoddle Grid Heritage Review)

188 Bourke Street is a three-storey interwar commercial building designed in 1937 in the interwar Moderne style, with Art Deco elements, by Melbourne architects H W & F B Tompkins. It was occupied by frock sellers Rockman's Showrooms from 1937 to the 1960s. Rockman's established a chain of department stores across regional Victoria and New South Wales.



Figure 8. 188 Bourke Street, built in 1937.

The former Sharpe Brothers building at 202-204 Bourke Street is largely intact to its 1935 and 1937 configuration. The building is a good representative example of a 1930s Moderne style retail building. In comparison to some of the larger scale examples currently on the City of Melbourne's Heritage Overlay (HO), it is more limited in the extent to which it demonstrates these characteristics. Designed by the same architects H W & F B Tompkins a few years earlier, the Myer Emporium at 314-316 Bourke Street (VHR H2100; HO542) is one of the best examples of this style of architecture in the central city area. Demonstrating a restrained use of the style, the subject building exhibits similar elements that are typical of the style such as vertical bays of windows separated by prominent mullions and articulated parapet. Another VHR-listed example Akira House at 18 Queen Street (VHR H0397; HO729) also represents similar architectural style. Despite its retention of exposed faience tile cladding, Akira House's integrity has decreased by its substantial upper-level additions. Retaining its original form and scale, the subject building has a higher degree of integrity.

It is most closely comparable to the Rockman's Showrooms at 188 Bourke Street (recommended as individually significant in HGHR) for its overall design and basic palette of materials. Similar finned mullion and parapet details are shared by both buildings, but some of the windows to 188 Bourke Street have been replaced, whereas those of 202-204 Bourke Street are original. The two buildings at 188 and 202-204 Bourke Street also share a historical theme as successful department stores, which were established in the 1930s in the block to the east of the traditional retail centre between Swanston and Elizabeth streets (today known as Bourke Street Mall), to accommodate growing demand for retail stores in central Melbourne. The subject building also compares well to other interwar retail buildings Norman's Corner Store at 180-182 Bourke Street (HO1000) or former

Patersons Pty Ltd at 152-158 Bourke Street (Interim HO1266), which are slightly larger in scale.

Overall, 202-204 Bourke Street is a modestly scaled, yet largely intact example of the Moderne style.

ASSESSMENT AGAINST CRITERIA

✓	<p>CRITERION A Importance to the course or pattern of our cultural or natural history (historical significance).</p>
	<p>CRITERION B Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).</p>
	<p>CRITERION C Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).</p>
✓	<p>CRITERION D Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).</p>
	<p>CRITERION E Importance of exhibiting particular aesthetic characteristics (aesthetic significance).</p>
	<p>CRITERION F Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)</p>
	<p>CRITERION G Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).</p>
	<p>CRITERION H Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).</p>

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

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Young and Spearritt 2008, 'Department Stores' in *eMelbourne*, School of Historical and Philosophical Studies, The University of Melbourne, <http://www.emelbourne.net.au/biogs/EM00459b.htm>, accessed 16 June 2017.

PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985** D

**Central City Heritage
Study 1993** C

**Review of Heritage
overlay listings in the
CBD 2002** Ungraded

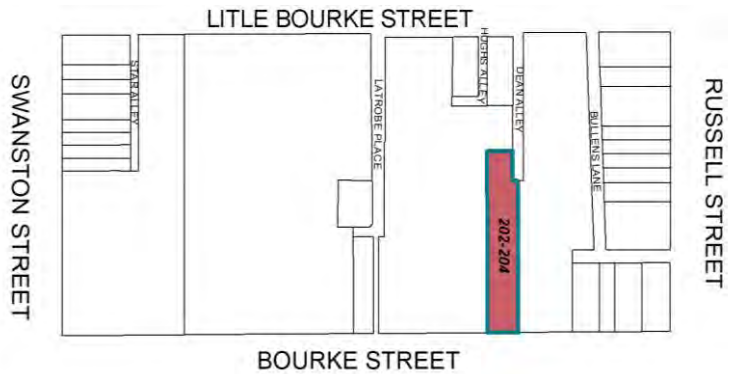
**Central City Heritage
Review 2011** Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Former Sharpe Bros Pty Ltd



PS ref no: HOXXXX



What is significant?

The Sharpe Bros Pty Ltd building (former) at 202-204 Little Bourke Street, Melbourne, a four-storey department store built in 1935 and added to in 1937.

Elements that contribute to the significance of the place include (but are not limited to):

- The original building form and scale and 1937 addition;
- The original symmetrical façade geometry and fenestration, including recessed spandrels; projecting mullions and rooftop fins, articulated parapet and flagpole; and
- The original steel windows at the upper levels.

Later alterations made to the street level facade, including the awning, are not significant.

How it is significant?

202-204 Bourke Street, Melbourne, is of local historic and representative significance to the City of Melbourne.

Why it is significant?

The former Sharpe Bros building at 202-204 Bourke Street is historically significant for the evidence it provides of an important phase in Melbourne's retail history: the rise in popularity of the department store from the 1920s in the central city. In particular, 202-204 Bourke Street demonstrates the 1930s development of retailing in the area east of the traditional retail centre between Swanston and Elizabeth

streets (today known as Bourke Street Mall). This section of Bourke Street between Swanston and Russell streets traditionally played a major role in Melbourne's social and leisure pursuits. Former businesses in that block were quickly replaced in the 1930s with clothing retailers and chain department stores, to accommodate growing demand for retail stores in central Melbourne, that was stimulated by increasing car ownership and widespread distribution of shopping catalogues. Built in 1935 to a modern design by architects H W & F B Tompkins, replacing a former wax museum and theatre, 202-204 Bourke Street represents the changed character of the area during the interwar period. (Criteria A)

202-204 Bourke Street is also of historical significance for its association with the successful retail business Sharpe Bros Pty Ltd from 1935 to 1963. The Sharpe brothers, Woolf and Maurice, began their retail drapery business in a small shop in the Gippsland town of Sale in 1905. The business prospered with an aggressive newspaper advertising policy and free mail order catalogues. By 1926, the brothers had moved their enterprise to a leased shop at 188 Bourke Street. In January 1935, the Sharpe Bros department store opened in the new three-storey brick building at 202-204 Bourke Street with considerably extended mail order department for country customers. A fourth floor was added in 1937, and, in 1954, after 20 years of leasing the building, Sharpe Bros purchased the property and upgraded the premises in 1956. (Criterion A)

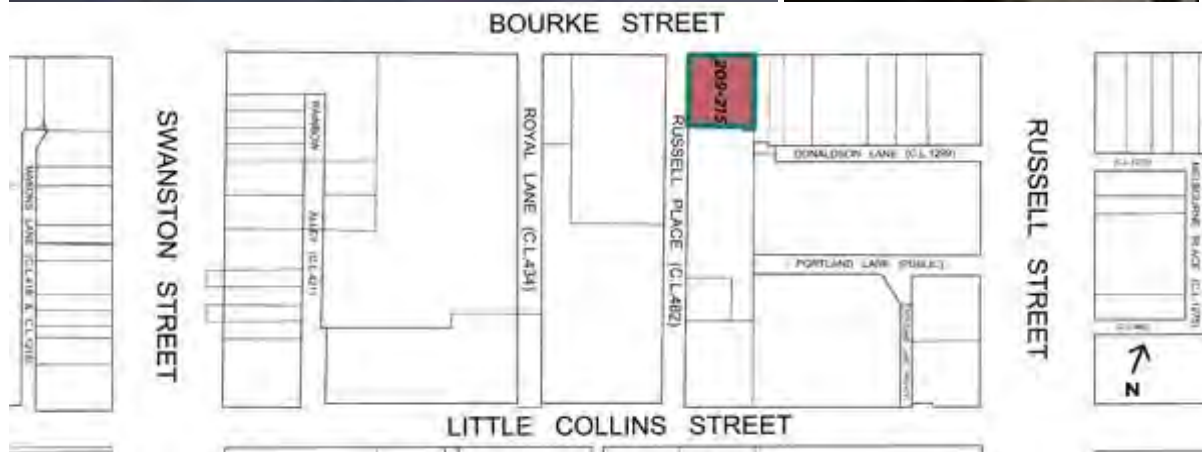
202-204 Bourke Street belongs to a class of places: 'interwar commercial buildings'. It is representative of the small-scale wave of development in central Melbourne during the later interwar period that replaced the lower-scale buildings dating from the late nineteenth and early twentieth century. (Criteria A and D)

202-204 Bourke Street is significant as a modestly scaled and restrained but largely intact example of a Moderne style building, an extremely popular style in the later interwar period. Such buildings often utilised the engineering benefits of steel and concrete frame structures to maximise window areas and to provide flexibility for external articulation and decoration, and the dynamic and streamlined aesthetic of the Moderne style. The building was designed by the eminent firm of Melbourne architects H W & F B Tompkins, who designed a number of other Melbourne buildings in the Moderne style during the same period. The design and details demonstrate characteristics typical of the Moderne style such as the symmetry, strong vertical emphasis with projecting mullions terminating in fins above the deep articulated parapet and has a high degree of integrity. It retains these characteristic features, including all of its original steel framed windows, which have been replaced in many other examples. (Criterion D)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Shop and residences
STREET ADDRESS	209-215 Bourke Street Melbourne
PROPERTY ID	101133



SURVEY DATE: October 2017		SURVEY BY: Context	
HERITAGE INVENTORY	H7822-1629	EXISTING HERITAGE OVERLAY	No
PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
DESIGNER / ARCHITECT / ARTIST:	Not known	FORMER GRADE	C
BUILDER:		BUILDER:	James Moore
DEVELOPMENT PERIOD:	Victorian Period (1851-1901) Victorian Period (1851-1901)	DATE OF CREATION / MAJOR CONSTRUCTION:	1876

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Stage 2 Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a Commercial City	5.4 Developing a retail centre
	OTHER SUB-THEMES
3 Shaping the urban landscape	3.2 Expressing an architectural style

LAND USE

HISTORIC LAND USE	
Archaeological block no: 38	Inventory no: 629
Character of Occupation: Commercial	
Third land sale 1838, Allotment purchased by Thomas Walker.	
1855 Kearney	
1866 Cox	Building on site
1877 Dove	Four three-storey buildings; Luncheon rooms, Tobacconist, Jeweller.
1880 Panorama	
1888 Mahlstedt	Four three-storey buildings; Bookshop, Jeweller, Tailor.
THEMATIC MAPPING AND LAND USE	
1890s	Retail, Residential
1920s	Retail
1960s	Retail

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

This three-storey, late Victorian building is comprised of four shops with residences above. The upper façade presents a unified arrangement and exhibits the classical styling typical of the period.

HISTORICAL CONTEXT

Building a Commercial City

Developing a retail centre

Even before the early 1850s, Melbourne had established the foundational infrastructure for international trade and commerce, including retail markets, shipping agents, and industry and finance houses - the beginnings of an entrepreneurial global city (Context 2012:2).

Retailing in Melbourne gained official recognition when eight market commissioners were elected in 1841 from a roll of local voters. The commissioners established the Western Market, which became the principal place for selling fresh food, with many goods transported from Melbourne to pastoral settlements. At this time Melbourne's population was 4479, and Australia's was 20,416 (Young and Spearritt 2008). The growth of retailing was accompanied by the construction of warehouses to store goods.

By the early 1840s, Elizabeth and Swanston streets, from the Town Hall in the east to the General Post Office in the west, had become the focus of retail activity, influenced also by the location of the Western Market in the west of the city. The Eastern Market opened in 1847 as a fruit and vegetable market on the corner of Stephen Street (later Exhibition Street) and Bourke Street and drew retail further east. The department store Buckley and Nunn opened in 1854, establishing Bourke Street as the preferred retail strip.

Retail premises in the nineteenth century and the early twentieth century generally included upper-level accommodation for families involved in the business. Multi-storey shop and dwelling type buildings housing ground-level shop with rooms above were constructed across the retail strips of Melbourne, and three- or more storied commercial and retail buildings began to proliferate between Bourke and Lonsdale streets from the late 1880s (Lovell Chen 2017:220).

Shaping the urban landscape

Expressing an architectural style

Melbourne witnessed a building boom, both commercial and residential, in the 1870s and 1880s. The 1880s property boom made its mark on commercial design in the central city, with a new, bold generation of architects. Boom Style commercial buildings, such as William Pitt's Windsor Hotel and the Block Arcade, were characterised by increasingly rich decoration, Mannerist exaggeration of elements like keystones and segmental pediments, and the use of multiple classical trabeated and arcuated schemes overlaid one atop the other, until flat wall space was diminished to a bare minimum. While Renaissance and Italianate influences are most closely associated with Melbourne's Boom Style, a similar treatment of materials and facades was used for Gothic Revival buildings (Context 2012:17).

SITE HISTORY

209-215 Bourke Street, which forms part of the Crown Allotment 13, Block 11, was purchased by Thomas Walker, merchant, banker and benefactor, after his arrival in Melbourne in 1837. It was one of four Bourke Street allotments Walker owned (Joy 1967). In the 1850s, four commercial and residential buildings owned by G K Johnston, auctioneer, occupied the subject site (Bibbs 1856; RB 1873-4).

Replacing the earlier buildings, the current four shops with dwellings above were erected in 1876 for the investment partnership of F B Clapp and W G Sprigg (RB 1876). Each of the three-storey brick shops, constructed by builder James Moore, had a ground retail space and a five-room residence at the upper levels (RB 1876-7). The adjoining row of four shops and dwellings at 201-207 Bourke Street, completed two years earlier for Clapp and Sprigg by the same builder, were constructed in the same manner (MCC registration no 6640, as cited in AAI record no 73786).

William Gardiner Sprigg (1832-1926) was the Melbourne Omnibus Co's secretary from 1868 until he was appointed assistant manager in 1890, and by 1909 he had become a director following the resignation of H A Wilcox. Sprigg was engaged with the operation of the Melbourne Omnibus Co until it was dissolved due to liquidation in the late 1910s (*Argus* 14 June 1919:10; 16 October 1920:20).

With his colleague at the Melbourne Omnibus Co, Francis Boardman Clapp (1833-1920), Sprigg was involved in developing at least 12 other premises along Bourke Street between 1873 and 1885, including the rows of shop and dwellings at 146-150 and 201-207 Bourke Street (MCC registration no 6299, 1054 & 5597, as cited in AAI Index record no 76823, 73836 & 73774; RB 1874-1877).

Clapp and Sprigg owned the subject properties for no longer than two years. Between 1876 and 1927, the City of Melbourne rate books noted that the owners were the executors of the late Mrs Martha McIntosh (RB 1877-1926). In 1926, at the behest of Mrs McIntosh, the subject property passed into the ownership of the Royal Melbourne Hospital (*Age* 23 June 1926:13).

The first tenants of the shops at 209 to 215 Bourke Street, respectively, were Mrs E G Abbott, confectioner; Mrs F Shuttleworth, fruiterer; Downie Brothers, tailors; and C Hoffman, tobacconist (S&Mc 1876-7).

The shops were then occupied by businesses including manufacturers and retailers. In 1900, the two shops at 209-211 Bourke Street were occupied by Mary Williams's luncheon room, and in the early 1910s, the three shops 209-213 were merged into one for the Posner Bros, jewellers, who formerly ran a same named shoe and boot manufacturing business at the shops at number 209 and 207 in the early 1900s (S&Mc 1901-1904). According to the City of Melbourne Fire Survey plans published and edited during the 1910s, not only were the shops internally merged, but the shop fronts at 209-213 Bourke Street were extensively altered to include a central doorway and large windows on both sides (Mahlstedt Map Section 1 No 11, 1910).

Posner Bros leased the properties until the mid-1920s when the building was again refurbished to house four shops (Mahlstedt 1910; Mahlstedt 1925; RB 1891-1920). From the early 1910s, a mercer shop, operated by G Mountford Jnr, son of George Mountford, hatter, at the neighbouring building at 205 Bourke Street, occupied 215 Bourke Street (S&Mc 1915-1930). In 1942, the same business was still trading in the shop (Figure 1) (S&Mc 1942).

In July 1938, 209-215 Bourke Street was auctioned. The property was withdrawn without a bidder and was still owned by the hospital in 1945. It came into the possession of the Melbourne City Council in the 1950s (RB 1945-50; *Age* 8 July 2000:45).

Throughout the rest of the twentieth century, the subject property was leased to retailers, and now contains two shops (CoMMaps). Today, the shops at number 209-211 remain interconnected with the neighbouring shops at 205-207 Bourke Street.



Figure 1. 209-215 Bourke Street in the 1940s. Wall painted signage for G Mountford junior's mercer shop is at 215 Bourke Street. (Source: Commercial Photographic Co c1940s, SLV)

SITE DESCRIPTION

The row of four three-storey shop and dwellings at 209-215 Bourke Street was built as one unified arrangement, with shops at ground level and residences above. Built in the mid-1870s, the row has a rendered façade with Italianate style detailing. It is more elaborate than the adjoining row (201-207 Bourke Street), which has simpler classical detailing.

Built of masonry with a stucco finish, the upper façade has a balustraded parapet. Engaged pilasters run the full height of the upper façade, and extend to the parapet, marking out the four shops in the row. Ball finials were originally located over each pilaster but have since been removed. A deep cornice runs below the parapet and has large elaborate scroll brackets.

The window arrangements are identical on all four shops. On the upper level, paired segmented arched windows have moulded arched cornices to the upper edge. On the mid-level, a single rounded arched window has a decorative moulded arched cornice.

The side elevation opens to Russell Place. The original rear walls with chimneys are intact. Side and rear elevations have face brick walls, now overpainted. The side elevation (Russell Place) has twin and single openings similar to the openings on the front façade.

INTEGRITY

The upper façade retains a high level of integrity, with the exception of the ball finials and original verandah which have been removed. The ground level shopfronts have been substantially altered and a modern cantilevered canopy has replaced the early verandah.

COMPARATIVE ANALYSIS

The subject building can be compared to other similar rows of late Victorian, two and three-storey shops with residences above. It compares well with the following examples, drawn chiefly from the Central City Heritage Review 2011, being of a similar use, scale, location and creation date. The images and descriptions below are provided by CoM Maps unless stated otherwise.

136-140 Elizabeth Street, c1870s (Significant in HO509 Post Office Precinct)

A row of three three-storey shops with residences above. The rendered brick building was built in the mid-Victorian era in the Neo-Renaissance style.



Figure 2. 136-140 Elizabeth Street constructed c1870.

73-77 Bourke Street (HO536, Significant in HO500 Bourke Hill Precinct)

A row of three three-storey shops with residences above. The rendered brick building was built in the mid-Victorian era in the Neo-Renaissance style.



Figure 3. 73-77 Bourke Street constructed c1880. (Source: Vogue Australia 2014)

189-195 Exhibition Street, 1882 (HO630, Significant in HO507 Little Bourke Precinct)

A row of two-storey brick shops with residences above and a basement. Built in 1882 in the Renaissance Revival style.



Figure 4. 189-195 Exhibition Street constructed in 1882. (Source: Butler 2011)

Bourke Mews, 32-38 Bourke Street, 1892 (HO529, Significant in HO500 Bourke Hill Precinct)

A row of four three-storey shop/residences with basement parking. Designed by Edward G Kilburn in the Italian Renaissance Revival style and built by T J Taylor in 1892.



Figure 5. Bourke Mews, 32-38 Bourke Street constructed in 1892. (Source: Butler 2011)

146-150 Bourke Street, 1885 (Interim HO1244 – Recommended as significant in the Hoddle Grid Heritage Review)

A row of four three-storey shops with residences above. Built by investors F B Clapp and W G Sprigg in 1885.



Figure 6. 146-150 Bourke Street constructed in 1885.

201-207 Bourke Street, 1874 (Interim HO1239 – Recommended as significant in the Hoddle Grid Heritage Review)

A row of four three-storey shops with residences above. Built by investors F B Clapp and W G Sprigg in 1874.



Figure 7. 201-207 Bourke Street constructed in 1874. (Source: City of Melbourne 2018)

209-215 Bourke Street compares to the examples above as a row of shop/residences built in the late Victorian era. 209-215 Bourke Street preceded the construction of several of these examples and is a representative example of a mid-Victorian commercial building. Consistent with the examples above, shopfronts at ground level have been altered but the upper façade retains its integrity and classical styling.

ASSESSMENT AGAINST CRITERIA

✓ **CRITERION A**
Importance to the course or pattern of our cultural or natural history (historical significance).

CRITERION B
Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).

CRITERION C
Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).

✓ **CRITERION D**
Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).

CRITERION E
Importance of exhibiting particular aesthetic characteristics (aesthetic significance).

CRITERION F
Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)

CRITERION G
Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).

CRITERION H
Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

REFERENCES

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Young and Spearritt 2008, 'Department Stores' in *eMelbourne*, School of Historical and Philosophical Studies, The University of Melbourne, <http://www.emelbourne.net.au/>, accessed 16 June 2017.

Sands & McDougall, *Melbourne and Suburban Directories (S&Mc)*, as cited.

PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985** D

**Central City Heritage
Study 1993** C

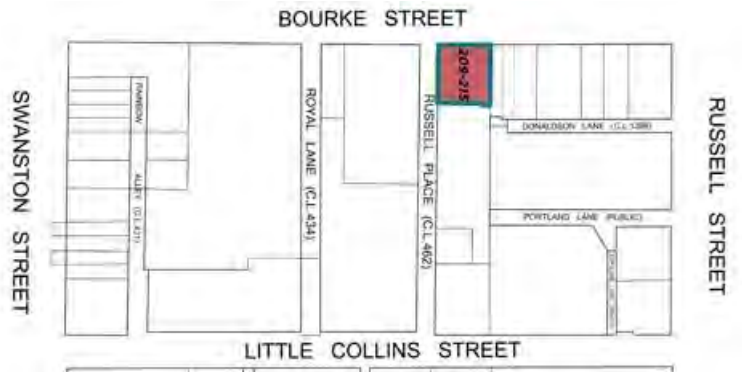
**Review of Heritage
overlay listings in the
CBD 2002** Ungraded

**Central City Heritage
Review 2011** Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Shop and residences

PS ref no: Interim HO1240



What is significant?

The row of four three-storey shops/residences at 209-215 Bourke Street built in 1876.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing;
- The building's high level of integrity to its original design;
- Balustraded parapet;
- Engaged pilasters that demarcate each shop;
- Upper façade detailing including cornice with elaborate scroll brackets; paired segmented arch windows with moulded arch cornice to upper edges (upper level); single round arched window with decorative moulded arched cornice (mid-level);
- Original chimneys;
- Pattern and size of fenestrations to side elevation (Russell Place); and
- Side and rear walls of face brick (overpainted).

Later alterations made to the street level facades are not significant.

How it is significant?

209-215 Bourke Street is of local historic and representative significance to the City of Melbourne.

Why it is significant?

209-215 Bourke Street is historically significant as a mid-Victorian building that represents a key phase in the development of Melbourne when increasing numbers of investors developed retail premises in the city during the building boom of the 1870s and 1880s. Built in 1876 for investment partners F B Clapp and W G Sprigg, who developed up to 12 similar properties along Bourke Street between 1873 and 1885, 209-215 Bourke Street is typical of retail buildings of the Victorian era that housed retail outlets at

ground level with residences and workspaces for business-owners provided on the floors above.

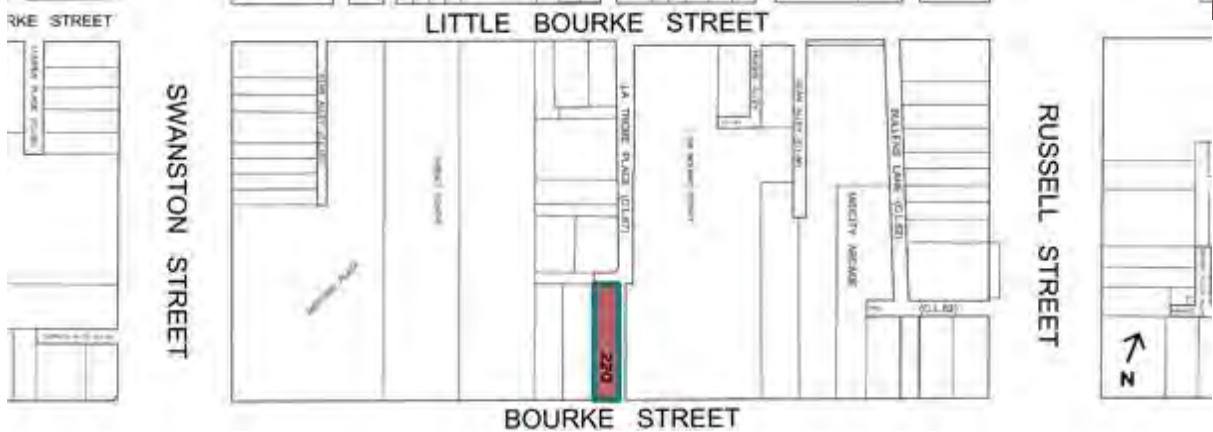
(Criterion A)

209-215 Bourke Street, built in the mid-Victorian era and characterised by rich decoration is significant for its Italianate influences and unified composition across the upper façade. The first floor level of the four shops retains the classical architectural styling typical of the period, featuring decorative stucco elements including engaged pilasters, deep cornicing, scrolled brackets, window mouldings and a balustraded parapet. (Criterion D)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Former Palmer's Emporium
STREET ADDRESS	220 Bourke Street Melbourne
PROPERTY ID	101201



SURVEY DATE: October 2017

SURVEY BY: Context

HERITAGE INVENTORY	H7822-2187	EXISTING HERITAGE OVERLAY	No
PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
DESIGNER / ARCHITECT / ARTIST:	Harry A Norris	FORMER GRADE	C
		BUILDER:	Not known
DEVELOPMENT PERIOD:	Interwar Period (c1919-c1940)	DATE OF CREATION / MAJOR CONSTRUCTION:	1937

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Stage 2 Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a Commercial City	5.4 Developing a retail centre
	OTHER SUB-THEMES
3 Shaping the Urban Landscape	3.2 Expressing an architectural style

LAND USE

HISTORIC LAND USE	
Archaeological block no: 30	Inventory no: Inventory not provided
THEMATIC MAPPING AND LAND USE	
1890s	Hotels and Lodgings
1920s	Retail
1960s	Retail

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

220 Bourke Street, a four-storey commercial building was designed by architect Harry A Norris in 1937. Built to accommodate a multilevel department store, the design embraces modern construction technology (reinforced concrete construction) and moderne styling to express a progressive and modern aesthetic.

HISTORICAL CONTEXT

Building a commercial city

Developing a retail centre

Department stores offered customers a wide range of goods, organised into 'departments', under the one roof. In Melbourne, department store Buckley and Nunn, which opened in 1854, established Bourke Street as the preferred retail strip. Russian immigrant Sidney Myer bought a block in Bourke Street in 1911, where he established his successful Myer emporium (Context 2012:43).

Chain department stores grew rapidly after 1920. With increasing car ownership and widespread distribution of shopping catalogues, by the 1920s department stores attracted shoppers from both the suburbs and rural areas.

Department stores elevated 'fashion, drapery and furnishings to a level of luxury and range which differentiated it from the everyday or rural emporium'. According to the 1948 retail census, in Victoria the 130 shops defined as department stores accounted for 10.3 per cent of retail sales. In money terms, the stores sold 30.3 per cent of drapery, clothing and soft furnishings; 18.1 per cent of hardware, ironmongery and crockery; and 15.4 per cent of furniture and floor coverings (Young and Spearritt 2008).

Building a manufacturing capacity

As Melbourne developed through the nineteenth century, so did its manufacturing industry. Flinders Lane became an important area for clothing manufacturers, while Chinese cabinetmakers were concentrated at the east end of town. Food-processing plants were established in north and west Melbourne where factories tended to be small and specialised. Large factories, built in the later nineteenth century and early twentieth century, were mostly constructed outside the City of Melbourne, where land was more easily obtainable (Context 2012:44).

From the 1930s, like the rest of Australia, an increasing proportion of the city's workforce took up jobs in manufacturing, an industry that led Australia's recovery from the economic depression of the late 1920s-early 1930s, when, the *Encyclopedia of Melbourne* notes, a

steep rise in tariffs, devaluation of the Australian pound, falling wages and electricity costs all made local producers far more competitive internationally. Textiles benefited first, then the metals industries and engineering took over as pacemakers (Dingle 2008).

After World War Two, Australia's manufacturing output increased 6 per cent per year between 1949 and 1967, and between 1947 and 1966, 155,221 new manufacturing jobs were created in Melbourne, roughly one-third of which went to women (Dingle 2008). Large numbers of women found employment as machinists in clothing and foot-ware factories (Context 2012:72).

Shaping the urban landscape

Expressing an architectural style

Commercial buildings in the 1920s were mainly of the commercial palazzo style, as exemplified by Harry Norris's Nicholas Building in Swanston Street (1925). It was divided into a base, shaft and

cornice, much like a Renaissance palazzo. The scale, however, was greatly enlarged, with the shaft stretching up to 10 storeys.

Other styles were more closely associated with the modern movement and expressed a more dynamic and streamlined aesthetic. Emphasis was placed on the horizontal or vertical composition of a building to accentuate certain qualities of the building. In styles such as the commercial gothic style and the jazz moderne, vertical fins and ribs were used to accentuate the increased height of buildings. Landmark examples include, respectively, Marcus Barlow's Manchester Unity Building (1929-32) and the Tompkins Bros' Myer Emporium in Bourke Street (1933). (Context 2012:19-20). The moderne style typically expressed the horizontal plane with continuous bands of steel framed windows and masonry spandrels running across the full width of a façade, and often returning around a curved corner. A landmark example is Harry A Norris' Mitchell House at 352-362 Lonsdale Street (1937).

SITE HISTORY

220 Bourke Street forms part of Crown Allotment 4 and 5, Block 22. In the 1880s, the VRC Hotel existed on the land before its conversion to retail purposes (*Age* 18 April 1937:14). Before its demolition in 1937, the two-storey brick building on the site was occupied by H E Swain, boot retailer (*Age* 18 April 1937:14).

In April-May 1937, S Brilliant Knitting Works Pty Ltd became the new proprietor of 220 Bourke Street (*Age* 23 May 1940:11). A four-storey retail premise was erected to replace the old building. Named 'Palmer's Emporium', the new drapery business was established by Isa Rose Pty Ltd, manufacturers, in co-operation with Joshua and Cyprus Herbert Glovers, wool merchants. Palmer's Emporium was granted an initial five-year lease of the building by proprietor S Brilliant Knitting Works Pty Ltd (*Argus* 12 October 1937:8; *Age* 24 May 1940:11).

The building was initially planned as an eight-storey store with a basement, which was to be constructed in two stages, with the first including four floors and the basement (*Argus* 29 May 1937:20). The work was undertaken by Hansen & Yuncken Pty Ltd to a design by Harry A Norris, who implemented the reinforced concrete method to enable the construction of the proposed eight-level building:

The architects have adopted the modern horizontal treatment for the façade. This has allowed windows to be provided on each floor for the full width of the building. On the ground floor there will be deep, arcaded show windows (*Argus* 12 April 1937:9).

The first stage of the construction commenced on 1 June 1937 and was completed by November the same year (*Argus* 12 April 1937:9).

Palmer's Emporium, however, broke the lease after less than two years from the opening of the building. In August 1938, the company went into voluntary liquidation and vacated the premises later that year (*Age* 24 May 1940:11). The break of the lease caused a legal dispute between the proprietor and the tenant companies. As a result, the original plan for the additional four storeys was never carried out.

At the completion of the first stage, the shops featured highly modern fittings and furniture. The original natural oak and chromium plate interior fittings were sold by public auctions after the

company's liquidation. The items comprised display tables, counters, cabinets and wall panels, as well as Axminster brand carpets and electric cash registers (*Age* 30 September 1939:2).

Later, the four-storey building on the subject site became tenanted by shoe manufacturers and retailers, including Smartset Shoes and the Public Benefit Bootery, later 'PB Shoes', with the latter business remaining at the premises for approximately 30 years till the mid-1980s (*Argus* 8 February 1947:38; *Age* 3 October 1985:18). PB Shoes had its own eight-storey building at 323-325 Bourke Street opposite the Myer department store between 1924 and the 1950s, until relocating to the subject property. The brand was known for offering an affordable price range for their products.

In the 1990s, the building was occupied by Minotaur, bookshop and toyshop (*Age* 11 September 1991:67; *Age* 7 September 1997:74).

In 2000, the building at 220 Bourke Street was sold by auction. At this point, it comprised three retail areas in the basement, ground and first floors, and had office space in the upper levels (*Age* 15 April 2000:105). After the sale, the ground floor was refurbished with new shopfront and side display windows (*Age* 2 September 2000:94). Today, it houses two residential properties on the top two levels, two shops and one food and drink outlet (CoMMaps).

Harry A Norris, architect

Harry Albert Norris (1888-1967) was born in Hawthorn, a son of a bootmaker. He was articled to architects Ward & Carleton between 1906 and 1911, a Melbourne firm that undertook modest domestic, commercial and industrial commissions. In 1910, he won second prize in the Royal Victorian Institute of Architecture student competition (Gurr and Willis 2012:502-3).

Norris commenced his solo practice in c1915, and by 1920, he was established in an office in Collins Street. His early works included domestic and commercial projects, with a significant number of motor garages, factories and bakeries. His younger brother Frank Leonard Norris (1903-1976), who gained a Diploma in Architecture from the University of Melbourne, also joined the practice (Gurr and Willis 2012:502-3).

Harry Norris also participated in a number of business ventures with Alfred M Nicholas. A M Nicholas played a key role in Victoria's Motoring industry and, with his pharmacist brother George, he ran the highly successful Nicholas Pty Ltd, which was associated with the development and marketing of 'Aspro' in Australia. The close relationship between Norris and Nicholas resulted in a number of substantial architectural commissions, including the Nicholas Building, Swanston Street (1925-6), and two Nicholas residences: 'Carn Brea', Hawthorn (rebuilt in 1928) and 'Burnham Beeches', Sherbrooke (1930-3). In addition, Norris was appointed as the architect of the St Kilda Road campus of Wesley College, substantially rebuilt in 1933-39, following a bequest from Alfred and George Nicholas (Gurr and Willis 2012:502-3).

Norris also had a long relationship with G J Coles, who sent him to the United States in 1929 to investigate chain store architecture. Norris was responsible for designing and altering many Coles stores across Victoria from c1927, and in Sydney from c1938 (Gurr and Willis 2012:502-3).

Norris regularly travelled overseas, particularly in the United States, in 1934, 1936 and 1937 to observe overseas architectural trends (Gurr and Willis 2012:502-3).

Completing a number of influential examples in the key styles of the era, Norris became one of Victoria's most prolific commercial architects in the 1920s and 1930s. Victoria Gurr and Julie Willis's entry for Norris in the *Encyclopedia of Australian Architecture* sums up his architectural achievements as follows:

From the mid-1920s onwards, Norris was enthralled by the possibilities of faience and showed himself to be remarkably adept at employing a wide range of stylistic approaches. From the cobalt-blue Spanish Baroque of Majorca House, Flinders Lane, Melbourne (1931) to the blush pink of the remodelled façade of the G.J. Coles Store, Bourke Street, Melbourne (1929) with its Jazz-Hispanic detailing, he demonstrated the possibilities of colour and modelling with faience to great effect. He was an early exponent of the Moderne, such as at Block Court, Collins Street, Melbourne (1929) and with the streamlined façade of Melford Motors showroom, Elizabeth Street, Melbourne (1937), which reached a high point with Mitchell House, Elizabeth Street, Melbourne (1938). The design for the Vice-Chancellor's House at the University of Melbourne (1937) showed a similar concern for materials and style, being a gentle Georgian Revival house given a modish twist by the use of Roman bricks that emphasised horizontality. His Mission to Seamen, Port Melbourne (1937, [since] demolished) was a confident essay in Dudokian modernism (Gurr and Willis 2012:502-3).

Norris retired on his 75th birthday, dying six months later (Gurr and Willis:502-3).

SITE DESCRIPTION

The building at 220 Bourke Street is a four-level commercial building with a basement. It sits on a long and narrow parcel on the corner of Bourke Street and La Trobe Place. The building form fits the site with a curve at the La Trobe Place corner.

Originally built to accommodate a multilevel department store, the design embraced modern construction technology (reinforced concrete construction) and moderne styling to express a progressive and modern aesthetic. The strong horizontal orientation of the façade allows for bands of windows to wrap around each level of the building, creating light open retail spaces.

The building displays key characteristics of the interwar moderne style. The asymmetrical façade has a vertical pier running up the western side of the building. The fluted pier runs the full height of the upper façade and steps over the parapet. By contrast, the remainder of the upper façade has a strong horizontal character, defined by incised spandrels and generous steel framed windows with small panes that run the full width of the façade and curve around the building edge to return down the laneway. A parapet has the same incised character as the spandrels. The overall effect is of a streamlined modern building.

The ground floor façade has been significantly altered. Originally described as having 'arcaded show windows', this feature no longer exists. A replacement shopfront and side display windows were installed after 2000.

INTEGRITY

The distinctive form of the building, which curves around the corner, remains. The upper façade, including steel framed windows, retains a high level of integrity. At ground level the building has been altered with a contemporary shopfront and side windows installed after 2000.

COMPARATIVE ANALYSIS

A range of interwar styles were used on commercial buildings to emphasise a modern or progressive aesthetic and 220 Bourke Street exhibits moderne styling. 220 Bourke Street was originally planned to be eight storeys and was built with a reinforced concrete structure that would accommodate the proposed height.

The subject building is one of several moderne buildings in the central city. The following examples are drawn chiefly from the Central City Heritage Review 2011, being of a similar style and construction date. The images and descriptions below are provided by CoM Maps unless stated otherwise.

Selected examples of Melbourne's moderne commercial buildings from the interwar period include:

Yule House, 309-311 Little Collins Street, 1932 (VHR H2233; HO703, Significant in HO502 The Block Precinct)

A five-storey commercial building designed by Oakley and Parkes in the moderne style with steel framed windows, and horizontal banding in terra-cotta faience tiles. It retains its metal framed display windows, signage and some original finishes. Built in 1932 it is amongst the first commercial buildings in the moderne style and is also intact.



Figure 8. 309-311 Little Collins Street constructed in 1932

Mitchell House, 352-362 Lonsdale Street, 1937 (VHR H2232; HO715)

This seven-storey rendered brick office building with ground level retail was also designed by architect Harry A Norris in the moderne style. The ground level was originally a motorcar showroom. It retains original signage and interior finishes and is considered to be an outstanding example of the moderne style and of Norris' work.



Figure 9. 352-362 Lonsdale Street constructed in 1937

Presgrave Building, 273-279 Little Collins Street, 1938 (Significant in HO502 Block Arcade Precinct)

A six-storey cement rendered office building with shops at street level and foyer. Designed by Marcus Barlow in the moderne style and built in 1938. The upper floors were refurbished and converted to hotel accommodation in 2000. It is less intact than either Yule House or Mitchell House.



Figure 10. 352-362 Lonsdale Street constructed in 1937.

McPherson's Building, 546-566 Collins Street, 1935 (VHR H0942; HO614)

A five-storey reinforced concrete office building with basement parking and ground level retail. Designed by Stewart Calder in association with Reid & Pearson in the International style and built as offices and showrooms for McPherson's Proprietary Limited in 1935. It is a seminal example built two years after Yule House and featuring horizontal banding, large areas of horizontal glazing and concrete construction with terra cotta faience tiling.



Figure 11. 546-566 Collins Street constructed in 1935.

Of the examples above, three are of State significance (Mitchell House, Yule House and McPherson's buildings) as a result of their early date of construction within the 1930s, seminal design and/or high degree of integrity. The radical styling, large areas of glass and concrete construction of these buildings in the 1930s transformed how commercial buildings were designed and built. 220 Bourke Street demonstrates a very similar engagement with radical new design of the 1930s, is highly intact above the ground floor and was built the following year after Norris's Mitchell House which it follows quite closely in its use of reinforced concrete without applied decorative cladding. The moderne style was relatively short-lived and there are limited examples remaining, although its influence on modernism is seen in many later examples.

ASSESSMENT AGAINST CRITERIA

✓	<p>CRITERION A Importance to the course or pattern of our cultural or natural history (historical significance).</p>
	<p>CRITERION B Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).</p>
	<p>CRITERION C Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).</p>
✓	<p>CRITERION D Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).</p>
✓	<p>CRITERION E Importance of exhibiting particular aesthetic characteristics (aesthetic significance).</p>
	<p>CRITERION F Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)</p>
	<p>CRITERION G Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).</p>
	<p>CRITERION H Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).</p>

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

REFERENCES

Age, as cited.

Argus, as cited.

Context 2012, *Thematic History: A History of the City of Melbourne's Urban Environment*, prepared for the City of Melbourne.

City of Melbourne Interactive Maps (CoMMaps) 2017, <http://maps.melbourne.vic.gov.au/>, accessed 13 April 2018.

Dingle, Tony 2008, 'Manufacturing', in *eMelbourne*, School of Historical and Philosophical Studies, University of Melbourne, <http://www.emelbourne.net.au/>, accessed 13 January 2018.

Gurr, V & Willis, J 'Norris, Harry A' in Goad, Philip & Willis, Julie (eds.) 2012, *The Encyclopedia of Australian Architecture*, Cambridge University Press, Cambridge.

Young, John and Spearritt, Peter 2008, 'Retailing', in *eMelbourne*, School of Historical & Philosophical Studies, The University of Melbourne, <http://www.emelbourne.net.au/>, accessed 3 February 2018.

PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985** Ungraded

**Central City Heritage
Study 1993** C

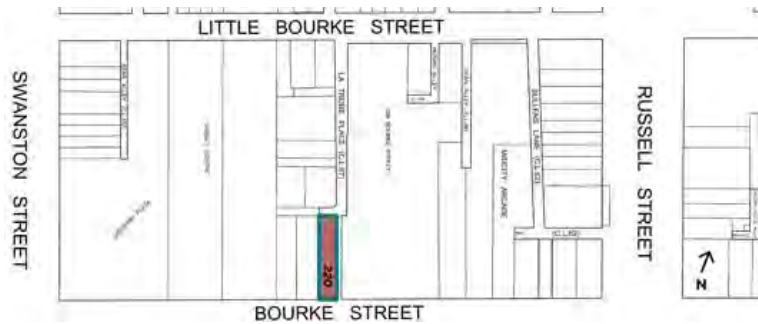
**Review of Heritage
overlay listings in the
CBD 2002** Ungraded

**Central City Heritage
Review 2011** Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Former Palmer's Emporium

PS ref no: Interim HO1243



What is significant?

Former Palmer's Emporium at 220 Bourke Street, a four-level commercial building designed by architect Harry A Norris and completed in 1937.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing;
- The building's high level of integrity to its original design;
- Streamlined modern style façade defined by incised spandrels, parapet and horizontal bands of steel framed windows that run the full width of the façade and curve around the building edge; and
- Asymmetrical façade with a vertical pier running up the western side of the building.

More recent alterations including the ground floor shopfronts installed after 2000 are not significant.

How it is significant?

Former Palmer's Emporium at 220 Bourke Street is of local historic, representative and aesthetic significance to the City of Melbourne.

Why it is significant?

220 Bourke Street is historically significant for its demonstration of the development of department stores, particularly after the economic depression of the 1930s. Built in 1937 as Palmer's Emporium drapery business, the building is also significant for its long term use by shoe manufacturers and retailers Smartset Shoes and the Public Benefit Bootery, later 'PB Shoes' from the late 1940s, representing part of the City of Melbourne's extensive clothing and footwear manufacturing history. (Criterion A)

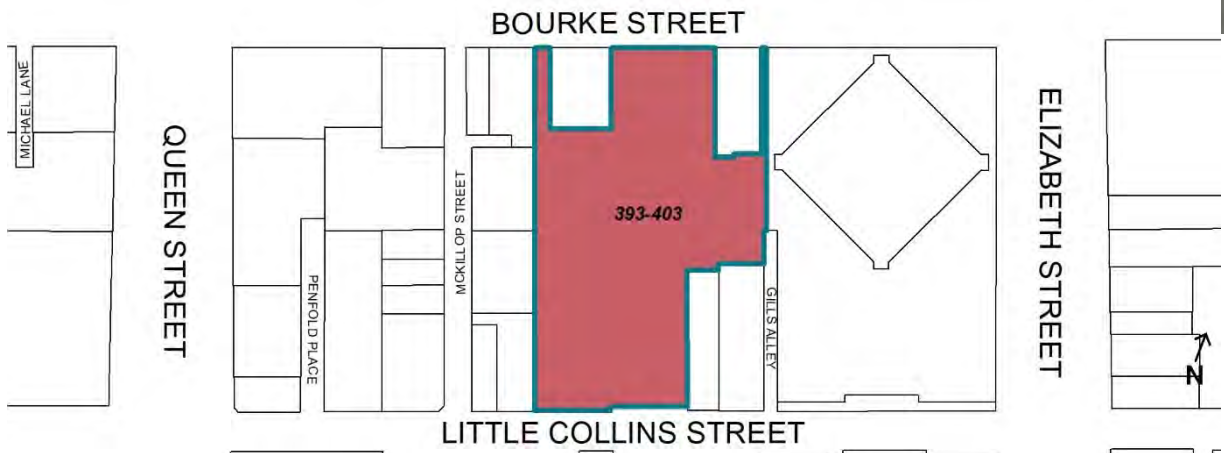
220 Bourke Street is one of several commercial buildings from the interwar period designed by innovative architects of the period including Harry A Norris, Oakden and Parkes, Marcus Barlow and Stewart Calder. 220 Bourke Street combines reinforced concrete construction with moderne styling to express a progressive and modern aesthetic. (Criterion D)

220 Bourke Street is aesthetically significant for its adoption of the moderne style of the interwar period with the overall effect being a streamlined modern building. This is clearly evident and expressed in the physical fabric above the ground floor level, including the horizontal banding to the windows and their curved profile at the corner, the use of steel-framed windows and the bands of the concrete structure with incised spandrels that further emphasize its horizontal lines. (Criterion E)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Former John Danks & Son
STREET ADDRESS	393-403 Bourke Street Melbourne
PROPERTY ID	101147



SURVEY DATE: March 2019

SURVEY BY: Context

HERITAGE INVENTORY	N/A	EXISTING HERITAGE OVERLAY	No
PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
DESIGNER / ARCHITECT / ARTIST:	Sydney Smith & Ogg	FORMER GRADE	C
DEVELOPMENT PERIOD:	Federation/Edwardian Period (1902-c1918) Federation/Edwardi	BUILDER:	Not known
		DATE OF CREATION / MAJOR CONSTRUCTION:	c1915-18

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here.
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a Commercial City	5.4 Developing a retail centre
POSTWAR THEMES	DOMINANT SUB-THEMES
2 Constructing the economy of Melbourne's city centre post World War Two	2.4 Marketing and retailing

LAND USE

HISTORIC LAND USE	
Archaeological block no: 36	Inventory no: Inventory not provided.
THEMATIC MAPPING AND LAND USE	
1890s	Factories and workshops, Merchants
1920s	Retail, Merchants
1960s	Retail, Offices

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

Located at 393-403 Bourke Street between Queen Street and Elizabeth Street, the former John Danks & Son building (now known as The Foundry) is a six-storey commercial/warehouse building constructed in 1915-18, to a design by architects Sydney Smith & Ogg in the Federation Free style with some eclectic Art Nouveau details. The building was built for and long used in association with the hardware industry as a retail outlet, from 1915-57 by John Danks & Son Ltd (who had been at the site since 1859), and from 1965-93 by hardware retailers McEwans. From 2007, the building has been used as apartments, with retail and car parking.

HISTORICAL CONTEXT

Building a Commercial City

Developing a retail centre

Even before the early 1850s, Melbourne had established the foundational infrastructure for international trade and commerce, including retail markets, shipping agents, and industry and finance houses - the beginnings of an entrepreneurial global city (Context 2012:2).

Retailing in Melbourne gained official recognition when eight market commissioners were elected in 1841 from a roll of local voters. The commissioners established the Western Market, which became the principal place for selling fresh food, with many goods transported from Melbourne to pastoral settlements. At this time Melbourne's population was 4479, and the Victoria's was 20,416 (Young and Spearritt 2008).

By the early 1840s, Elizabeth and Swanston streets, from the Town Hall in the south-east to the General Post Office to the north-west, had become the focus of retail activity, influenced also by the location of the Western Market in the west of the city which operated as the city's premier wholesale fruit and vegetable market until 1930 (May 2016:176). The Eastern Market opened in 1847 as a fruit and vegetable market on the corner of Stephen Street (later Exhibition Street) and Bourke Street and drew retail further east. The department store Buckley & Nunn opened in 1854, establishing Bourke Street as the preferred retail strip.

Retail premises in the nineteenth century and the early twentieth century generally included upper-level accommodation for families involved in the business. Multi-storey shop and dwelling type buildings housing ground-level shop with rooms above were constructed across the retail strips of Melbourne, and three- or more storied commercial and retail buildings began to proliferate from the late 1880s (Lovell Chen 2017:220).

After the end of World War One in 1918, Melbourne, like other Australian cities, experienced an economic boom. In the first decades of the twentieth century, the demand for residential development declined in central Melbourne as the booming retail and manufacturing sectors rapidly taking up available properties. By 1921, 38 per cent of Melbourne's workers were employed in industry and the growth of manufacturing stimulated urban growth. By the end of the 1920s, Melbourne's population had reached one million people (Marsden 2000:29-30). Retail outlets, offices and small factories increasingly took over the city centre.

After 1920, chain department stores grew rapidly, opening branches or new stores in central Melbourne. Department stores elevated 'fashion, drapery and furnishings to a level of luxury and range which differentiated it from the everyday or rural emporium' (Young and Spearritt 2008). With increasing car ownership and widespread distribution of shopping catalogues, department stores attracted shoppers from both the suburbs and rural areas, consolidating the central Melbourne area as the state's preferred retail destination.

Constructing the economy of Melbourne's city centre postwar

Marketing and retailing

Central Sydney and Melbourne accounted for about one third of Australian metropolitan retail sales in the 1950s. This share decreased dramatically in the 1960s as suburban shopping complexes such as

Chadstone Shopping Centre were built, to the point where in the 1990s, central Melbourne accounted for less than 5 per cent of metropolitan retail sales (Spearritt cited in Marsden 2000:49).

The 1962 credit squeeze marked the beginning of the decline of the city department stores, and by the 1970s, Australian retailing consisted largely of franchising operations; by the 1980s, the top ten retail outlets were owned by three or four companies (Hartwell and Lane cited in Marsden 2000:50; Young and Spearritt 2008).

The 1974 Strategy Plan for Melbourne encouraged ‘the maintenance and growth of the retail areas as the major centre for shopping for the metropolitan area’ (Interplan Pty Ltd 1974:267). In addition, the policies within the Plan aimed to counteract

present economic market forces that would force entertainment and retail activities out of the CBD. The mandatory requirements for retail or entertainment floor space will ensure that the variety provided by shops, restaurants or cinemas is maintained (Interplan Pty Ltd 1974:267).

As a consequence, alliances between government ministers, councilors and traders sought to arrest the decline of retail in the Melbourne city centre. Two main strategies emerged: to expedite car access (prevalent through to the 1970s), and from the 1970s to encourage pedestrians, for example through the creation of car-free malls, Sunday trading, and the establishment of open-air markets. Marsden maintains that the re-focus on shoppers’ needs as pedestrians has partly restored the city to its people (Marsden 2000:51-52).

The 1985 Strategy Plan encouraged the promotion of ‘the area and of the City’s retailing in general, [and] will also assist to promote the Retail Core as the specialist shopping “heart” of metropolitan Melbourne and the State’ (CoM 1985:89).

SITE HISTORY

Prior to the construction of the subject building, the site, part of Crown Allotment 14, Block 13, was occupied by a series of two-storey buildings. All of these buildings had been constructed by 1888, and included a restaurant, two saddlers and the original John Danks store (Mahlstedt Map Section 1, no 13, 1888; CoMMaps).

John Danks (1828-1902) was born in Birmingham, son of John Danks, a wrought iron and gas tube manufacturer, who arrived with his family in Melbourne in 1856 (Age 1 March 1902:10; Hone 1972). With his brothers Samuel and Thomas, John Danks (junior) opened a plumbing business at 403 Bourke Street (then known as 42 Bourke Street West) in c1859 (see Figure 1) (Danks 2019). One of the firm’s first jobs was the manufacture of pipe connections for the Yan Yean water supply (Hone 1972). The Yan Yean Water Supply System was constructed from 1853 as the first large scale engineered water supply system in Victoria (VHR).

In 1860 Thomas retired and the firm continued as J & S Danks until 1871 when Samuel retired (Hone 1972). By 1871 the firm had established a substantial brass works in South Melbourne (Age 1 March 1902:10). In September 1874 John Danks helped form the United Manufacturers’ Association of Victoria and next year called the meeting from which the Protection League developed; Danks became president of the Emerald Hill (South Melbourne) branch (Hone 1972). The United Manufacturers Association of Victoria’s objectives were to watch over and protect the interests of manufactures in Victoria (Argus 10 September 1874:7) whilst the Victorian Industrial Protection

League advocated for the imposition of protective duties on all goods which could be manufactured in the colony (*Argus* 6 January 1871:6).

The twenty years following 1874 brought rapid expansion for J & S Danks: branch shops were established in Sydney and in Christchurch, New Zealand; John's son, Aaron, became a partner and, in 1885, started a brass foundry in England (Hone 1972). In 1889 the company came to be known officially as John Danks & Son Limited. By 1891 they had taken over another building at 393 Bourke Street (S&Mc 1892). During the 1890s, John Danks & Son replaced the building at 393 Bourke Street with a new showroom building (see Figure 2), while maintaining their original premises at 403 Bourke Street (S&Mc 1892). As the company expanded, it steadily purchased land along Bourke Street, and by 1890 owned all of the land from 393 to 403 Bourke Street (RB), the same land the subject building now occupies.

By 1894, Danks had started a foundry in Sydney; the size rivalled that of the works in Melbourne (*Age* 1 March 1902:10).

The firm was affected by the economic depression of the 1890s, but by 1902, upon the death of John Danks, the company employed 220 people, with close to 60 people in the Bourke Street store (the former showroom on the subject site at 393-403 Bourke Street) (*Age* 1 March 1902:10). The business was taken over in 1902 by John Danks' son, Sir Aaron Danks, and the business continued to be operated by Sir Aaron's son Fred after Sir Aaron's death in 1928. John Danks & Son was floated as a public company in 1950. By the 1950s, the company had withdrawn from retail and focused solely on hardware manufacturing for wholesale. By 2004, the company employed over 400 staff in 240 Home Timber & Hardware Stores, nearly 400 Thrifty Link Stores Hardware Stores, and 100 Plants Plus Garden Centres Australia wide. The business was sold in 2009 (Danks 2019).

John Danks was also a public figure, entering the South Melbourne Council in 1871, becoming mayor in 1874-75, and retiring in 1880 (*Age* 1 March 1902:10). In 1877 he unsuccessfully contested the Emerald Hill seat in the Legislative Assembly. He was a founder and director of the Australian and European Bank and a commissioner at the 1888 Paris Exhibition. Deeply religious, he was active in the Methodist Church and a Sunday schoolteacher for thirty years (Hone 1972). Danks was known for his community work amongst the 'working classes' of South Melbourne, where his foundry operated, and was known as an 'equitable employer' (*Age* 1 March 1902:10).



Figure 1. Showing John Danks & Son located at its original smaller building at 403 Bourke Street in the 1880s. (Source: Nettleton c1880-1890, SLV)



Figure 2. Showing the John Danks & Son building at 393 Bourke Street in the 1890s. (Source: Rudd c 1890-1900, SLV)

A newspaper article in January 1915 mentions the impending construction of the subject building, noting that the work was to encompass 'additions to a warehouse in reinforced concrete' and that it was a project 'running into the many thousands [of pounds]' (*Herald* 21 January 1915:3). This indicates that the subject building incorporates one of the buildings in existence on site in the 1890s, likely 393 Bourke Street. Construction of the subject building at 393-403 Bourke Street was underway by 1915, as tenders were advertised for the installation of hot water radiators for the John Danks building by the architects Sydney Smith & Ogg in February of that year (*Age* 20 February 1915:19). When the new building was completed in 1915, it was visually the tallest and most significant building in that area of Bourke Street (see Figure 3). The John Danks & Son Ltd building sold retail and wholesale hardware and machinery made by the Danks company's foundries (see Figure 4).



Figure 3. Showing the subject building c1920 after completion, with a large painted 'Danks' sign indicating the presence of the company. (Source: Harvey c1920, SLV)

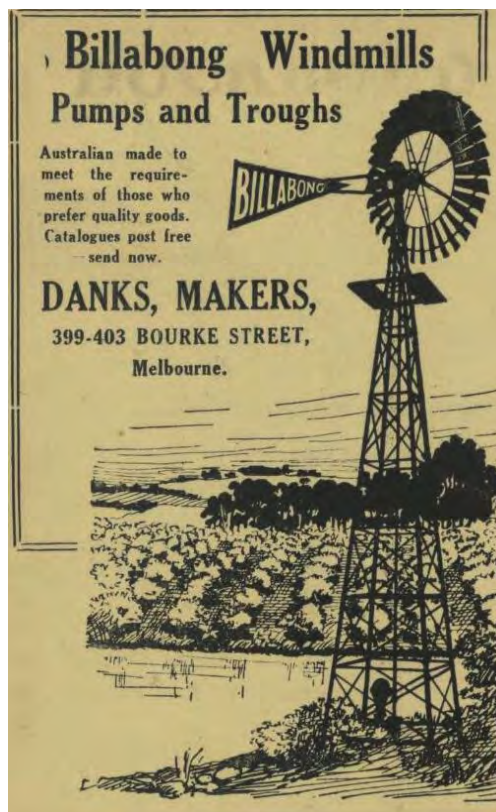


Figure 4. A 1915 advertisement for Danks made Billabong windmills, available from 399-403 Bourke Street. (Source: Stead 1915:6)

A decision for Danks to focus business on wholesale distribution rather than retail led to the sale of the building in 1957 in anticipation of the 1958 opening of their manufacturing plant in South Melbourne (Danks 2019).

Hicks Atkinson Ltd purchased the subject property in 1957, which completed the block that was to house the new Hicks Bourke Street department store (including the next-door property at 387-391 Bourke Street) (*Age* 5 October 1957:6). Hicks, Atkinson Ltd, was probably the oldest drapery in Melbourne at this time (established 1848) (*Argus* 2 April 1949:4). They made alterations to the subject building in 1957 to accommodate their store (*Age* 5 October 1957:6). The building was offered for sale in 1963 when Hicks Atkinson Pty Ltd went into liquidation, and was purchased by the National Mutual Life Association of Australia Ltd (*Age* 29 May 1963:2; *Age* 27 November 1964:8).

In 1965, hardware store McEwans Ltd announced that it was moving from its Elizabeth Street premises to a 'big new modern store at 387-403 Bourke Street', , where they remained for 28 years until 1993 (*Age* 11 September 1965:67).

English immigrants James McEwan and John Houston supplied goods to storekeepers on the Victorian goldfields in 1852 from a building at the corner of Elizabeth and Little Collins streets and also leased other premises in Melbourne and Geelong. In 1855 the partnership between Houston and McEwan was dissolved and James McEwan established a wholesale and retail ironmongery from the same building in Elizabeth Street (Lethbridge 2011). In 1927, McEwan's Limited was formed to acquire the shares of James McEwan & Company Pty Ltd and its subsidiaries. By 1965 McEwan's had moved its main city store from the corner of Elizabeth and Little Collins streets to 387-403 Bourke Street, Melbourne. Around this time ten other McEwan's stores were established in the suburbs of Melbourne, as well as in Victorian regional shopping centres (Lethbridge 2011). By 1990, McEwans operated almost 100 hardware retail outlets in Victoria, Queensland and South Australia (*Age* 23 January 1990:34).

Following a successful takeover bid by Repco Limited, McEwan's Limited was de-listed from the Stock Exchange on 28 July 1982 (Lethbridge 2011).

In 1993, four buildings in Bourke Street, including the McEwans building at 387-403 Bourke Street, were advertised for auction. At the time, all the properties were leased to Bunnings Ltd, trading as McEwans. (*Age* 29 September 1993:26).

The subject building was purchased in 2003 by developers, the Donnelly Group, and was incorporated into a subsequent development of the site, with the scope of work including the construction of 92 apartments, a three-level retail centre and underground car park. The new development, named 'The Foundry', was opened in 2007. The building was sold again in 2008 to another development group, Brookfield Australia (Vedelago 2013).

Sydney Smith & Ogg, architects

Architects Sydney Wigham Smith (1868-1933) and Charles A Ogg (1867-1932) formed a partnership in 1889. Smith was initially articled to his father, Sydney William Smith, who worked as an engineer and municipal surveyor in suburban Melbourne for some 30 years. Ogg worked for Reed, Henderson & Smart for five years before entering the partnership (Coleman 2012: 676).

Sydney Smith & Ogg designed houses, shops, banks, hotels and churches, and their early designs drew on the Arts and Crafts and Art Nouveau styles of the United Kingdom. One of the notable examples in the city is Milton House, Flinders Lane (1901). From c1911 to 1914, the firm produced a series of innovative hotel designs, influenced by the Arts and Crafts and Art Nouveau styles, largely in the inner suburbs, including the Bendigo Hotel, Collingwood (1911); the Perseverance Hotel, Fitzroy

(1911) and the Kilkenny Inn, King Street, Melbourne (1913). Similar characteristics can be seen in their designs for a series of State Savings Banks, including Moonee Ponds (1905), Elsterwick (1907), and Yarraville (1909). All have symmetrical, red brick façades with various combinations of bay, arched and circular window forms and render, wrought iron and terracotta detailing (Coleman 2012: 677).

Smith and Ogg both died in the early 1930s, however Charles Edward Serpell (1879-1962), who joined the partnership in 1921, continued the practice until he retired in 1956 (Coleman 2012: 677).

SITE DESCRIPTION

Located at 393-403 Bourke Street between Queen Street and Elizabeth Street, the former John Danks & Son building is a six-storey commercial/warehouse building constructed in 1915 to a design by architects Sydney Smith & Ogg in the Federation Free style with some eclectic Art Nouveau details.

The principal façade of the building to Bourke Street is of painted render, symmetrically arranged and divided into six bays. The two outer bays of the building are rusticated and comprise a continuous curved oriel window of three window modules with masonry mullions at the second, third and fourth levels. Above the oriel at the sixth level, there is a balcony surmounted by a substantial arched cornice and a bay of three narrow vertically proportioned windows, which also occurs below the oriel at the first-floor level.

The central four bays at the third, fourth, fifth and six levels are punctuated with rectangular window openings. At the first-floor level the window openings have been altered creating two large openings fitted with contemporary bi-fold sash doors.

All of the original (probably timber frame) windows have been replaced with contemporary aluminium framed windows. The configuration of three vertical sashes with narrow top sashes is understood to reference the original pattern of windows, as do what appear to be replica leadlight upper window sashes.

A substantial cornice surmounts the windows of the central four bays and is supported on large paired brackets, whilst a curved cornice sits above the arches of the end bays. A smaller cornice with multiple brackets also sits above the widow line at the first-floor level. A large floral decorative panel with a shield at the fifth level introduces an Art Nouveau element to the building as do the lesser garlands above the oriel windows and in the semi-circular arches above the end bays. The parapet appears to have been extended above the arches of the two end bays, and a recessed metal clad mansard level has been added above the original roof level.

At street level the building has been altered with no evidence of the original configuration of the building to Bourke Street.

INTEGRITY

The Foundry (former Danks & Son building) at 393-403 Bourke Street is largely intact to its original scale and form, with some changes visible to original or early fabric.. The building retains its painted render principal façade, cornices, arch details, original fenestrations, patterns of openings, oriel windows, rustication to the end bays and decorative floral relief panels. Alterations include the addition of a recessed mansard level above the original roof level, and changes to the openings at the first-floor level. The original fenestration pattern including the pattern of openings appears to be

original. All windows have been replaced with aluminium framed windows. The replacement windows reference the original window pattern. It is likely that these changes occurred when the building was redeveloped as residential apartments in 2007.

At the ground level the building has been completely altered and is with no evidence of the original configuration of the building to Bourke Street. Notwithstanding these alterations, overall the building is of high integrity.

COMPARATIVE ANALYSIS

During the Edwardian era, a number of mid-rise brick warehouse/commercial buildings were constructed in central Melbourne. While two- or three-storey warehouses were still common, larger buildings utilising the new materials of structural steel and reinforced concrete were becoming more prevalent, inspired by Chicagoan architecture in the late nineteenth and early twentieth centuries. Departing from traditional loadbearing brick walls, these new building methods allowed for larger and more prominent windows, while also allowing for increased building heights. Although they were characterised by an expressed structural system of concrete encased steel columns and reinforced concrete floor plates, these earlier examples typically included elements of classical detailing, and this approach continued into the interwar period when the Palazzo and Chicagoesque styles were popular.

The following examples in Melbourne are comparable with the subject site, being of a similar use, scale, style and/or construction date. The images and descriptions are provided by CoM Maps unless stated otherwise, with images dating from c2000 or later.

Richard Allen & Son warehouse, 164-170 Flinders Lane, c1910 (HO579, Significant in HO506 Flinders Lane Precinct)

At 164-170 Flinders Lane, the front section of the old Richard Allen & Son warehouse building has been retained to a depth of 18 metres and refurbished. The fine façade features a combination of brick middle storeys with arches with a ground floor and upper floors of stucco facing.



Figure 5. 164-170 Flinders Lane, now rear of 161 Collins Street, built c1910.

Herbert and Harold Higson by Bade & Co, 125-127 Flinders Lane, 1913 (HO1032)

A five-storey brick former warehouse with a basement and a mezzanine. Designed by Billing Peck & Kemter in the American Romanesque Revival style and built for the saddlers and ironmongers Herbert and Harold Higson by Bade & Co in 1913. Refurbished in 1989 into lower level retail with offices at upper levels .



Figure 6. 125-127 Flinders Lane, built in 1913.

Warehouse, 179 Flinders Lane, 1911 (Significant in HO505 Flinders Gate Precinct, Significant in HO506 Flinders Lane Precinct)

A four-storey brick former warehouse with ground floor and basement showrooms built in 1911 for Henry Spink and William John Allee . In 1925 the building was severely damaged by fire and was refurbished in 1989 with the top levels converted to offices.



Figure 7. 179 Flinders Lane, built in 1911 (Source: CoMMaps)

294-296 Collins Street, 1914 (HO598, Significant in HO502 The Block Precinct)

A seven-storey cement rendered, reinforced concrete office building with basement and ground level retail designed by Frank Stapley in the Edwardian Baroque style. Built in 1914 by JG Hollow.

Notable features include an elaborate design of cement rendered surfaces.



Figure 8. 294-296 Collins Street, built in 1914.

Melbourne Steamship Co Building, 27-31 King Street, 1913 (HO671)

A six-storey building built in 1913 to a design by T W & F B Tompkins for the Melbourne Steamship Company. The building is an example of an early and successful amalgamation of Edwardian Baroque commercial building design and of framed structures in Chicago.



Figure 9. 27-31 King Street, built in 1913.

Equitable House, 345-349 Little Collins Street, 1925 (Recommended as significant within the Hoddle Grid Heritage Review)

Equitable House, 335-349 Little Collins Street Melbourne, constitutes two distinct built forms arranged in an L shape formation: one of 11 storeys fronting Little Collins Street, built in 1925; the other of 13 storeys fronting Elizabeth Street, built in 1968. The 1925 building was designed by architects Stephenson & Meldrum in the interwar Commercial Palazzo style.



Figure 10. 345-349 Little Collins Street, 1925.

Other buildings designed by Sydney Smith & Ogg

Architects Sydney Smith & Ogg were influential during the Edwardian period, particularly with their designs for hotels in the central city and inner suburbs. Milton House, located at 21-25 Flinders Lane, Melbourne and built as a private hospital in 1901, is one of their finest designs.

Milton House, 21-25 Flinders Lane, 1901 (VHR H0582; HO637)

Milton House is significant for its delicate application of Art Nouveau design blended with elements of the American Romanesque. The overall form is attributable to Sydney Smith & Ogg but much of the detail is thought to be that of Robert Haddon, a leading exponent of the Art Nouveau.



Figure 11. Milton House, 21-25 Flinders lane, 1901. (source: HERMES 130557)

Kilkenny Inn, 248-250 King Street, 1915 (HO679)

The former Kilkenny Inn is a three-storey brick hotel including a basement and a corner tower designed by Sydney Smith & Ogg in the Federation Free style manner showing Art Nouveau and Arts and Crafts influences.



Figure 12. Kilkenny Inn 248-250 King Street, 1915 (Source: HERMES 130682)

Former Markillie's Hotel, now YHA, 562-564 Flinders Street, 1915 (HO1041)

The former Markillie's Hotel was designed by Sydney Smith & Ogg in the Edwardian Baroque style in 1915.



Figure 13. 562-564 Flinders Street, 1915.

The former Danks & Son building at 393-403 Bourke Street is a fine example of an early mid-rise warehouse building designed by prominent architects Sydney Smith & Ogg. It demonstrates the blending of architectural styles, primarily the Federation Free Style with some eclectic Art Nouveau details. In this way it is most comparable to the Kilkenny Inn, also by Sydney Smith & Ogg, which demonstrates a blending of Art Nouveau and Arts and Craft elements. It also incorporates ideas from the American Romanesque style that was popular at the time, with the rusticated vertical end bays of the building topped with a semicircular arch. In this case the module is primarily occupied with oriel windows rather than a recessed bay. The building also features a number of classically derived Art Nouveau embellishments such as garlands and brackets that add a degree of delicacy that departs from the generally robust simplicity of the Federation Warehouse and Romanesque styles.

The building is comparable to other HO-listed buildings in central Melbourne. Herbert and Harold Higson by Bade & Co at 125-127 Flinders Lane (HO1032) and 179 Flinders Lane, 1911 (HO505, HO506), both of which also utilise continuous oriel window bays, although these examples are both executed with a more dominant face brick vertical emphasis in the Federation Romanesque fashion. Both in terms of the architectural style and scale, the subject building compares well to Melbourne Steamship Co building at 27-31 King Street (HO671), which is a slightly earlier example that shows similar eclectic Art Nouveau details and other Federation Free style elements influenced by Baroque architecture.

With its early use of reinforced concrete, the subject building is comparable to 294-296 Collins Street, 1914 (HO598). It is also comparable with the later Equitable House at 345-349 Little Collins Street (Recommended as individually significant within the Hoddle Grid Heritage Review), constructed in 1925 in the interwar Commercial Palazzo style, by demonstrating a similar but very restrained approach to articulation in a mid-rise building where the end bays receive particular vertical emphasis.

ASSESSMENT AGAINST CRITERIA

✓	<p>CRITERION A Importance to the course or pattern of our cultural or natural history (historical significance).</p>
	<p>CRITERION B Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).</p>
	<p>CRITERION C Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).</p>
✓	<p>CRITERION D Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).</p>
✓	<p>CRITERION E Importance of exhibiting particular aesthetic characteristics (aesthetic significance).</p>
	<p>CRITERION F Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)</p>
	<p>CRITERION G Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).</p>
	<p>CRITERION H Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).</p>

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

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PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985** C

**Central City Heritage
Study 1993** C

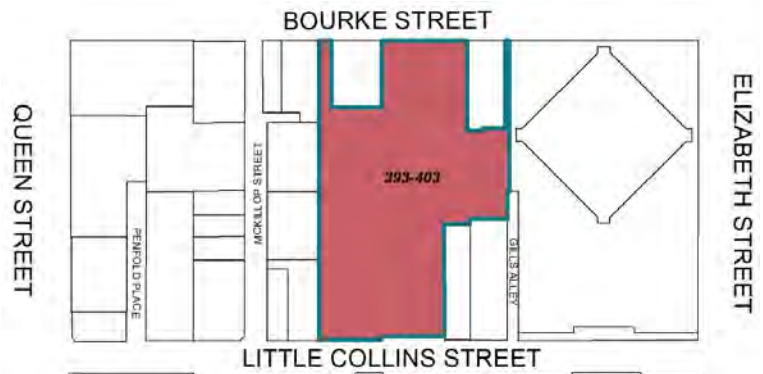
**Review of Heritage
overlay listings in the
CBD 2002** Ungraded

**Central City Heritage
Review 2011** Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Former John Danks & Son

PS ref no: HOXXXX



What is significant?

The Foundry (former Danks & Son) building at 393-403 Bourke Street, Melbourne, a six-storey steel and reinforced concrete building built in 1915-18 to a design by Sydney Smith & Ogg.

Elements that contribute to the significance of the place include (but are not limited to):

- The original building scale and form; and
- The original painted render principle façade and pattern of fenestration, including cornices, semicircular arches, brackets, rusticated end bays, decorative floral garlands, pattern of window openings and curved oriel windows at the second, third and fourth levels.

Later alterations made to the street level facade are not significant.

How it is significant?

393-403 Bourke Street, Melbourne, is of local historic, representative and aesthetic significance to the City of Melbourne.

Why it is significant?

The Foundry (former Danks & Son) building, a six-storey commercial warehouse built in 1915-18 as a retail outlet for hardware manufacturers John Danks & Son Ltd is historically significant. It exemplifies a key phase in Melbourne's development when, in the first decades of the twentieth century during recovery from the economic depression of the 1890s, an increasing number of investors constructed multi-storey premises in the city to house the growing retail industry. The site is historically significant for its long association with and use for, in part and whole, hardware retail. It operated virtually uninterrupted for 148 years from c1859 to 2007 as a retail and wholesale outlet firstly as John Danks &

Sons Ltd, retail and wholesale hardware, from the 1890s to 1957; then McEwans Ltd, retail hardware, from 1965 to 1993. (Criterion A)

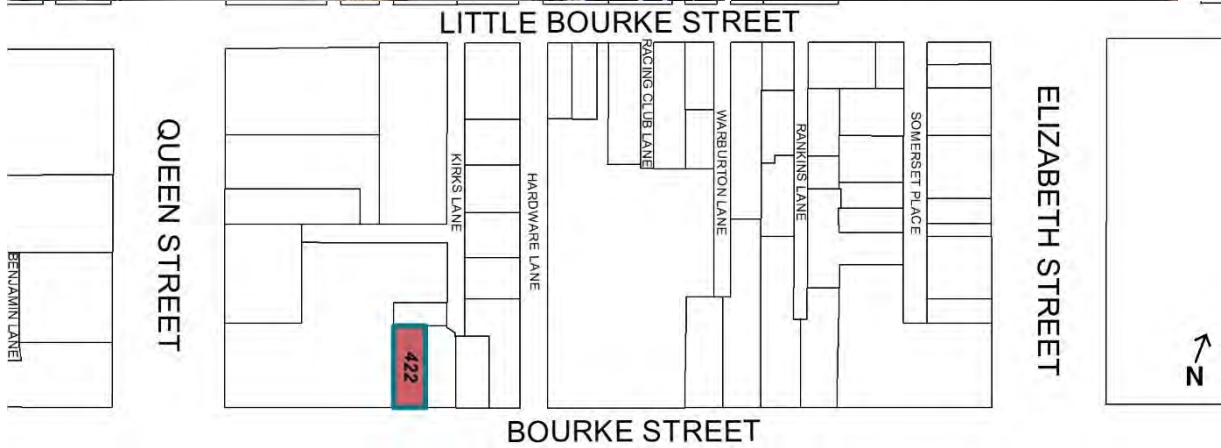
The former Danks & Son building at 393-403 Bourke Street, constructed in 1915-18, is significant as a largely intact example of the first wave of early twentieth-century mid-rise warehouse building development in central Melbourne. Through its architecture, the building demonstrates the confidence of companies such as John Danks & Son in early twentieth-century Melbourne in constructing a substantial and richly detailed building for retail and warehouse use. Its detailing is characteristic of the Federation Free Style while utilising the new materials of structural steel and reinforced concrete to allow for larger windows and increased building heights. (Criterion D)

The building is aesthetically significant for its well-executed use of eclectic Art Nouveau and earlier Victorian details, including cornices, semicircular arches, brackets, rusticated end bays, decorative floral garlands, pattern of window openings and oriel windows. The aluminium replacement windows replicate the configuration and leadlight sashes of the original windows, thereby maintaining the repetitive pattern of the windows and their compatibility with the articulation of the façade. The building is notable as having been designed by architects Sydney Smith & Ogg, who were influential during the Edwardian period, designing houses, shops, banks, hotels and churches. (Criterion E)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Offices
STREET ADDRESS	422-424 Bourke Street Melbourne
PROPERTY ID	101183



SURVEY DATE: March 2019		SURVEY BY: Context	
HERITAGE INVENTORY	H7822-1441	EXISTING HERITAGE OVERLAY	No
PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
DESIGNER / ARCHITECT / ARTIST:	Not known	FORMER GRADE	C
		BUILDER:	William Ireland
DEVELOPMENT PERIOD:	Victorian Period (1851-1901)	DATE OF CREATION / MAJOR CONSTRUCTION:	1857-58

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here.
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a Commercial City	5.3 Developing a large, city-based economy

LAND USE

HISTORIC LAND USE	
Archaeological block no: 28	Inventory no: 441
Character of Occupation: Commercial	
Building constructed on site 1868.	
1880 Panorama	Two-storey building
1888 Mahlstedt	Two-storey building, Victorian United Victualler's Association
1905/6 Mahlstedt	Two-storey building, Victorian United Victualler's Association
THEMATIC MAPPING AND LAND USE	
1890s	Offices
1920s	Offices, Cafés
1960s	Offices, Cafés

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

422-424 Bourke Street, Melbourne is a two-storey early Victorian office building constructed in 1857-58. It was built by wealthy and influential Melbourne character, Hugh Glass (d.1871), an Irish-born farmer, livestock and station agent, and property speculator. The building housed a range of tenants into the 1980s, including stock and station agents, solicitors, and from 1985 to c2011 the Melbourne Fine Art Gallery.

HISTORICAL CONTEXT

Building a commercial city

Developing a large, city-based economy

Even before the early 1850s, Melbourne had established the foundational infrastructure for international trade and commerce, including retail markets, shipping agents, stock and station agents, and industry and finance houses - the beginnings of an entrepreneurial global city (Context 2012:2).

As Lionel Frost writes, most of Melbourne's early commerce depended on resources from its rural hinterland, and vice versa:

Both city and country shared a common past and both reshaped each other: Melbourne, by providing the commercial and transport services and production inputs that farmers and pastoralists needed to produce commercially for overseas markets; and the rural areas, by producing the wool, farm products and minerals that created jobs in Melbourne. After pastoralists from Tasmania established a settlement at Melbourne, the wool industry stimulated the growth of the town as a financial centre that channelled British investment to pastoralists and as the headquarters of merchants who arranged exports of raw materials to British factories. It was these links with the countryside that shaped the nature and growth of the Melbourne economy before World War I (Frost 2008).

The gold rushes accelerated Melbourne's growth and by 1861 the city's population was 125 000, more than twice that of San Francisco (Frost 2008). The area bounded by Flinders Street, William Street, Bourke Street and Elizabeth Street developed as the financial heart of the city in the years following the discovery of gold in 1851. Banks, insurance companies, stock and station agents, building societies and shipping companies were established and many of them erected substantial buildings (Savill 1987).

In the boom years of the 1880s, Melbourne's population approached half a million, becoming Australia's largest city. More than a third of the New South Wales wool clip was exported through Melbourne, and the city's commercial institutions organised trade and investment in areas as far afield as Broken Hill, northern Queensland, Fiji and New Zealand (Frost 2008). As a consequence, office, retail and manufacturing space was in demand and multi-storeyed architect designed buildings were constructed to provide this accommodation.

However, the boom of the 1880s saw over-borrowing and overspending on building projects, and the subsequent economic depression in the early 1890s saw many banks and land companies close their doors as British capital was rapidly withdrawn. The city recovered to some extent in the early twentieth century, and Melbourne underwent further development in its new role as the nation's capital. The economic depression followed in the 1930s, which marked another period of decline. Nevertheless, during the long boom of the postwar period that followed, the bulk of Australia's leading public companies established their headquarters in Melbourne. Melbourne remained the financial centre of Australia, a role it maintained until the late twentieth century (Context 2012:41).

SITE HISTORY

The subject building at 422-424 Bourke Street is located on land that was sold to S J Brown in 1837 as part of Crown Allotment 2, Block 20 ('Plan of Melbourne' 1838). The site was addressed as 55-57

Bourke Street west until c1889, and 422-424 Bourke Street thereafter (see Figure 1, Figure 2 and Figure 3) (RB 1868, S&Mc 1890).

Speculator, squatter and merchant, Hugh Glass, purchased at least 15 allotments in the north of Melbourne city in the land sales of 1847 and 1848 ('Plan of Melbourne' 1838). He became the owner of a number of other allotments in later years, including, by 1870, land in the immediate vicinity of the subject site (RB 1870). Between 1850 and 1861, at least 20 buildings, including houses, warehouses and shops, were constructed in the city for Glass. Only two of these buildings comprised offices: the subject building at today's 422-424 Bourke Street in 1858, and a building in Little Collins Street, near Queen Street, c1859 (AAI records).

A notice of intent to build an office building in Bourke Street west, near the intersection of Queen Street, was lodged with Melbourne City Council in December 1857, with Glass listed as the owner and William Ireland as the builder (MCC registration no 1074, as cited in AAI, record no 73606). The building first appears tenanted in street directories of 1858, indicating it had been constructed by this time (S&Mc 1858). Melbourne City rate books of 1861 (the first year of available rate books) show a multi-tenanted office building at the subject site (RB 1861). Glass likely built the offices as an investment, as there is no evidence that he occupied the building himself. Rate books indicate that the subject building was owned by Glass until 1870, and by the 1871 rateable year, it had changed ownership to Mathew Craig (RB 1870, 1871).

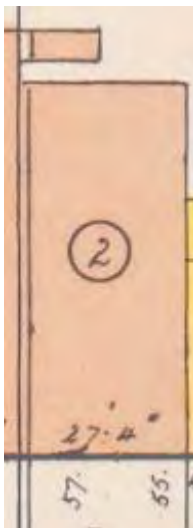


Figure 1. The two-storey building as it appeared in 1888, addressed as 55-57 Bourke Street. (Source: Mahlstedt Map Section 1, no 20, 1888)



Figure 2. The building in 1910. By this time, the property was addressed as 422-424 Bourke Street. (Source: Mahlstedt Map Section 1, no 13, 1910)



Figure 3. The building in 1925. The Bourke Street frontage has been altered to create one large glazed shopfront. (Source: Mahlstedt Map Section 1, no 13, 1925)

The subject building is located in an area of Bourke Street once known as Bourke Street west, as it was located west of the post office. This area of the city was renowned for the concentration of horse saleyards (such as Bear's and Kirk's Horse Bazaar), saddlers, whip factories, stock agents, carriage-builders and harness-makers (May 2008).

The first tenants of the subject building, then addressed as 55-57 Bourke Street west, took up occupancy in April 1858: auctioneers W M Ward & Co occupied number 55 (today's 422); and a firm of stock and station agents named Ryan & Hammond, who undertook the buying and selling of sheep

and cattle stations in Victoria, New South Wales and South Australia, occupied number 57 (today's 424) (*Age* 5 April 1858:8). Charles Ryan, an Irish overlander from New South Wales founded the firm with pastoralist Robert Hammond in 1856. Hugh Glass, owner of the subject building, and Ryan were known to each other through their interests in squatting (pastoral) runs. An advertisement for Ryan & Hammond's services in 1858 reads:

RYAN & HAMMOND have for sale a Station in the Murray District, with 2000 sheep warranted clean, about 1500 of them in lamb. There is a pre-emptive right of 640 acres, with very good improvements. The run will carry about 6000 sheep. Also, a first class well-watered fattening Station, with miles frontage to the upper Darling, by a depth of miles (*Age* 5 April 1858:8).

A solicitor by the name of Nolan was the tenant of today's 422 Bourke Street from c1861 until 1892, whilst Ryan & Hammond continued to occupy today's 424 Bourke Street until 1893 (S&Mc 1892, 1893; RB).

The occupation of 424 Bourke Street by stock and station agents was continued by Theo H Parker & Co, who remained at the site until c1910, when its occupancy was replaced by C H Nelson, also a stock and station agent (S&Mc 1910). By 1920, stock and station agent William Skelly occupied the site (S&Mc 1920). From the 1920s, the building at 424 Bourke Street was occupied by different cafés and snack stores through until the 1970s (S&Mc 1925, 1942, 1955, 1965, 1974). By 1925, the street-level windows at the Bourke Street frontage had been replaced with a large glazed shopfront (see Figure 3).

The Victorian United Licenced Victualler's Association occupied the building at 422 Bourke Street from c1885 until 1893 (S&Mc 1885, 1893). The Association was established in 1841 to represent the interests of licensed publicans and assist in the granting of liquor licenses, making it one of the earliest professional organisations in Victoria (*Age* 9 November 1860:6; Higgs 1994:6). During its tenure at 422 Bourke Street, the Association opposed the work of the Temperance movement, which was beginning to peak in the 1880s and, working within an increasingly restrictive Licensing Act, sought ultimately to establish prohibition-like restrictive sales of alcohol across Australia (Swain 2008; *Argus* 7 September 1854:4). By the end of its tenancy, the Association had become a wealthy and powerful lobby group, with many members of the Association using their positions to further their careers in parliament and other prominent institutions (Higgs 1994:3).

By 1897, 422 Bourke Street was used by an employment agency and Cox, Solomon & Co, manufacturing chemists (S&Mc 1897). Cox, Solomon & Co were the manufacturers of 'Solomon Solution', a solution for horses which was advertised as a cure for a range of sores and wounds on the animals (NMA 2019). Both the employment agency and Cox, Solomon & Co remained at the site until 1907, however by 1910, the latter had been taken over by C H Nelson & Co (S&Mc 1907, 1910).

By 1915, 422 Bourke Street was occupied by Marshall Lyall, a solicitor and Consul General for Colombia, who remained there until 1924 (S&Mc 1915, 1922, 1924). Afterwards, a firm of solicitors under the name Murphy occupied the site, which continued until the 1970s (S&Mc 1970, 1974). In 1979 alterations were made to the shopfront, though the exact nature of works is not known (MBAI).

In the early 1980s, the two buildings were addressed as 422 Bourke Street and were occupied by a gem store (*Age* 31 May 1980:30). In 1985 the Melbourne Fine Art Gallery was established at the property, exhibiting an international array of mediums and styles, and assorted works from the nineteenth century to present (*Age* 21 August 1999:117; Only Melbourne; Melbourne Fine Art

Gallery). The Gallery occupied 422 Bourke Street until at least 2011 (Bourozikas 2011). During this tenancy the ground floor shop was refurbished extensively (MBAI).

In 2018, the property at 422-424 Bourke Street contained one business and one shop (CoMMaps).

SITE DESCRIPTION

Located on the north side of Bourke Street between Elizabeth Street and Queen Street, 422 Bourke Street is a two-storey early Victorian commercial building constructed in 1857-58 during Melbourne's pre-boom period. It was originally used as offices for stock and station agents and then by a range of other tenants including the Victorian United Licenced Victualler's Association and the legal profession.

The principal façade to Bourke Street is of painted render over loadbearing brickwork. At the first-floor level the façade is symmetrical with a tapering Ionic pilaster at each end supporting a modest entablature with a complex dentilled cornice that has a projecting section directly over the pilasters. Above the cornice is a simple low horizontal parapet. The pilasters sit on a minor cornice that runs the width of the building below the first-floor windows.

The first-floor level comprises three vertically proportioned window openings with moulded render architraves and projecting sills. Above each window is a projecting pediment supported on a pair of console brackets, arched at each end and triangulated in the centre. The windows consist of (probably original) timber-framed double-hung sashes.

While modest in scale, the architectural features of the façade are representative of a refined version of the Victorian Free Classical/Italianate style generally found in larger buildings from the period. Typical elements of the style include a decorative cornice, pedimented window openings and tapering pilasters with simplified capitals, all of which derive from classical architecture. In this instance the alternating arrangement of the upper window pediments is a typical detail found in many substantial Victorian buildings.

At street level, the façade consists of a large plate glass contemporary shop front adjacent to a single door providing access to the upper level.

INTEGRITY

422 Bourke Street is largely intact with some changes visible to the original or early fabric of the building. The building retains its original scale; painted render principal façade with tapered pilasters, cornices, window frames and pediments and other decorative elements such as the console brackets to its Bourke Street façade. It retains its original fenestration, pattern of openings and timber frame windows in the upper level. Alterations include the removal of original openings at the ground level and replacement with a contemporary glazed shopfront. Overall, the building is of high integrity.

COMPARATIVE ANALYSIS

422 Bourke Street predates the large-scale expansion of substantial commercial office buildings erected during the post 1880s boom period in Melbourne, some of which were designed in extravagant Renaissance and Italianate styles. 422 Bourke Street presents as a more modestly scaled example of an early office building in comparison to the later grander examples included on the Heritage Overlay. In terms of its scale, it is more comparable with the low scale shop and warehouse buildings constructed around this period, but its architectural treatment is more refined than that generally applied to these buildings.

The following examples in Melbourne are comparable with 422 Bourke Street being of a similar scale, style, construction date and/or use. The below images and descriptions are provided by CoMMaps unless stated otherwise, with images dated c2000 or later.

380 Elizabeth Street, 1850s (HO1020)

A two-storey rendered brick shop and residence. Built in the mid-1850s substantial changes were made in its first 50 years. Initially a simple store and residence it was extended and converted into a hotel by the early 1870s. Originally known as the Prince of Wales it was further extended in 1888 and renamed the Federal Club. The resultant new façade is still in evidence today. It was delicensed in 1918, purchased by the leather merchant Thomas Bulley in 1920 and converted to a workshop and residence. This business remained here until 1988.

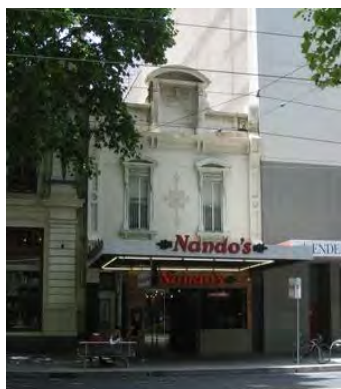


Figure 4. 380 Elizabeth Street, built c1855.

66-70 Bourke Street, 1860 (HO534, Significant in HO500 Bourke Hill Precinct)

A row of three two-storey rendered shops. Numbers 66 and 70 are significant in HO500. All three buildings have been altered at ground level.



Figure 5. 66-70 Bourke Street, built in 1860.

Bourke Street East Post Office, 35-37 Bourke Street, 1872 (HO527, Significant in HO500 Bourke Hill Precinct)

A two-storey rendered brick shop, built in 1872.



Figure 6. 35-37 Bourke Street built in 1872.

51-53 Bourke Street, 1860s (HO531, Significant in HO500 Bourke Hill Precinct)

A row of 1860s two-storey rendered shops at 51 and 53 Bourke Street. It has simple classically derived detailing to the upper floors, and substantially altered façade at ground level.



Figure 7. 51-52 Bourke Street built in the 1860s.

328-330 King Street, 1850 & 1880s (HO680)

A two-storey rendered brick shop and dwelling, built by James Heffernan in the Colonial Georgian style in 1850 with two-storey rear section added in the 1880s.



Figure 8. 328-330 King Street, originally built in 1850.

422 Bourke Street is a substantially intact example of a modestly scaled early Victorian office building constructed in 1857-58. Demonstrating a refined Victorian Free Classical/Italianate style, reflecting the Victorian-period taste for ornamentation derived from classical architecture, the building retains its original decorative elements including tapered pilasters, cornices, window frames, parapet and other decorative elements such as alternating window pediments and console brackets to its Bourke Street façade.

It is comparable with a number of other HO listed examples including 380 Elizabeth Street (HO1020), and 66-70 Bourke Street (HO534), which exhibit typical stylistic characteristics such as alternating pediments above the first-floor windows and decorative pilasters. It exhibits more refined design elements than an early shop at 328-330 King Street (HO680). It is also comparable to the mid-Victorian places near the eastern end of Bourke Street, including 51-53 Bourke Street (1860s), 66-70 Bourke Street (1860) and Bourke Street East Post Office at 35-37 Bourke Street (1872) (all significant in HO500 Bourke Hill Precinct). The individually significant examples above exhibit a similar degree of change to original or early fabric as evident in the subject building, namely in the replacement of original openings at street level and replacement with contemporary shopfronts.

It also shares with the above examples of modest Victorian buildings a primary street frontage, which is becoming increasingly rare within the Hoddle Grid where they have been largely replaced by large scale commercial development.

ASSESSMENT AGAINST CRITERIA

✓	<p>CRITERION A Importance to the course or pattern of our cultural or natural history (historical significance).</p>
	<p>CRITERION B Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).</p>
	<p>CRITERION C Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).</p>
✓	<p>CRITERION D Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).</p>
	<p>CRITERION E Importance of exhibiting particular aesthetic characteristics (aesthetic significance).</p>
	<p>CRITERION F Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)</p>
	<p>CRITERION G Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).</p>
	<p>CRITERION H Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).</p>

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

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PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985** D

**Central City Heritage
Study 1993** C

**Review of Heritage
overlay listings in the
CBD 2002** Ungraded

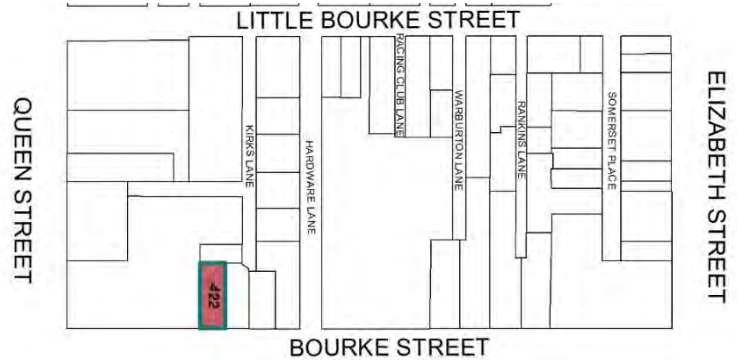
**Central City Heritage
Review 2011** Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Offices



PS ref no: HOXXXX



What is significant?

422 Bourke Street, Melbourne, a two-storey office building built in 1857-58.

Elements that contribute to the significance of the place include (but are not limited to):

- The original building form and scale;
- The original painted render walls, pattern of fenestration at first floor level, and decorative elements including tapered pilasters, cornices, parapet and decorative elements such as alternating window pediments and console brackets to its Bourke Street façade; and
- The original double hung timber frame windows.

Later alterations made to the street level facade, including the plate glass shop front, are not significant.

How it is significant?

422 Bourke Street, Melbourne, is of local historic and representative significance to the City of Melbourne.

Why it is significant?

422-424 Bourke Street, Melbourne is historically significant for its association with the influence of rural industry on the growth of Melbourne city as a financial centre. Constructed in 1857-58 as an office building in the western part of Bourke Street, an area of the city then the focus of horse saleyards, saddlers, whip factories, stock agents, carriage-builders and harness-makers, it was tenanted by stock and station agents' offices from 1857 to the 1920s. One such tenant was Ryan & Hammond, stock and station agents established in Melbourne in 1856, who occupied the building from 1858 to 1893 at a time when the wool industry played a vital role in the growth of Melbourne. It was built by wealthy and influential Melbourne figure Hugh Glass (d.1871), farmer, livestock and station agent, and property developer, who amassed his considerable wealth from significant landholdings in the 1850s and 1860s,

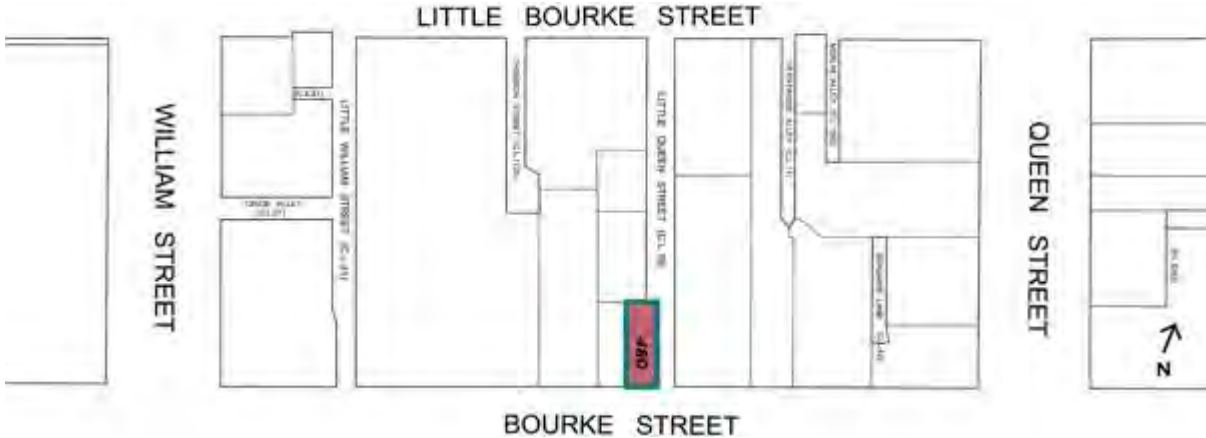
comprising pastoral stations in rural areas of Victoria, New South Wales and South Australia, as well as numerous allotments in Melbourne city. (Criterion A)

422 Bourke Street is significant as a substantially intact example of an early Victorian commercial office building constructed in 1857-58 during Melbourne's pre-boom period. Built of loadbearing brickwork with painted render finish, it exhibits a refined Victorian Free Classical/Italianate style reflecting the Victorian taste for ornamentation derived from classical architecture. The Bourke Street façade exhibits some characteristics that were more common in larger scale commercial buildings of the 1880s boom period, including tapered pilasters and other decorative elements such as alternating window pediments and console brackets. (Criterion D)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Commercial building
STREET ADDRESS	480 Bourke Street Melbourne
PROPERTY ID	101179



SURVEY DATE: October 2017		SURVEY BY: Context	
HERITAGE INVENTORY	H7822-1430	EXISTING HERITAGE INVENTORY	No
PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
DESIGNER / ARCHITECT / ARTIST:	A & K Henderson, Alsop & Martin	FORMER GRADE	C
		BUILDER:	B F Vorweg
DEVELOPMENT PERIOD:	Interwar Period (c1919-c1940)Interwar Period (c1919-c1940)	DATE OF CREATION / MAJOR CONSTRUCTION:	1925

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Stage 2 Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here
HISTORIC THEMES	DOMINANT SUB-THEMES
3 Shaping the urban landscape	3.2 Expressing an architectural style
	OTHER SUB-THEMES
4 Governing, administering and policing the city	4.6 Administering justice

LAND USE

HISTORIC LAND USE	
Archaeological block no: 27	Inventory no: 430
Character of Occupation: Commercial	
Land sale details not provided	
1866 Cox	Building on site
1880 Panorama	Two storey building
1888 Mahlstedt	Two one-storey buildings, Registry Office then Labour Agent.
1905/6 Mahlstedt	Two one-storey buildings, Registry Office then Labour Agent.
THEMATIC MAPPING AND LAND USE	
1890s	Office
1920s	Office
1960s	Office

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

480 Bourke Street is a four-storey interwar office building designed by A & K Henderson, Alsop & Martin in 1925.

HISTORICAL CONTEXT

Governing, administering and policing the city

Maintaining law and order

From 1843 the Supreme Court of Victoria was located on the northwest corner of Russell and La Trobe streets, next to the (Old) Melbourne Gaol and opposite the Police Barracks. From 1857 the County Court occupied premises fronting Swanston Street, in the same block. But Melbourne's commercial and mercantile interests, including banking, insurance, stockbroking and pastoral enterprises, established themselves near the wharves and railway stations, at the western end of town, and the lawyers followed them there (Balmford 2008a). For many years, the area of Little Bourke Street between William and Queen streets was known as Law Courts Place, and the corresponding portion of Little Collins Street as Chancery Lane.

In 1884, a new Law Courts building was erected at the southeast corner of William and Lonsdale streets, moving the focus of the legal fraternity — the lawyers' offices and barristers' chambers — from the eastern end of town to the western end around William and Bourke streets (Context 2012:34). Even before 1884, most firms of city solicitors had their offices in the precinct, nearby the Titles Office, State Revenue Offices, the Crown Law Offices, and existing government tribunals (Balmford 2008a).

Melbourne's legal precinct, including members of the legal profession, courts and government offices associated with the legal system, continues to be primarily located in the area bounded by Collins, William, Lonsdale and Queen Streets (Balmford 2008a).

Shaping the urban landscape

Expressing an architectural style

The interwar period adapted classical styles to commercial architecture with sub sets of Georgian, Renaissance and Greek revival fitting within this overall style. The rather muted approach was sympathetic to earlier Victorian-era buildings and used a similar architectural vocabulary to those steeped in classical form and decoration. As a building type, offices tended to take a secondary role to monuments of civic and religious importance and saw such buildings as infill to the street.

This continuity of style and form was integral to the idea of polite, well-mannered buildings that found favour in the Royal Victorian Institute of Architects (RVIA). The RVIA Street Architecture Award, first established in 1929, recognised buildings conforming to the architectural profession's idea that good manners and refined taste were crucial to the city's development. Francis House at 107 Collins Street epitomises the urbanity of 1920s and was the first winner of this Award (Goad, 2009:110,123).

The interwar period also brought a change in building to structural steel and reinforced concrete framing, however buildings continued to adopt traditional architectural elements simply modified to the new construction material. This was particularly true of concrete that could be moulded to resemble traditional masonry render.

SITE HISTORY

The subject site at 480 Bourke Street forms part of Allotment 5, Block 19, in the City of Melbourne. Originally addressed as 87 Bourke Street, the first documented occupation of the site dates to 1857 when a brick building occupied the land (PROV VPRS 8168/P3 unit 46). A two-storey building is

recorded on the site in 1880, and from 1888 J D Ryland's Registry Office occupied one of two single-storey buildings on the site, followed by labour agent Horsley's offices by 1910 (Fels, Lavelle & Mider 1993, Inventory no 430; Mahlstedt Map, no 19A, 1888; Mahlstedt Map, no 16, 1910).

In 1924, law firm Smith and Emmerton, established in 1845, purchased the land and building at 480 Bourke Street. By 1925 the existing structure and foundations had been demolished, and a four-storey office building was built in its place by B F Vorweg to the design of architects A & K Henderson, Alsop & Martin (Figure 1, Figure 2) (CT V5023 F550; MBAI).

On his death in 1927, Harry Sam Emmerton was described in an obituary as 'the oldest practising solicitor in Melbourne, and a distinguished member of his profession':

Mr Emmerton was born on his father's estate Wavendon, Buckinghamshire (Eng), in 1845, and came to Australia with his parents when he was aged four years. Following the traditions of his family which, it is stated, had given 'auditors and notaries' to the Court of Henry VIII. and Elizabeth, as to later generations, he read law, and was admitted as a solicitor in Victoria in 1872. For 55 years he practised as a member of the firm of J. M. Smith and Emmerton, which he joined as a junior clerk. Mr Smith died in 1898, and Mr Emmerton directed the firm alone until...joined...by Mr H R Hamer in 1901.

Mr Emmerton was a member of the boards of The Trustees, Executor and Agency Company Limited and the Alliance Assurance Company. For several years he was a member of the Supreme Court board of examiners and of the council of the Law Institute. He was deeply interested in charities, and he was honorary legal adviser to the Children's Hospital for more than 30 years, and legal adviser to the Talbot Colony for Epileptics. He assisted in preparing the Hospitals and Charities Act. Mr Emmerton was one of the oldest members of the Melbourne Club... (Argus 20 July 1927:21).

Sands and McDougall street directories from 1926-1938 list the building as 'Selbourne Chambers-Extn', with Smith and Emmerton leasing the second and third floors to a number of barristers during this time (S&Mc 1926). The original Selbourne Chambers had been built in William Street in 1881.

On Emmerton's death in 1927 the property was devolved to his wife Alice, daughter, Mabel, and fellow proprietor, H R Hamer (CT V4293 F507). Hamer's son, Rupert Hamer, Premier of Victoria from 1972 to 1981, was an active partner in the law firm following his return from World War Two until 1968 (Parliament of Victoria). The property changed hands within the partnership several times until the newly formed Australia and New Zealand Bank (ANZ) purchased the site for £45,000 in 1951 (see Figure 3, Figure 4) (Argus 25 January 1951:12; CT V5023 F550). Smith & Emmerton continued operating from the first floor until c1965, on a long lease agreement with ANZ (Figure 4).

In 1967, 480 Bourke Street was sold with vacant possession of the ground and first floors (Age 11 April 1967:13). From 1970 a number of solicitors occupied the building, as well as a chemist, accounting firm and management consultants (S&Mc 1970 & 1974). The Smith and Emmerton law firm operated under that name until 1998, when the firm became known as Gadens Lawyers (Law Institute Journal 1999:20).

Today, 480 Bourke Street is occupied by a bakery at ground level, and the offices in the floors above house various corporate services companies.

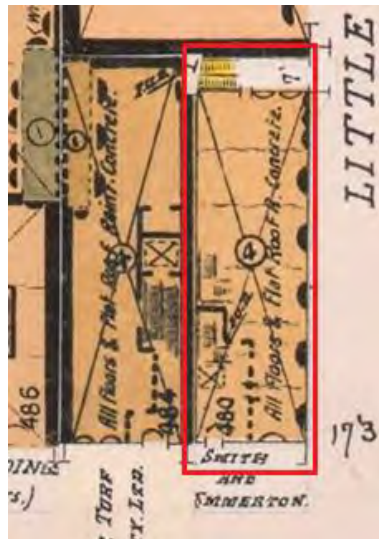


Figure 1. Detail from a 1925 Mahlstedt plan show a four-storey office building occupied by Smith and Emmerton. (Source: Mahlstedt Map Section 1, no 16, 1925)

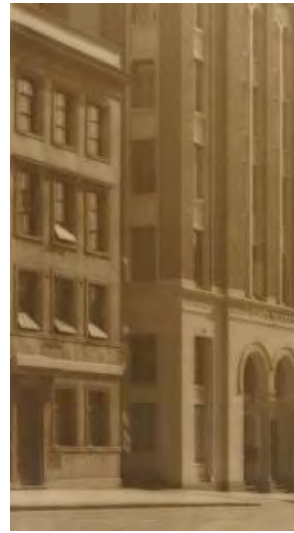


Figure 2. A 1931 image of the nearby Equity Trustees Chambers at 472-478 Bourke Street showing number 480 to the left. (Source: Kauffman1931, SLV)

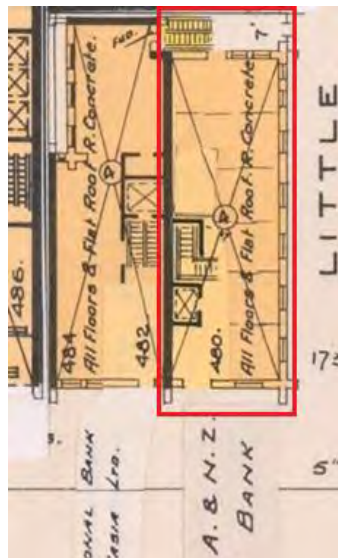


Figure 3. A detail from a 1948 Mahlstedt plan shows only one alteration to the building at this time; the removal of an interior stairwell. (Source: Mahlstedt Map Section 1, no 16, 1948)



Figure 4. The Bank of Australasia (now ANZ) purchased 480 Bourke Street in 1951. (Source: *Argus* 25 January 1951:12)

A & K Henderson, Alsop & Martin, architects

The *Australian Encyclopedia of Architecture* contains the following information about architects A & K Henderson, Alsop & Martin:

The firm of A & K Henderson was formed in Melbourne, Victoria in 1906, as the partnership of father and son Anketell Matthew Henderson (1853-1922) and Kingsley Anketell Henderson (1883-1942). At its peak, in the interwar years, it rivalled such firms as Hennessey & Hennessey and Stephenson & Meldrum for its size and reach across Australia.

Kingsley Henderson was articled to his father from 1901, also undertaking study at the University of Melbourne and the Working Men's College. He was appointed a partner in

1906, the firm then known as Anketell & K Henderson. With his father lessening his involvement in the practice, the partnership was extended in 1920-1924, to include Rodney Alsop and Marcus Martin: it was as A & K Henderson, Alsop & Martin that they secured Temperance & General Life Assurance as a client, for which they would build multiple branches, with its distinctive white tower but rendered in different architectural styles, across multiple Australian towns and cities (Willis 2012:322).

The entry for A & K Henderson, Alsop & Martin in *Australian Dictionary of Biography* states that:

The firm won several competitions during the 1920s and in 1931 was awarded the RVIA Victorian Street Architecture medal for Lyric House, Collins Street, and in 1935 for Shell Corner, William Street. The work of the practice was carried out in all States of Australia and in New Zealand and its clients included notables such as Essington Lewis, (Sir) Robert Menzies and (Dame) Enid Lyons, banks and insurance companies, hospitals and universities (Balderstone 1983).

SITE DESCRIPTION

480 Bourke Street is a four-storey commercial building from the interwar period. It is located on the corner of Bourke Street and Little Queen Street with frontages to both streets. The building displays characteristics of the Georgian Revival style, featuring motifs and elements associated with classical architecture. The style was used for commercial buildings of a modest scale and was often associated with professional offices or chambers.

480 Bourke Street is constructed of concrete with a rendered finish. It has a flat reinforced concrete roof concealed behind a decorated parapet with deep cornice and dentil row. The symmetrical façade is composed of groups of three identical window openings on each of the upper levels. Each window opening is surrounded by a moulded architrave. Steel framed windows are composed of three sections, each with three panes. The lower sections are operable. The mid-level windows have a deep cornice along the top of the window and simple brackets below the sill. The upper façade is separated from the ground level façade by a simple entablature running below the window line of the second floor.

Alterations have occurred at ground level. Early photographs show a single-entry door to the western side of the façade, with two windows adjacent to it. The windows have now been replaced with a modern glazed shop front and entry door (installed 1957-67). The original doorway retains a simplified Doric cornice supported by scrolled corbels on either side. An original frieze was removed sometime after 1972. The area around the door is clad in cream tiles, installed c1967.

Decorative detailing to the Bourke Street façade is continued on the Little Queen Street elevation. At the Bourke Street end, window details match those on the front façade. Further down Little Queen Street, windows are larger with fifteen panes. At ground level these windows have been infilled.

At the rear, an original, external timber staircase is concealed at ground level by a corrugated iron partition and doorway and extends the full height of the building. Each floor has two windows, one square hopper window and one nine-pane awning transom window.

INTEGRITY

The building retains a high level of integrity at the upper levels. Alterations have occurred at ground level and include insertion of a glazed shopfront, and installation of cream tiles around the original doorway.

COMPARATIVE ANALYSIS

480 Bourke Street is one of several commercial buildings to combine the interwar classical revival style with concrete framing. This class of place is demonstrated by a number of central city buildings including Victor Horsley Chambers (1922-26) Francis House (1928) and ANZAC House (1938).

480 Bourke Street may be compared to the following examples, drawn chiefly from the Central City Heritage Review 2011 and Guilford and Hardware Laneways Heritage Study 2017, and being of a similar use, scale, and creation date. The below images and descriptions are provided by CoM Maps unless stated otherwise.

Selected examples of mid-level commercial buildings designed in interwar classical revival styles include:

Victor Horsley Chambers, 10-12 Collins Street, 1922-1926 (VHR H0563; HO474)

10-12 Collins Street is characterised by a Renaissance revival style with the appearance of rusticated masonry to the ground floor, a hierarchy of importance of each level using elements including a balcony, pedimented mouldings and graduated window sizes from ground to upper levels. The building is architecturally significant for its polite Renaissance classicism and the conscious attempt to blend in with neighbouring structures.



Figure 5. 10-12 Collins Street built in 1916-1925.

Francis House, 107 Collins Street, 1927 (HO573, Significant in HO504 Collins East Precinct)

Francis House is a six-storey reinforced concrete office building designed by William Arthur Mordey Blackett and William Blackett Forster. Francis House has a rather austere and stylised use of ornament and form, blending the Georgian revival decorative front elevation with a concrete frame.



Figure 6. Francis House, 107 Collins Street built in 1927.

482-484 Bourke Street, 1926 (Interim HO1241 – recommended as significant in the Hoddle Grid Heritage Review)

A four-storey commercial building designed in a classical revival style from the interwar period. 482-484 Bourke Street is constructed of reinforced concrete with a rusticated base complemented by a deep cornice and restrained use of mouldings.



Figure 7. 482-484 Bourke Street built in 1926. (Source: Context 2018)

Former Pellegrini & Co premises, 388-390 Bourke Street, 1930 (HO1206)

An eight-storey office building of reinforced concrete construction designed by AA Fritsch. A taller building than others of this period, it expresses its classicism in the arrangement of base, shaft and capital as well as the use of balconies and pilasters. The concrete frame has allowed larger window sizes than is possible in a masonry building.



Figure 8. 388-390 Bourke Street built in 1930

ANZAC House, 4-6 Collins Street, 1938 (VHR H0415; HO564)

ANZAC House by Oakley and Parkes is a later but finely detailed example of the Georgian revival that evokes an older style of buildings for which the east end of Collins Street was once well-known. Unlike the other examples it has a stone cladding over a reinforced concrete frame.



Figure 9. 4-6 Collins Street built in 1938. (Source: VHD)

152-156 Swanston Street, 1938 (Interim HO1295 – recommended as significant in the Hoddle Grid Heritage Review)

In the context of the commercial work of A & K Henderson, 152-156 Swanston Street is a modest example and comparable to 480 Bourke Street. It adopts the relatively conservative classical styling.



Figure 10. 152-156 Swanston Street originally built in 1888 and remodelled in 1936.

480 Bourke Street is an earlier example by A & K Henderson than the remodelling of 152-156 Swanston Street. State-listed ANZAC House is considered a seminal example and is intact in its street elevation. State-listed 10-12 Collins Street provides a rather more scholarly approach to the classical revival and is rightly recognised for its architectural sophistication. 107 Collins Street and 388-390 Bourke Street provide the most useful comparison as their local threshold have been established and they express a similar Georgian revival street elevation. Overall 480 Bourke Street is a representative example of the classical revival style as applied to commercial buildings and a modest example of the work of A & K Henderson who were noted exponents of the classical revival as applied to commercial architecture.

ASSESSMENT AGAINST CRITERIA

✓

CRITERION A

Importance to the course or pattern of our cultural or natural history (historical significance).

CRITERION B

Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).

CRITERION C

Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).

✓

CRITERION D

Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).

CRITERION E

Importance of exhibiting particular aesthetic characteristics (aesthetic significance).

CRITERION F

Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)

CRITERION G

Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).

CRITERION H

Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

REFERENCES

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PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985**

D

**Central City Heritage
Study 1993**

C

**Review of Heritage
overlay listings in the
CBD 2002**

Ungraded

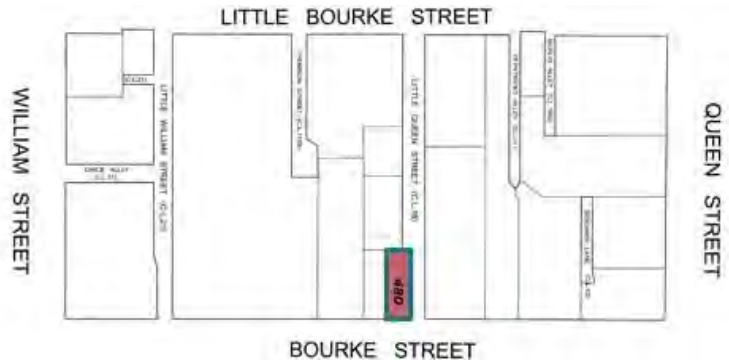
**Central City Heritage
Review 2011**

Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Commercial building

PS ref no: Interim HO1242



What is significant?

480 Bourke Street, a four-storey building, constructed in 1925.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's external form, materials and detailing;
- The building's high level of integrity to its original design;
- The decorated parapet, cornice, dentil row and entablature;
- Its symmetrical arrangement, pattern and sizing of fenestration at above ground levels;
- The steel window frames, sill brackets and moulded architraves; and
- The original doorway with Doric cornice supported by scrolled corbels on either side on the Bourke Street façade.

Later alterations made to the street level facades of Bourke and Little Queen Streets, and later alterations above ground level on the Little Queen Street facade, are not significant.

How it is significant?

480 Bourke Street is of local historic and representative significance to the City of Melbourne.

Why it is significant?

480 Bourke Street is historically significant for its association with the area known as Law Courts Place between Bourke, Little Bourke, William and Queen Streets. This area was occupied by lawyers offices

prior to the construction of the existing Law Courts, when the focus of legal activities moved to the William and Lonsdale Street corner Erected in 1925, it is historically significant as premises purpose-built to accommodate barristers' and solicitors' rooms, and used by those professions through until the 1970s. 480 Bourke Street is associated with long-running Melbourne law firm, Smith and Emmerton, who operated under that name from 1845 to 1998 with Victorian Premier Rupert Hamer (1972 to 1981) as an active partner in the firm from 1968-1972. (Criterion A)

480 Bourke Street is a representative example of a small commercial building from the interwar period when the classical revival style was reinvented in concrete-framed buildings. Its Georgian revival façade is a subset of the broader classical revival style which was preferred for well-mannered buildings that fitted into existing streetscapes and provided a suitable demeanour for professional rooms and chambers. 480 Bourke Street is a modest and relatively intact work by A & K Henderson who expressed their version of the classical revival through a formal composition of the façade and the restrained use of classical elements. (Criterion D)

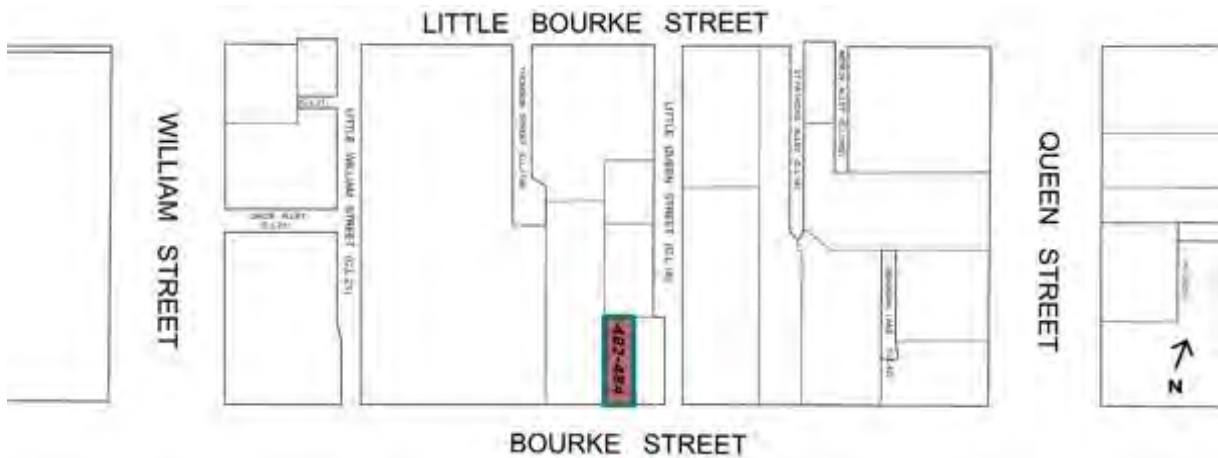
Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME Former Victorian Amateur Turf Club

STREET ADDRESS 482-484 Bourke Street Melbourne

PROPERTY ID 101178



SURVEY DATE: October 2017

SURVEY BY: Context

HERITAGE INVENTORY H7822-1431

EXISTING HERITAGE OVERLAY No

PLACE TYPE Individual Heritage Place

PROPOSED CATEGORY Significant

FORMER GRADE C

DESIGNER / ARCHITECT / ARTIST: Albion H Walkley

BUILDER: Not known

DEVELOPMENT PERIOD: Interwar Period (c1919-c1940)

DATE OF CREATION / MAJOR CONSTRUCTION: 1926

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Stage 2 Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here
HISTORIC THEMES	DOMINANT SUB-THEMES
13 Enjoying the city	13.1 Public recreation
	OTHER SUB-THEMES
3 Shaping the urban landscape	3.2 Expressing an architectural style

LAND USE

HISTORIC LAND USE	
Archaeological block no: 27	Inventory no: 431
Character of Occupation: Commercial	
Land sale details not provided.	
1866 Cox	Building on site
1880 Panorama	Two storey building
1888 Mahlstedt	Two storey building; Morris, Little & Son, thence J Gair, Tailor
1905/6 Mahlstedt	Two storey building; Morris, Little & Son, thence J Gair, Tailor
THEMATIC MAPPING AND LAND USE	
1890s	Offices, Service
1920s	Clubs and Unions
1960s	Bank

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

482-484 Bourke Street is a four-storey commercial building originally built for the Victorian Amateur Turf Club (later known as the Melbourne Racing Club). The building façade features classical styling associated with the classical revival styles of the interwar period.

HISTORICAL CONTEXT

Enjoying the City

Public recreation

By the time the British settlement of Melbourne was taking shape, horseracing was already a well-organised sport in New South Wales and Tasmania.

A committee of interested gentlemen prevailed on the Lieutenant-Governor for a grant of land for racing and in March 1840 a permanent racecourse, the Melbourne racecourse, was established at Flemington. The racing interest gradually assumed a formal structure, in 1842 forming the short-lived Port Phillip Turf Club and then the Victoria Turf Club in 1852. In 1856 the Victoria Jockey Club appeared but in 1864 the two amalgamated to form the Victoria Racing Club (VRC).

The wealth produced during the gold rushes made Melbourne the centre of Australian horseracing... the introduction of the Melbourne Cup in 1861 invited inter-colonial interest with the Sydney horse Archer winning the first two Cups...

The local popularity of horseracing saw racecourses established throughout the expanding metropolis. The Williamstown Racing Club, established in 1864, introduced the Williamstown Cup, the last of the four major races of the spring season. (Racing ceased at Williamstown in 1940.) The Victorian Amateur Turf Club, founded in 1876, established the Caulfield racecourse, and in 1879 the Caulfield Cup became the first major race of the spring season.

In the 1920s horseracing in Melbourne was given a major boost by the introduction of radio...After World War II horseracing was consolidated, centralised on the racing clubs based at Caulfield, Flemington and Moonee Valley, and at Sandown where a new course was opened in 1965. The late 1940s saw record crowds...

When the first TAB betting shops opened in 1961 the face of horseracing changed. The televising of races in hotels and TABs transformed the spectator experience. From the 1980s the racing clubs began to reconstruct facilities at the courses and to offer spectators a more attractive environment...(Senyard 2008).

Shaping the urban landscape

Expressing an architectural style

The interwar period adapted classical styles to commercial architecture with sub sets of Georgian, Renaissance and Greek revival fitting within this overall style. The rather muted approach was sympathetic to earlier Victorian-era buildings and used a similar architectural vocabulary to those steeped in classical form and decoration. As a building type, offices tended to take a secondary role to monuments of civic and religious importance and saw such buildings as infill to the street.

This continuity of style and form was integral to the idea of polite, well-mannered buildings that found favour in the Royal Victorian Institute of Architects (RVIA). The RVIA Street Architecture Award, first established in 1929, recognised buildings conforming to the architectural profession's idea that good

manners and refined taste were crucial to the city's development. Francis House at 107 Collins Street epitomises the urbanity of 1920s and was the first winner of this Award.

Commercial buildings in the 1920s were mainly of the Commercial Palazzo style, as exemplified by Harry Norris's Nicholas Building in Swanston Street (1925). The style was an early attempt at creating a style suitable for the tall building. It was divided into a base, shaft and cornice, much like a Renaissance palazzo. The scale, however, was greatly enlarged, with the shaft stretching up to 10 storeys.

The interwar period also brought a change in building to structural steel and reinforced concrete framing, and the use of steel window framing, however buildings continued to adopt traditional architectural elements simply modified to the new construction material. This was particularly true of concrete that could be moulded to resemble traditional masonry render.

SITE HISTORY

482-484 Bourke Street forms part of Crown Allotment 5, Block 19 in the City of Melbourne. Originally addressed as 89 Bourke Street, the first documented occupation of the site dates back to 1856 when a brick building occupied the land (PROV VPRS 8168/P3 unit 46). A two-storey building was recorded on the site in 1880, and two single-storey buildings in 1888 (Fels, Lavelle & Mider 1993, Inventory no 430; Mahlstedt Map, no 19A, 1888; Mahlstedt Map, no 16, 1910).

In 1926 a reinforced concrete office building was erected on the site for the Victorian Amateur Turf Club Pty Ltd (VATC), later known as the Melbourne Racing Club (Figure 1, Figure 2). The VATC was established in 1876 when several thoroughbred enthusiasts gathered to discuss ways of providing opportunities for a growing number of amateur riders eager to compete (Melbourne Racing Club 2018). An unknown builder carried out the construction of the office building at 482-484 Bourke Street to the design of architect Albion H Walkley (PROV VPRS 11201/P1 unit 99, item 7871). The following year a concrete room was built on the roof of the building (Figure 2), and in 1936 further alterations included various internal reconfigurations and refurbishments (PROV VPRS 11201/P1 unit 125, item 10090; PROV VPRS 11201/P1 unit 208, item 17407). These works were designed by Walkley and carried out by the Reinforced Concrete and Monier Pipe Constructions, an engineering company established by Sir John Monash in 1905.

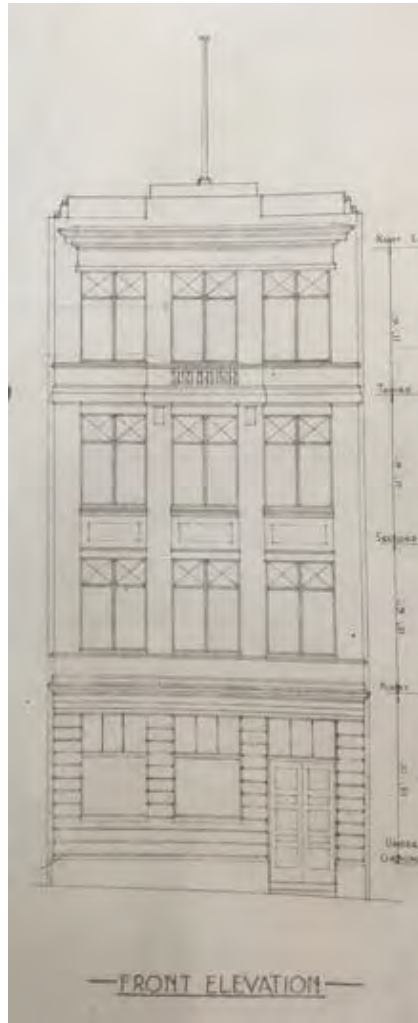


Figure 1. Original building plan showing front elevation of the subject property, with a frontage to Bourke Street. (Source: PROV VPRS 11201/P1 unit 99, item 7871)



Figure 2. Original building plan with the 1927 addition of a concrete room on the roof drawn over top. (Source: PROV VPRS 11201/P1 unit 99, item 7871)

The VATC occupied 482-484 Bourke Street for over 30 years before the property was transferred to the National Bank of Australasia in 1958 (CT: V5212 F226; RB1955 & 1960). Alterations to the building worth £15,000 were carried out at this time, and presumably included recladding the shop front in tiles and adding signage to the façade (Figure 5) (MBAI). The National Bank of Australasia remained at the property until 1980, when 482-484 Bourke Street was transferred to TWM Imports (CT: V5212 F226).

Today the ground floor of 482-484 Bourke Street is occupied by a café, and the upper levels are occupied by a marketing consultancy and Sayer Jones Family Lawyers.

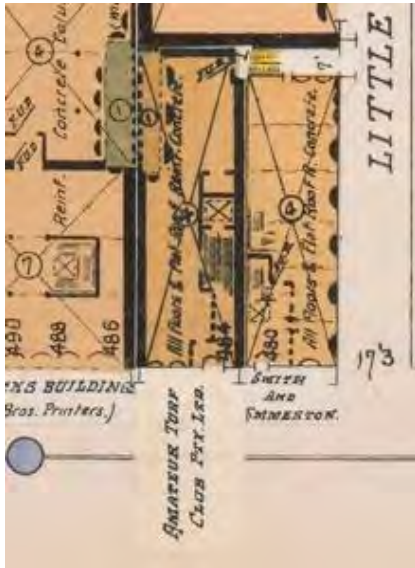


Figure 3. Detail from an updated 1925 Mahlsted plan shows 482-484 Bourke Street as a four-storey concrete building occupied by the VATC. (Source: Mahlsted Map Section 1, no 16, 1925)

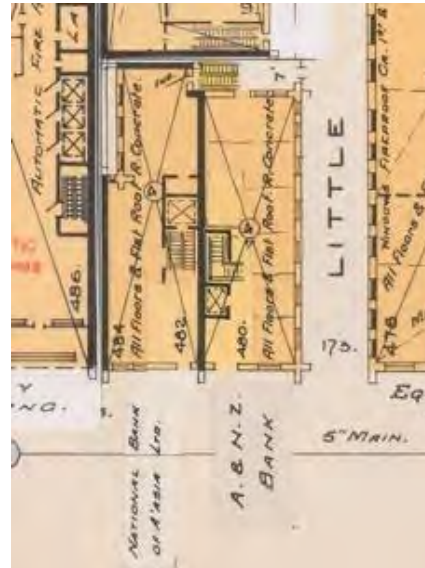


Figure 4. Detail from a 1948 Mahlsted plan shows little external alterations carried out since initial construction in 1926. (Source: Mahlsted Map Section 1, no 16, 1948)



Figure 5. An image from the early 1970s shows ground floor alterations to 482-484 Bourke Street when it was occupied by the National Bank. (Source: Halla c1972, SLV)

Albion H Walkley, architect

The *Glenferrie Hill Recreation Club: A Memoir 1907-2001* contains the following information about architect Albion H Walkley:

Albion H Walkley (1882-1968) was an architect in partnership with the eminent architect William Pitt (famous for his design of the Princess Theatre, and the Rialto and Olderfleet buildings in Collins Street). He joined the firm as an assistant in 1900. Walkley, who helped

design many city buildings, was educated at Hawthorn College, a Fellow of the Royal Institute of Architects for 50 years, and a fellow of the corresponding Australian Institute.
(Wilson & Swan 2008)

Reinforced Concrete & Monier Pipe Constructions, engineers

Following his retrenchment by the Melbourne Harbor Trust stemming from the 1890s depression, Sir John Monash established his own private practice with friend and fellow engineer J T Noble Anderson. Anderson had obtained patent rights from contracting engineers Carter Gummow and Co for the Monier system of reinforced concrete (Serle 1986 and in 1905 Monash and Anderson established the Reinforced Concrete & Monier Pipe Constructions Co Ltd They monopolised concrete construction in Victoria for several years to follow (Lewis 1988:11).

SITE DESCRIPTION

482-484 Bourke Street is a four-storey office/commercial building on a narrow site. Adjacent to 480 Bourke Street, the two buildings complement each other in footprint, height and design.

482-484 Bourke Street is constructed of reinforced concrete and designed in an interwar classical revival style. An early drawing (Figure 1) shows the façade originally arranged as a base, shaft and cornice in the style of a Renaissance palazzo. The rusticated base was later clad in granite tiles (probably 1958), but the upper section remains intact. A deep Palazzo style cornice runs across the parapet at the top of the building, and the remainder of the façade (or shaft section) is arranged symmetrically. Vertical piers divide the façade into three bays, inset with regular, steel framed windows, consistent across all levels. The paired windows have crossed mullions to the upper sections. A row of rectangular name plates is located between levels two and three, and a balconette is located across the central bay between levels three and four. At street level, three regular openings reflect the early openings size, but window and door framing has been replaced. The granite cladding tiles around the window openings remain.

INTEGRITY

The building remains largely intact, with the form and detailing remaining from the interwar period. A concrete room was added to the rooftop in 1927. Alterations have occurred at ground level, with granite cladding likely to have been installed in 1958. The ground floor openings have also been altered.

COMPARATIVE ANALYSIS

482-484 Bourke Street is one of several commercial buildings to combine the interwar classical revival style with concrete framing. This class of place is demonstrated by a number of central city buildings including Druids House (1927), 407-409 Swanston Street and Francis House, 107 Collins Street (1928). Many 1920s buildings adopted an architectural style with strengthened vertical lines in order to emphasise their height.

482-484 Bourke Street compares well with the following examples, drawn chiefly from the Central City Heritage Review 2011 and Guilford and Hardware Laneways Heritage Study 2017, being of a similar

use, scale and creation date. The below images and descriptions are provided by CoM Maps unless stated otherwise.

Selected examples of mid-level commercial buildings designed in interwar classical revival styles include:

Druids House, 407-409 Swanston St, 1927 (HO1083)

A seven-storey reinforced concrete office building with a basement and ground level retail. Designed by Gibbs, Finlay, Morsby & Coates in the Greek revival style and built by EA Watts for The Druids Friendly Society in 1927.



Figure 6. Druids House, 407-409 Swanston Street constructed 1927.

Francis House, 107 Collins Street, 1927 (HO573, Significant in HO504 Collins East Precinct)

Francis House is a six-storey reinforced concrete office building designed by William Arthur Mordey Blackett and William Blackett Forster. Francis House has a rather austere and stylised use of ornament and form of the Georgian revival decorative with a concrete frame.



Figure 7. Francis House, 107 Collins Street constructed 1927.

Former Pellegrini & Co premises, 388-390 Bourke Street, 1930 (HO1206)

An eight-storey office building of reinforced concrete construction designed by AA Fritsch. It expresses its classicism in the arrangement of base, shaft and capital as well as the use of balconies and pilasters. The concrete frame has allowed larger window sizes than is possible in a masonry building.



Figure 8. 388-390 Bourke Street constructed 1930.

414-416 Bourke Street, 1928 (HO1207)

An eight-storey brick building is distinguished by its understated reference to the classical revival style with an intact ground floor and seven levels with a cornice and pediment. The façade is composed with several balconies.



Figure 9. 414-416 Bourke Street constructed 1928.

480 Bourke Street, 1925 (Interim HO1242 – recommended as significant in the Hoddle Grid Heritage Review)

A four-storey commercial building designed in a classical revival style from the interwar period with a concrete-frame. Its Georgian revival façade belongs to a subset of the broader classical revival style which was used for well-mannered buildings to complement an existing streetscape.



Figure 10. 480 Bourke Street constructed 1925. (Source: Context 2018)

482-484 Bourke Street compares favourably with other mid-level commercial buildings constructed during the interwar period. While alterations to cladding and windows and doors has occurred at ground level, the upper level retains the classically derived façade arrangement consistent with other buildings either assessed as being of individual significance or included in a heritage precinct.

ASSESSMENT AGAINST CRITERIA

✓ **CRITERION A**
Importance to the course or pattern of our cultural or natural history (historical significance).

CRITERION B
Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).

CRITERION C
Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).

✓ **CRITERION D**
Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).

CRITERION E
Importance of exhibiting particular aesthetic characteristics (aesthetic significance).

CRITERION F
Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)

CRITERION G
Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).

CRITERION H
Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

REFERENCES

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- Mahlstedt and Gee 1888, *Standard plans of the city of Melbourne*, Mahlstedt and Gee, Melbourne.
- Mahlstedt, G 1910, *Index to the City of Melbourne detail fire survey*, Mahlstedt, Melbourne.
- Mahlstedt's Pty Ltd 1925, *City of Melbourne detail fire survey. Section 1*, Mahlstedt Pty Ltd, Melbourne.
- Mahlstedt's Pty Ltd 1948, *City of Melbourne detail fire survey. Section 1*, Mahlstedt Pty Ltd, Melbourne.
- Melbourne Planning Scheme (MPS), 'Melbourne and its Heritage Precincts', reference document to Clause 22.06 Heritage Precincts Policy of the Melbourne Planning Scheme, <https://www.melbourne.vic.gov.au/SiteCollectionDocuments/heritage-precincts-history-significance.pdf>, accessed 2 February 2018.
- Melbourne Racing Club 2018, *Melbourne Racing Club History*, <http://mrc.racing.com/our-club/history>, accessed online 13 April 2018.
- Public Record Office Victoria (PROV), City of Melbourne building plans and permits (1916-1960), as cited.
- Public Record Office Victoria (PROV), Historic Plan Collection, VPRS 8168/P3 unit 46.
- Savill, Barbara 1987, 'First land owners in Melbourne', Royal Historical Society of Victoria, <http://www.historyvictoria.org.au/Early%20Melbourne/First%20Melbourne%20Settlers.html> accessed 23 January 2018.
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Wilson, P F & Swan, J M 2008, *Glenferrie Hill Recreation Club: A Memoir 1907-2001*, J M Swan, Camberwell.

PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985**

D

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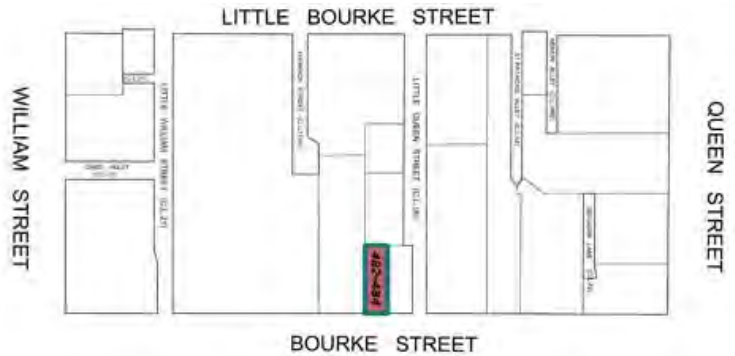
Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Former Victorian Amateur Turf Club



PS ref no: Interim HO1241



What is significant?

The four-storey commercial building at 482-484 Bourke Street, constructed as the office of the Victorian Amateur Turf Club in 1926.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing;
- The building's relatively high level of integrity to its original design;
- The parapet, cornice, vertical piers, balconette and rectangular nameplates; and
- The pattern and size of fenestration, steel framed windows and crossed mullions.

Later alterations at ground level and above ground floor openings alterations are not significant.

How it is significant?

482-484 Bourke Street is of local historic and representative significance to the City of Melbourne.

Why it is significant?

482-484 Bourke Street is of historic significance for its association with the history of horseracing in Victoria and for its use for over 30 years as the clubrooms of the Victorian Amateur Turf Club Pty Ltd. The Victorian Amateur Turf Club, as the forerunner of the Melbourne Racing Club, oversees all major horse racing venues in Melbourne and was formed by thoroughbred enthusiasts keen to provide an organisation to support and transition amateur riders into competition. (Criterion A)

482-484 Bourke Street demonstrates the characteristics of the interwar classical revival style in a commercial building. It combines a decorative classical façade with modern building materials including concrete structural framing and steel framed windows. The classical revival style follows the tradition of architectural patterns from previous eras, and this tradition is expressed through the horizontal composition of the façade arranged as a base, shaft and cornice and its further articulation by piers, between which are located vertically proportioned windows. While some alterations have taken place to the façade at ground level, 482-484 Bourke Street remains highly legible in its upper levels. (Criterion D)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Warehouse
STREET ADDRESS	1-5 Coverlid Place Melbourne
PROPERTY ID	102243



SURVEY DATE: October 2017		SURVEY BY: Context	
HERITAGE INVENTORY	H7822-1519	EXISTING HERITAGE OVERLAY	No
PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
DESIGNER / ARCHITECT / ARTIST:	Not known	FORMER GRADE	Ungraded
		BUILDER:	Not known
DEVELOPMENT PERIOD:	Victorian Period (1851-1901)	DATE OF CREATION / MAJOR CONSTRUCTION:	1870, c1910-1921

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Stage 2 Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here
HISTORIC THEMES	DOMINANT SUB-THEMES
13 Enjoying the city	13.6 Eating and drinking

LAND USE

HISTORIC LAND USE	
Archaeological block no: 31	Inventory no: 519
Character of Occupation: Commercial	
Building lot created by subdivision 1846-52 owned by Pat Casey. Stables on site prior to 1870, then 'unfinished' house owned by Charles Downie proprietor of the nearby Australia Felix Hotel (at 168-174 Bourke Street)	
1880 Panorama	
1888 Mahlstedt	Three-storey brick store built on site 1870-71 (shown on 1888 and 1905 maps).
1905/6 Mahlstedt	As above
THEMATIC MAPPING AND LANDUSE	
1890s	Warehouse
1920s	Office
1960s	Office

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

The former warehouse at 1-5 Coverlid Place Melbourne, constructed in two stages from 1871-1921, is significant as an early store built for hotel use and later added to and adapted for use as offices and a meeting room by the Total Abstinence Society. It is representative of the warehouses and industrial buildings in the Hoddle Grid.

HISTORICAL CONTEXT

Enjoying the city

Eating and drinking

Alcohol was a mainstay of a frontier colonial town. During the early period of settlement, many people resorted to alcoholic beverages rather than drink the city's unpalatable and contaminated water. Hotels were abundant in Melbourne; in working-class areas, such as Carlton, there was virtually one on every corner. One of the CBD's first permanent buildings was Fawkner's Hotel, established in 1836 on the corner of William Street and Flinders Lane (Context 2012: 98).

A weakness for drink was considered by many in the Victorian era as a human failing; self-improvement and moral fortitude were the values to strive for. The consumption of hard liquor generally went hand-in-hand with gambling and with Melbourne's lively night life. Social problems associated with drunkenness in late nineteenth-century Melbourne made alcohol a chief cause for steps towards social reform, resulting in the establishment of the powerful temperance movement and local abstinence societies (Context 2012: 90, 98).

Hotels responded to the changing times and circumstances. In the early 1900s, falling hotel standards and pressure from the temperance movement prompted the state government to reduce the number of liquor licenses. From 1907 the Licences' Reduction Board reduced the number of hotels in all districts. Many hotel buildings were subsequently demolished or adapted to different uses; other hotel owners upgraded and refurbished their buildings from this period through to the 1920s and 1930s in order to meet the new licensing conditions that were contingent on the provision of adequate accommodation and other facilities (Dunstan 2008).

SITE HISTORY

The subject site is part of Section 1, Block 23, purchased in April 1839 by a Sydney businessman Archibald Mossman, who also bought sections 2, 3, 4 and 20 in the same block (DCLS).

Coverlid Place was known as Healy Lane until the 1890s. Located between Coverlid Place, off Little Bourke Street, and Golden Fleece Alley at the rear of the east side of Russell Street, the subject property at 1-5 Coverlid Place consists of two building lots created by an 1846-52 subdivision. The north allotment (formerly numbered 5 Coverlid Place) and the south allotment (1-3 Coverlid Place) were respectively owned by John Comber and Pat Casey. Later, Coggan Brumby and Charles Downie, a hotelier, owned the northern lot and Rachell Watson and Michael Dawson owned the southern lot; the allotments were amalgamated under the ownership of Emma Dawson (possibly Michael's widow) by 1880 (Butler 1989, Vol 3:10).

The current three-storey building at 1-5 Coverlid Place was built in two stages. A three-storey store was constructed in 1870-71 on the northern allotment, most likely for Charles Downie. It was later owned by Michael Dawson. Prior to the store's construction, Downie operated stables on the site. Downie was the proprietor of the adjacent Australia Felix Hotel (later Morell's Family Hotel, then Richardson's Hotel) at the corner of Bourke and Russell streets, and in 1868 applied to build a 'large store' at the rear of his hotel (Butler 1989, Vol 3:10). As it was never listed in street directories or rate books as an individual structure, it is likely that the building was used as rear storage for the hotel during the nineteenth century.

Around the same time, two brick cottages with slate roofs and stone foundations existed on the southern allotment. In 1870, this parcel of land was advertised for sale. The building on the allotment was described as having two levels and four rooms, with 'out offices' (*Argus* 3 August 1870:2).

Graeme Butler described the appearance of the buildings at 1-3 and 5 Coverlid Place in a c1870 panorama as follows:

[The] panorama shows the store [5 Coverlid Place] with a mansard-like roof, with two skillion roofs descending from a central platform, and appearing like a brewing tower. Beside it (1-3 Coverlid) are two row houses with transverse-ridge gabled roofs (Butler 1989, Vol 3:10).

According to the 1910 Fire Survey Plan, the cottages formerly at 1-3 Coverlid Place were demolished between 1895 and 1910 (Figure 1 & Figure 2), and the store at 5 Coverlid Place had two openings on the west and east elevations in 1910 (Figure 2; Mahlstedt Map Section 1, no 4, 1910).



Figure 1. The current extent of land at 1-5 Coverlid Place is marked by the red square on a section of a MMBW plan. Coverlid Place was known as Healy Lane until the 1890s. (Source: MMBW 1895, SLV)



Figure 2. The current extent of land at 1-5 Coverlid Place is marked by a red square on a section of the Mahlstedt plan in 1910. (Source: Mahlstedt 1910, SLV)

In 1899, both allotments were owned by the National Trustees Executors & Agency, and following a land sale in 1920, the subject site was owned by the Total Abstinence Society, which operated the Temperance Hall at 170-172 Russell Street (*Argus* 14 April 1920:2; Butler 1989, Vol 3:10).

Graeme Butler notes that the current building on the south allotment or 1-3 Coverlid Place was built in 1922. In 1921, the City of Melbourne rate book recorded the subject building with a footprint measuring 50 by 32 feet (RB 1921-1925; Butler 1989, Vol 3:10).

Like many other nineteenth century warehouses in a laneway setting, the subject building underwent alterations due to changing ownership over time, to accommodate the needs of the owners. During The subject building at 1-5 Coverlid Place was used as a secondary office space housing meeting rooms during the Total Abstinence Society's ownership of the place. At that time, its primary elevation was on the west side, facing Golden Fleece Alley, and the entrance on the east elevation was bricked (Figure 3; Mahlstedt Map Section 1, no 4, 1925). Being addressed to Coverlid Place today, the subject building still retains the early detailing in the elevation facing Golden Fleece Alley, including the ruled render finish.

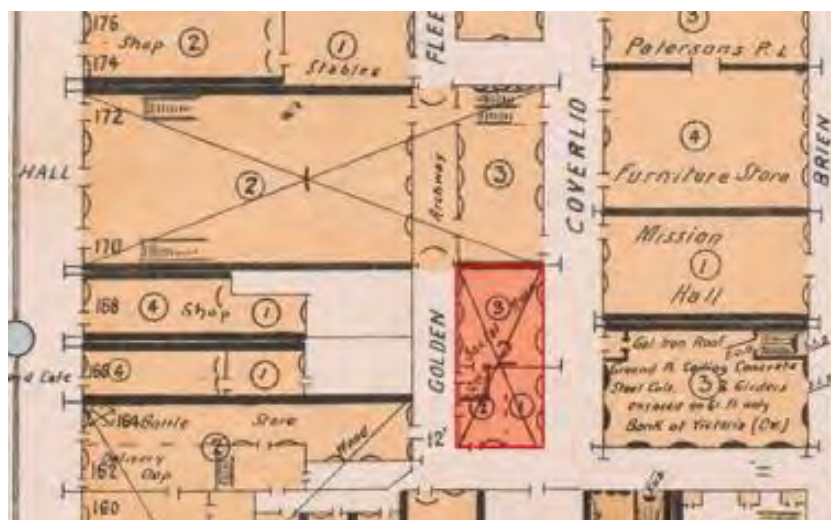


Figure 3. The current extent of land at 1-5 Coverlid Place is marked by a red square on a section of the Mahlstedt plan. (Source: Mahlstedt 1925, SLV)

The subject site was purchased by the Melbourne City Council in 1961, when the Council acquired the former Temperance Hall (then Savoy Theatre) site and the adjacent Russell Street lands at a cost of £88,750 to construct an eight-storey car parking, currently known as Total House (HO1095) (*Age* 30 May 1961:14). In 1963, the Savoy Theatre was demolished to make way for Total House, and 1-5 Coverlid Place remained as an independent structure.

The post-1960s amendments of the Mahlstedt plan shows the subject building consisting of single and three storeyed sections with street accesses from both Golden Fleece Alley and Coverlid Place (see Figure 4; Mahlstedt Section 1, no 4, 1948). With the construction of Total House, Golden Fleece Alley became a dead-end street, and the east side (Coverlid Place) became the primary elevation.

The use of 1-5 Coverlid Place during the 1960s and 1970s after the closure of the Temperance Hall is not clear. The site at 1-5 Coverlid Place, which was described as having been erected with a 'three-

storey office', was sold by auction in 1978, and in 1979-80 the building was refitted for conversion as a restaurant. It housed an adult cinema until recently (Age 8 July 1978:71; CoMMaps).

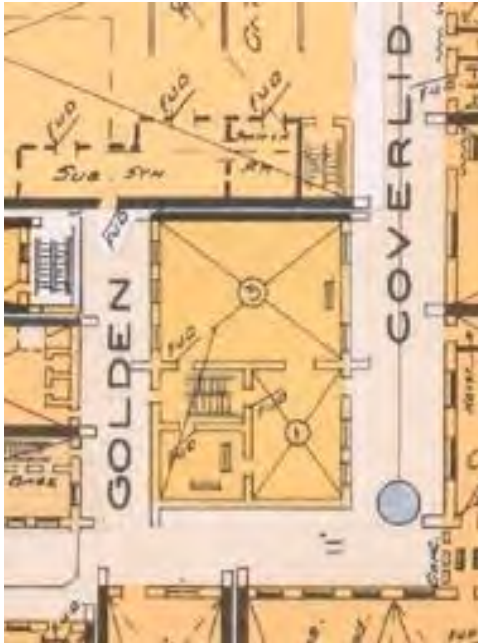


Figure 4. Mahlstedt's 1948 plan with post-1966 amendments, showing 1-5 Coverlid Place consisting of single and three storied structures. (Source: Mahlstedt 1948, SLV)

SITE DESCRIPTION

The three-storey brick building at 1-5 Coverlid Place is located on the west side of Coverlid Street, off Little Bourke Street abutting the modernist Total House (HO1095). The site is bounded by both Coverlid Place and Golden Fleece Alley which services the properties at the rear of 162-168 Russell Street. The place is located in a laneway.

1-5 Coverlid Place was constructed in two stages with no setback from each laneway. The current building has undergone alterations due to changing ownership over time, resulting in door and window modifications. The Coverlid Place frontage comprises brick overpainted in blue, and the rear is ruled render, partly painted. This rear section is the former primary elevation on the west side, facing Golden Fleece Alley, before the entrance on the east elevation was bricked in. As noted in the history, the render and the changes to windows extending across the whole west elevation resulted from the change of ownership to a local temperance group, at the time of the construction of the southern part of the current building.

In the northern part of the current building, the ground-level arched opening in the front (east) elevation and the centre window on each level at the rear (west) are bricked over. The window sills at the middle level in the front differ from the typical nineteenth century type and match those on the upper floors of the southern building (Butler 1989, Vol3:10).

The roof has a double gable and a hipped roof paired with a flat roof deck. The roofline of the southern part, dating between 1910 and 1921, is slightly higher than the northern part, which dates from 1870-1.

INTEGRITY

1-3 Coverlid Place reflects its staged construction. It retains a legibility of form and materials and window and door openings, although altered are still recognisably nineteenth century in size and distribution. The face brick has been painted but rendered wall surfaces are unpainted.

COMPARATIVE ANALYSIS

Warehouses and industrial buildings are an important building typology of the nineteenth and early twentieth century urban landscape of Melbourne. Many of these early storage or manufacturing facilities are no longer operational, often adapted for businesses or offices. Face brick warehouses constructed in the Edwardian period are often located at the rear of retail or industrial complexes or in laneways.

These industrial buildings are gradually gaining recognition as important historic places, representing Melbourne's urban development pattern.

The examples below are drawn from the Guildford and Hardware Laneways Heritage Study (2017) and from Stage 1 of the Hoddle Grid Heritage Review.

Examples of brick warehouses include:

25-31 Sutherland Street, c1900 (Contributory in HO1205 Guildford & Hardware Laneways Precinct)

A two/three storey warehouse renovated and converted for office use in 1990.



Figure 5. 25-31 Sutherland Street, constructed c1900.

17 Somerset Place, c1907-8 (Significant in HO1204 Elizabeth Street West Precinct).

Three-storey brick warehouse built for Joseph Kennedy by contractors Peters & Hetherington of King Street.



Figure 6. 17 Somerset Place constructed c1907-8.

11-15 Duckboard Place, c1885-1887 (Interim HO1267 – recommended as significant in the Hoddle Grid Heritage Review)

This typical double storey red brick warehouse (c1885-87) was originally constructed as a storage facility in the Corporation Yard, a facility built by the Melbourne City Council. It occupies a laneway location.



Figure 7. 11-15 Duckboard Place constructed 1885-87.

473-481 Elizabeth Street c1900 (HO1025, Significant in HO1125 413-503 Elizabeth Street HO1125 (CBD) Precinct)

A former warehouse, store and retail complex of three buildings. Consists of a rendered brick row of four two-storey shops facing Elizabeth Street, a basalt paved courtyard and two brick buildings to the rear with a carriage way entrance. Built in 1872 and refurbished and subdivided in 1993 with the rear buildings converted to residential apartments. The west wing dates from c1900.



Figure 8. West wing of Currie & Richards showrooms & warehouses constructed c1900. (Source: Butler 2011:221)

Warehouses as a building type are relatively common within the Hoddle Grid, many of which are located in laneway settings. They contribute act as reminders of the various activities and businesses that occurred in the central city in the nineteenth and early twentieth centuries. The many ways in which they have been altered and adapted allow them to continue to be useful places. Their historic and aesthetic significance is evident in their documentary record, their physical form and use of traditional brick and stucco walls and low scale. 1-5 Coverlid Place compares favourably with the above examples.

ASSESSMENT AGAINST CRITERIA

✓	<p>CRITERION A Importance to the course or pattern of our cultural or natural history (historical significance).</p>
	<p>CRITERION B Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).</p>
	<p>CRITERION C Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).</p>
✓	<p>CRITERION D Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).</p>
	<p>CRITERION E Importance of exhibiting particular aesthetic characteristics (aesthetic significance).</p>
	<p>CRITERION F Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)</p>
	<p>CRITERION G Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).</p>
	<p>CRITERION H Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).</p>

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

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PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985** Ungraded

**Central City Heritage
Study 1993** Ungraded

**Review of Heritage
overlay listings in the
CBD 2002** Ungraded

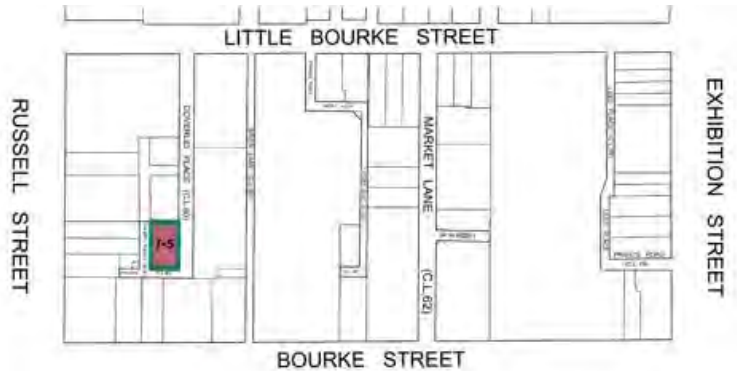
**Central City Heritage
Review 2011** Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Warehouse



PS ref no: Interim HO1245



What is significant?

The former warehouse at 1-5 Coverlid Place Melbourne, constructed in two stages from 1871-1921.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's external form, materials and detailing from 1871-1921;
- The original and early fenestration patterns and proportions; and
- The arched window openings and window sills.

Later alterations, including door and window modifications at ground level, are not significant.

How it is significant?

1-5 Coverlid Place is of local historic and representative significance to the City of Melbourne.

Why it is significant?

1-5 Coverlid Place is of historic significance as an early store built for hotel use and adapted in the 1920s for use as offices and a meeting room by the Total Abstinence Society. The building demonstrates the changing uses of the central city area between the mid-Victorian period and the early interwar period. Since the demolition of the Temperance Hall for Total House it remains as a reminder of a largely forgotten organisation dedicated to social reform through abstinence from alcohol. This is evident in the documentary record as well as the c1920 part of the building that was constructed for the Total Abstinence Society. (Criterion A)

1-5 Coverlid Place demonstrates an important part of Melbourne's urban development pattern in the nineteenth and early twentieth centuries through to the 1940s. Warehouses and small industrial premises built of traditional brick and stucco, two to four storeys in scale and with small windows, were once ubiquitous, and still contribute to the human scale of the central city. 1-5 Coverlid Place demonstrates its warehouse typology through its two storey form and its laneway setting. 1-5 Coverlid Place is highly legible despite its evolutionary appearance and changes to windows and brickwork finishes. (Criterion D)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Warehouse
STREET ADDRESS	11-15 Duckboard Place Melbourne
PROPERTY ID	110277



SURVEY DATE: May 2017

SURVEY BY: Context Pty Ltd

HERITAGE INVENTORY	H7822-1924 (as 'Duckboard Place')	EXISTING HERITAGE OVERLAY	No
PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
DESIGNER / ARCHITECT / ARTIST:	Not known	FORMER GRADE	C
DEVELOPMENT PERIOD:	Victorian Period (1851-1901)	BUILDER:	Not known
		DATE OF CREATION / MAJOR CONSTRUCTION:	c1885-87

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Stage 2 Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here
HISTORIC THEMES	DOMINANT SUB-THEMES
4 Governing and administering the city	4.2 Administering the City of Melbourne
	OTHER SUB-THEMES
5 Building a commercial city	5.5 Building a manufacturing industry
9 Working in the city	9.1 A working class 9.2 Women's work

LAND USE

HISTORIC LAND USE	
Archaeological block no: 63	Inventory no: 924
Character of Occupation: Governmental, Commercial	
Fourth land sale 1839, Block 7 allotment 7, Gordon Sandman.	
1839 Williamson	
1837 & 1840 Hoddle	
1855 Kearney	
1866 Cox	
1877 Dove	Yard & shed
1880 Panorama	
1888 Mahlstedt	Two-storey building
1905/6 Mahlstedt	Store
THEMATIC MAPPING AND LAND USE	
1890s	Warehouses
1920s	Warehouses
1960s	Warehouses

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

11-15 Duckboard Place is a two-storey red brick warehouse (c1885-87), originally constructed as a storage facility in the Corporation Yard, a facility built by the Melbourne City Council to store council equipment and function as warehouse space for council staff.

HISTORICAL CONTEXT

Governing, administrating and policing the city

Administering the City of Melbourne

The Town of Melbourne was formed in 1842, initially with four wards: Lonsdale, Bourke, Gipps and La Trobe. The Town Corporation was established at a time when the infant settlement was in the grips of depression. It had lofty aims, promising to provide a fresh water supply and to dispose of sewage, among other things, but found that it was an ongoing difficulty to raise the necessary capital to carry out these public works (Context 2012:28).

In 1847 Melbourne was proclaimed a city. The municipal council levied rates on properties, and in turn provided a range of basic services, including drainage and rubbish removal, and regulated the issuing of various licenses. (Context 2012:29).

Corporation yards were established as municipal facilities, often providing offices and workshops for public works staff, and storage space for council equipment. Such a facility was built in Corporation Lane.

According to the *Encyclopaedia of Melbourne*, Melbourne Metropolitan Board of Work plans of 1895 show an unnamed, pitched lane off Flinders Lane between Russell and Exhibition streets.

At the turn of the twentieth century, the lane was surrounded by residences, sheds and other buildings, all of which had vast cellars below street level. By 1915 the name Corporation Lane had been adopted, probably for the Corporation Yard just east of the lane, opposite the Flinders Hotel (Byrne 2008).

In 2004, Corporation Lane was renamed ACDC Lane in honour of the Australian rock band AC/DC. The lane connects to Duckboard Place.

Building a commercial city

Building a manufacturing capacity

As Melbourne developed through the nineteenth century, so did its manufacturing industry. Flinders Lane became an important area for clothing manufacturers, while Chinese cabinet makers were concentrated at the east end of town. Food-processing plants were established in north and west Melbourne. Factories tended to be small and specialised. Large factories, built in the later nineteenth century and early twentieth century tended to be built outside the City of Melbourne, where land was more easily obtainable (Context 2012:44).

Warehouses were also a part of Melbourne's economic life. From the 1850s, the Yarra River and the docks west of Swanston Street were in essence the 'lifeline' of the city (Context 2012:39-40). The area of Flinders Lane is described by the *Encyclopedia of Melbourne*:

By the 1860s, as...swamps were filled in, and as its proximity to the wharf encouraged the construction of warehouses and showrooms, the street gained a reputation as a busy and important thoroughfare, the chosen location of mercantile houses, importers, brewers, timber yards and wholesalers (May 2008).

From the 1930s, like the rest of Australia, an increasing proportion of the city's workforce took up jobs in manufacturing, an industry that led Australia's recovery from the economic depression of the late 1920s-early 1930s, when, The *Encyclopedia of Melbourne* notes, a

steep rise in tariffs, devaluation of the Australian pound, falling wages and electricity costs all made local producers far more competitive internationally. Textiles benefited first, then the metals industries and engineering took over as pacemakers (Dingle 2008).

Women's work

Australia's manufacturing output increased 6 per cent per year between 1949 and 1967, and between 1947 and 1966, 155,221 new manufacturing jobs were created in Melbourne, roughly one-third of which went to women (Dingle 2008). Large numbers of women found employment as machinists in clothing and foot-ware factories (Context 2012:72).

SITE HISTORY

The site of 11-15 Duckboard Place was part of the fourth Melbourne land sales in 1839. In 1877, it comprised a yard and shed (Fels, Lavelle & Mider 1993).

In 1885, farmer James Thomson Wirk placed a public auction notice for land he owned (today's 91 Flinders Lane and 11-15 Duckboard Place). The land, part of allotment 7, section 7, was described as 'having a frontage of 25 ft., to Little Flinders Street East, by the depth of 140 ft. 9 in., with use of rights-of-way 16 ft. wide on the east and south sides of the land' (*Argus* 23 July 1885:2). It is believed that land came under the control of the Melbourne City Council at this time for use as its Corporation Yard and workshops.

The current two-storey brick building at 11-15 Duckboard Place was erected c.1885-87 at the rear of the land as a storage facility in association with the Corporation Yard. The land is adjacent to a right of way, the current Duckboard Place, which was named after Duckboard House (91-93 Flinders Lane) in 1953 (Zhang 2008).

The Standard Plans of the city of Melbourne published in 1888 depict a two-storey structure built of brick, with windows at each level of the south and east elevations, and doorways on each level in the east elevation (Mahlstedt Map no 7, 1888).

The Corporation Yard remained at the subject site until 1906 (S&Mc 1889-1906). The warehouse became known as 91 Flinders Lane after the Yard was relocated (S&Mc).

The site was then occupied by Henry Henningsen, a Hawthorn builder, between 1906 and 1914 (S&Mc 1907-1915). Around this period, Henningsen erected a number of warehouses in Melbourne, including the three-storey brick warehouse built for P Warland Pty Ltd on the adjacent land at 87-89 Flinders Lane. According to the City of Melbourne Detailed Fire Survey plans published in 1910, a new entrance was made to the north elevation of the brick warehouse, with its floor levels being reduced to single-storey (Mahlstedt Map no 6, 1910).

The warehouse was vacant for some time in 1915-16 (S&Mc 1915-916). From 1917 until 1925, Fraser and Mountain Plumbers occupied the warehouse and yard (S&Mc 1917-1926). Fraser and Mountain Plumbers were addressed as 91A Flinders Lane in 1922, as Denniston and Co Pty Ltd, clothing manufacturers, (previously at 93-101) expanded into the yard at 91 Flinders Lane (S&Mc 1920-1922). By the mid-1920s, the subject property had become an integral part of the Denniston and Co clothing factory, with a throughway built on the west elevation of 11-15 Duckboard Place (Mahlstedt Map no 6, 1925).

By the late-1930s, the floorspace of the Denniston and Co factory had reduced in size, and Duckboard House, a veteran clubhouse, was built at no 91-93 Flinders Lane. The Fire Survey from the late 1940s shows that the subject property was separated from Denniston and Co, with another entrance made near the northeast corner of the building facing Duckboard Place, and a first storey and stairwell added to the structure (Mahlstedt Map no 6, 1948). Many of the 1940s features were retained at the time of conversion to a restaurant in 2013 (Archidaily).

SITE DESCRIPTION

11-15 Duckboard Place is located in a laneway off Flinders Street. Its red brick exterior complements 87-89 Flinders Lane on the opposite side of the laneway. The height and scale of the building and the narrowness and slope of the laneway creates a different character from Flinders Lane.

The two-storey face red brick building is typical of the warehouse buildings constructed in the back lanes of the city in the late nineteenth century. The simple form and minimal detailing reflect the utilitarian nature of the building.

The building is most intact at its southern end. On the ground and upper levels, typical segmented arched windows with bluestone sills and central access doors remain. Timber sash windows with small paned upper sashes remain in most locations. A timber pulley beam over the upper access door has been replaced with a steel beam.

The building's intactness is diminished at the northern end. Some original window openings remain, and some small or non-consistent window openings are notable. At the northern corner of the building, a door with a rendered surround has been inserted. It is likely this provides access to a services point.

INTEGRITY

Alterations to windows and insertion of an access point has occurred at the northern end of the building, however the southern end is relatively intact. Graffiti has been applied to the outside of the building.

COMPARATIVE ANALYSIS

Warehouses and industrial buildings are an important building type of the nineteenth and early twentieth century urban landscape of Melbourne. Many of these early storage or manufacturing facilities are no longer operational, often adapted for businesses or offices. Face brick warehouses constructed in the Edwardian period are often located at the rear of retail or industrial complexes or in laneways.

Whereas the street-side elevations of these examples are typically more ornate and prestigious, reflecting influences of boom-style architecture of that time, rear brick structures are more utilitarian, reflecting their use for servicing and loading access.

The subject building compares well with the following examples, drawn chiefly from the Central City Heritage Review 2011, being of a similar use, scale, location and creation date. The below images and descriptions are provided by CoM Maps unless stated otherwise.

Examples of late Victorian warehouses in the CBD include:

473-481 Elizabeth Street c1900 (HO1025, Significant in HO1125 413-503 Elizabeth Street HO1125 (CBD) Precinct) A former warehouse, store and retail complex of three buildings. Consists of a rendered brick row of four two storey shops facing Elizabeth Street, a basalt paved courtyard and two brick buildings to the rear with a carriage way entrance. Built in 1872. Refurbished and subdivided in 1993 with the rear buildings converted to residential apartments. The west wing dates from c1900.



Figure 9. West wing of Currie & Richards showrooms & warehouses constructed c1900 (Source: Butler 2011:221).

Union Bond Melbourne Storage Company Ltd, 115-129 King Street (HO1047)

A three-storey rendered brick former warehouse and bonded store on a bluestone foundation, designed by Crouch & Wilson and built in 1882 by Martin & Peacock for William Welshman. It was leased to the Melbourne Storage Company. Refurbished and converted to offices in 1980. Refurbished again in 1998.



Figure 10. Rear of Union Bond Melbourne Storage Company Ltd constructed 1882.

Penman & Dalziel's warehouses, 4-6 & 8 Goldie Place (HO1044)

A pair of two-storey brick former warehouses set on a bluestone foundation with a basement. Designed by Alfred Dunn and built by William Thomas Hosking & Sons in 1888 for the furniture makers John Penman and William John Dalziel. Used by various companies as a warehouse until

1951 when the printers Kenneth James Proprietary Limited purchased the property and converted it into a print works. The company sold the property in 2001. It was refurbished and converted to a gymnasium.



Figure 11. Penman & Dalziel's warehouses constructed 1887-8. (Source: CoMMaps)

Porta & Sons, Steam Bellows Works, 25 Little Lonsdale Street (HO1058)

This warehouse was constructed for Joseph Porta, then of Porta & Sons bellows makers, to the design of William Elliott in 1883. The elevation resembles a simplified version of the McCracken Brewery malt store also designed by Elliott in Little Collins Street in the late 1870s and his warehouse designs in Corrs Lane and for the Currie & Richards' warehouse (1875).



Figure 12. Porta & Sons, Steam Bellows Works, constructed 1883-4. (Source: Butler 2011:445)

The brick warehouse at 11-15 Duckboard Place compares well with the above examples in terms of intactness and integrity. The subject building and the above-listed examples are typical of the warehouse buildings constructed in the back lanes or 'little' streets of the city in the late nineteenth century. The subject site is unique for having had an historical association with Melbourne City Council.

ASSESSMENT AGAINST CRITERIA

✓	<p>CRITERION A Importance to the course or pattern of our cultural or natural history (historical significance).</p>
	<p>CRITERION B Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).</p>
	<p>CRITERION C Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).</p>
✓	<p>CRITERION D Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).</p>
	<p>CRITERION E Importance of exhibiting particular aesthetic characteristics (aesthetic significance).</p>
	<p>CRITERION F Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)</p>
	<p>CRITERION G Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).</p>
	<p>CRITERION H Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).</p>

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

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- Sands and McDougall, Melbourne and Suburban Directories (S&Mc)*, as cited.
- Zhang, Biheng 2008 'Duckboard Place', in *eMelbourne*, School of Historical Studies, University of Melbourne, <http://www.emelbourne.net.au/biogs/EM01783b.htm>, accessed online 24 May 2017.

PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985** D

**Central City Heritage
Study 1993** C

**Review of Heritage
overlay listings in the
CBD 2002** Ungraded

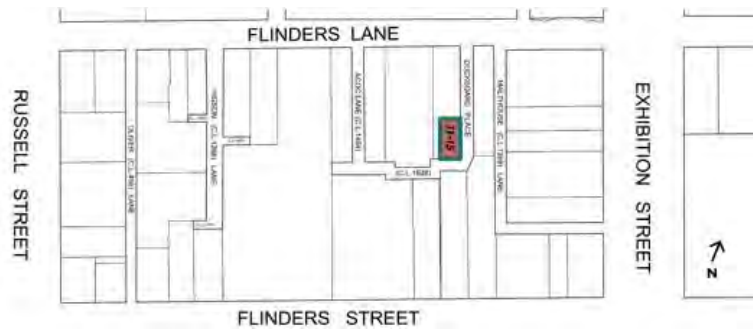
**Central City Heritage
Review 2011** Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Warehouse



PS ref no: Interim HO1286



What is significant?

11-15 Duckboard Place, built c.1885-87 as part of the Corporation Yard for the City of Melbourne and subsequently used as a storage warehouse and manufacturing factory.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing;
- The building's high level of integrity to its original design; and
- Pattern and size of original fenestration, including segmented arched windows with bluestone sills and timber sash windows.

More recent alterations including a new door near the northern corner of the building is not significant.

How it is significant?

11-15 Duckboard Place is of local historic and representative significance to the City of Melbourne.

Why it is significant?

The building at 11-15 Duckboard Place is historically significant for its association with local government in the City of Melbourne from the late 1880s to 1906 and the manufacturing industry from the early 1920s. In c.1885-87, a corporation yard, including a store for council equipment and workshops for council staff, was constructed on the site for the Melbourne City Council. The current brick structure at 11-15 Duckboard Place is significant for its use as a warehouse/storage facility within the Corporation Yard, and as an early purpose-built local government building in the City of Melbourne.

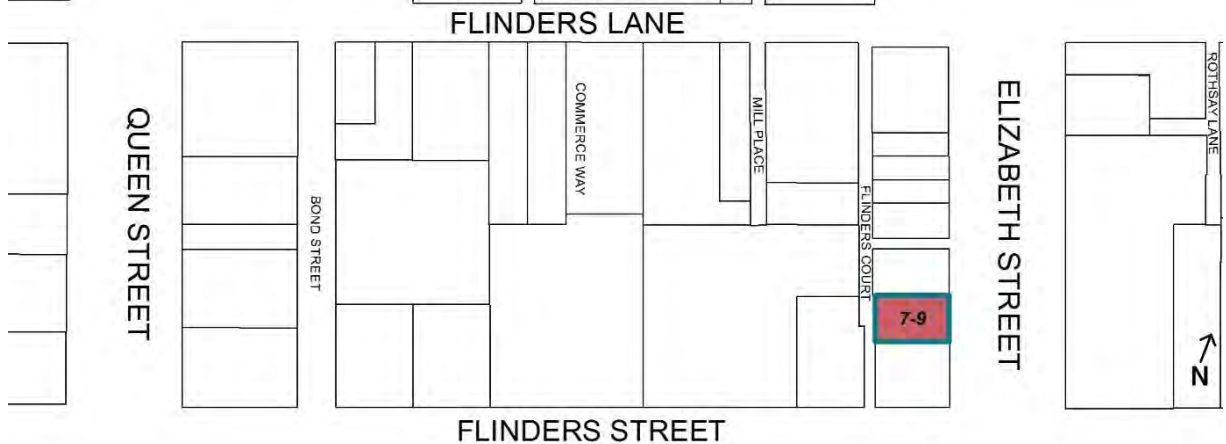
11-15 Duckboard Place is significant for its use as a manufacturing facility for the clothing and textile trade that was focussed in the Flinders Lane area. From the mid-1920s to the 1940s, the building was used by Denniston and Co Pty Ltd, clothing manufacturers, an industry that employed high numbers of women. (Criterion A)

11-15 Duckboard Place is significant as one of the many warehouses and industrial buildings constructed in Melbourne in the nineteenth and early twentieth centuries that demonstrate Melbourne's urban development pattern through to the 1940s. Built of traditional brick and of two storeys in scale with small windows, these warehouse buildings were once ubiquitous and still contribute to the human scale of the central city. The brick warehouse at 11-15 Duckboard Place is a notable example of the typology as expressed in its zero-lot setback, its laneway setting and its utilitarian two-storey form in red brick. 11-15 Duckboard Place is highly legible as small scale industrial building despite some changes to door and window openings. (Criterion D)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Shops, café and office
STREET ADDRESS	7-9 Elizabeth Street Melbourne
PROPERTY ID	103166



SURVEY DATE: May 2019		SURVEY BY: Context	
HERITAGE INVENTORY	H7822-1876	EXISTING HERITAGE OVERLAY	No
PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
		FORMER GRADE	Ungraded
DESIGNER / ARCHITECT / ARTIST:	Harry A Norris	BUILDER:	Hansen & Yuncken
DEVELOPMENT PERIOD:	Interwar Period (c1919-c1940)	DATE OF CREATION / MAJOR CONSTRUCTION:	1933

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here.
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a Commercial City	5.4 Developing a retail centre
	OTHER SUB-THEMES
13 Enjoying the City	13.6 Eating and drinking

LAND USE

HISTORIC LAND USE	
Archaeological block no: 60	Inventory no: 876
Character of Occupation: Commercial	
First land sale 1837, Block 4, Allotment 8 to Alexander Thompson. Subdivision and lanes by 1840.	
1839 Williamson	
1837 & 1843 Hoddle	
1855 Kearney	
1866 Cox	
1877 Dove	Three-storey building; Virgue, Son & Chapman, Agents for Cross & Blackwell.
1880 Panorama	
1888 Mahlstedt	As above.
1905/6 Mahlstedt	Three-storey building; shops and tobacconist.
THEMATIC MAPPING AND LAND USE	
1890s	Merchants, Retail
1920s	Cafés
1960s	Cafés, Retail, Offices, Club

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

The shops, café and office at 7-9 Elizabeth Street is a two-storey building built in 1933 by Hansen & Yuncken to a design by architect Harry A Norris. The building originally housed shops and a café on the ground floor with office space above. Built for tobacco retailer, G Damman & Co, the company occupied the building until at least 1974. Other long-term occupant were Vasile Vlasopoulos's Parthenon Café (1933-65) and the Young Men's Hebrew Association of Australia (c1945-60).

HISTORICAL CONTEXT

Building a Commercial City

Developing a retail centre

Even before the early 1850s, Melbourne had established the foundational infrastructure for international trade and commerce, including retail markets, shipping agents, and industry and finance houses - the beginnings of an entrepreneurial global city (Context 2012:2).

By the early 1840s, Elizabeth and Swanston streets, from the Town Hall in the south-east to the General Post Office to the north-west, had become the focus of retail activity, influenced also by the location of the Western Market in the west of the city, which operated as the city's premier wholesale fruit and vegetable market until 1930 (May 2016:176). The Eastern Market opened in 1847 as a fruit and vegetable market on the corner of Stephen Street (later Exhibition Street) and Bourke Street and drew retail further east. The department store Buckley and Nunn opened in 1854, establishing Bourke Street as the preferred retail strip.

The gold rushes accelerated Melbourne's growth and by 1861 the city's population was 125,000, more than twice that of San Francisco (Frost 2008). Manufacturers and retailers subsequently erected substantial buildings to meet the demands of a booming population.

With the economic boom of the 1880s, the 1880s-1890s was a decade of significant expansion in Melbourne. Investment funds poured in from Britain, imposing architect-designed buildings were constructed, and speculation reached fever pitch in land and buildings (Marsden 2000:28). As Graeme Davison states, commercial Melbourne extravagantly asserted 'her wealth in stucco and stone' (cited in Marsden 2000:28). The growth facilitated the construction of retail outlets, offices and factories.

However the boom of the 1880s saw over-borrowing and overspending on building projects. Economic depression in the early 1890s saw many banks and land companies close their doors as British capital was rapidly withdrawn. The city recovered to some extent in the early twentieth century, and Melbourne underwent further development in its new role as the nation's capital (Context 2012:41).

Retail premises in the nineteenth century and the early twentieth century generally included upper-level accommodation. Multi-storey buildings housing ground-level shops with rooms above were constructed across the retail strips of Melbourne, and three- or more storeyed commercial and retail buildings began to proliferate from the late 1880s (Lovell Chen 2017:220).

The Great Depression in the 1930s marked another period of decline.

To promote economic recovery in Australia during the 1930s the government introduced tariffs on imported goods. Importations receded into the background as the distribution of locally manufactured products came to the fore. From the 1930s, like the rest of Australia, an increasing proportion of the Melbourne's workforce took up jobs in manufacturing, an industry that led Australia's recovery from the economic depression, and which was accompanied by an increased demand for retail and office space in the city.

Enjoying the city

Eating and drinking

Fine dining was the preserve of the wealthy in nineteenth century Melbourne. Restaurants were few and gentlemen enjoyed good meals at their clubs. Others generally made do with the 'plain fare' served up at the city hotels. The mix of different cultural traditions brought to Melbourne by gold seekers contributed to varied culinary offerings from the 1850s. One observer described Bourke Street as 'packed with foreign cafes'. Gunster's Vienna Caf on 'the Block', for example, was popular in the 1870s. Vincent Fasoli opened Fasoli's restaurant at 108 Lonsdale Street c1897 with the popularity of his establishment amongst Melbourne's bohemians and intelligentsia setting a precedent for the flourishing cafe society developed by Italian communities in subsequent decades (Context 2012:98; Swinbank 1994:5).

Between the 1840s and 1900 an estimated 200 Greeks settled in Victoria. Most came from the Ionian islands, particularly Ithaca (the dominant group before World War One) and Kythera to look for gold. Most resettled in cities and towns where they became shopkeepers, fishmongers and café owners, and began sponsoring family and friends (Vlahogiannis 2008).

Between 1900 and 1940, 2600 of the overall 12,000 Greek immigrants to Australia settled in Victoria. The heart of the community was the Greek Orthodox Community of Melbourne and Victoria (GOC), founded in 1897, with its offices now in the heart of the Greek precinct on the corner of Russell and Lonsdale streets (Vlahogiannis 2008). Amongst other businesses, Greek migrants established family-run food outlets in milk bars and cafes throughout Melbourne. A number of Australia's early Greek food caterers had relatives and friends living and working in the United States or had been there themselves. As a consequence

Greek cafés in Australia offered, with such plain Australian fare as steak and eggs, fresh new Americanisms like milkshakes, soft drinks and ice-cream sodas. Glamorous and elegant, they were an island of exotica...Typically they were richly decorated and named after distant, unattainable places which for most people came to life only at the picture theatres: 'The Niagara', 'The Parthenon', 'The California' or 'The New York'...It was the Greek Diaspora, America and Australia combined (Kathy Orfanos cited in Janiszewski and Alexakis).

Australia's postwar immigration program from 1947 brought 250,000 Greek-born immigrants to Australia. When, by 1987, the bulk of Greek immigration had ended, 96 per cent of the 170,526 Greek immigrants, Greek-speaking Cypriots and Egyptians, and their Australian-born children, who were located in Victoria lived in Melbourne (Vlahogiannis 2008). With increasing Greek immigration came a demand for more authentic Greek food, and a number of Greek restaurants and cafes opened in the city from the 1950s.

In more recent years the range of international cuisines available in Melbourne's restaurants has been extended dramatically. The number of restaurants and cafes has grown enormously, aided by the development of Southbank and Docklands. Melbourne's laneways and rooftops have been turned over to small bars and cafes, rejuvenating the city centre and forging a new era in eating and drinking in Melbourne (Context 2011:76).

SITE HISTORY

The subject site at 7-9 Elizabeth Street, Melbourne, was sold as part of Crown Allotment 8, Block 4, to Alexander Thompson in the first land sale of 1837 (Fels, Lavelle & Mider 1993, Inventory no 876). From 1877 to 1888 the site was occupied by a three-storey building used by Virgue, Son & Chapman, merchants and shipping agents (S&Mc 1884; Fels, Lavelle & Mider 1993, Inventory no 876). By 1906, a three-storey structure was still present at the site, which was occupied by shops and a tobacconist (Fels, Lavelle & Mider 1993, Inventory no 876). When demolition of the three-storey building was underway in 1933, the City's building surveyor dated the building to 1853 (*Argus* 9 September 1933:22; 8 September 1933:8). From c1913, Café Frank operated from that building and addressed as 7a Elizabeth Street (*Table Talk* 5 June 1913:33). From 1919 until c1932, Vasile Vlasopoulos operated dining rooms from 7a Elizabeth Street (Ancestry.com 2016).

The subject building was erected in 1933 as three shops and a café at ground level, with office space above, for P Damman, tobacconist. The architect for the building, numbered 7a, 7 and 9 Elizabeth Street, was Harry A Norris, and the builders were Hansen & Yuncken (*Herald* 18 October 1933:22). The erection of the building commenced in September 1933, and by October the shop fronts were under construction (MBAI 14612; MBAI14733).

During construction works, the following report was published in the 'Real Property and Architecture' section of the *Herald*, and accompanied by the illustration seen in Figure 1.

Designed on simple lines: a two-storey reinforced concrete building is being erected at 7-9 Elizabeth Street, next to Hosie's Hotel, for Mr P Damman, tobacconist.

There are three shops with a cafe at the rear on the ground floor. The entrance to the cafe will be from Elizabeth Street, and it will also have access to the lane at the rear. Office accommodation is provided on the first floor.

The floors, stairs and dadoes to the first floor are finished with buff terrazzo with coloured line insets. The interior of Damman's shop will have maple wall fittings and glass counters in modern detail.

*The shop fronts have staybright frames, with terrazzo stalls matching the interior dadoes. A cantilever verandah will protect the whole ground floor frontage (*Herald* 18 October 1933:22).*



Figure 1. An illustration of the subject building in 1933. (Source: *Herald* 18 October 1933:22)

By 1935, the building at 7-9 Elizabeth Street was fully tenanted. On the ground level, it comprised three shops individually known as 7, 7a and 9 Elizabeth Street, and a café at the rear of the shops. In the upper-level was an office space (S&Mc 1935, 1942; Mashtedt Map section 1, no 15, 1948).

G Damman & Co, the tobacconists for whom the building was constructed, occupied 7 Elizabeth Street until at least 1974 (see Figure 3) (S&Mc 1935, 1974).

G Damman & Co was founded by George Damman, a Danish migrant who arrived in Victoria in 1851 seeking gold (*Age* 31 July 1954:4). Whilst his attempts at gold mining were unsuccessful, Damman stayed in the colony of Victoria and founded a tobacco business on the goldfields. Initially operating in Beechworth, then Ballarat and Bendigo, business flourished to the point that he sent for his brother Gustave from Denmark and together the Damman brothers opened their first tobacco and pipe retail store in Melbourne on the southeast corner of Swanston and Collins streets in 1854 (see Figure 2) (*Age* 31 July 1954:4).

In 1954, the company celebrated its centenary, and was noted as being the oldest tobacconists in Australia (*Age* 31 July 1954:4). In 1954, six descendants of the original founders continued to work for the company, and Percy Damman, son of the founder George, ran the business (*Age* 31 July 1954:4). The company established three stores in Melbourne: a store on the intersection of Collins and Swanston streets, opened in 1854; a store at 75 Elizabeth Street; and a store at the subject site, 7-9 Elizabeth Street (Victorian Collections 2019). The company operated until at least 1985 (*Sydney Morning Herald* 7 December 1985:219).



In the spring of 1854, two young Danish farmers established a tobacco shop in the heart of young Melbourne.

Figure 2. Illustration showing Damman Brothers' first Melbourne tobacco shop on the southeast corner of Collins and Swanston streets, opened in 1854 and occupied by the firm until 1882. (Source: *Age* 31 July 1954:4)

Number 7a Elizabeth Street was briefly occupied by a cobbler from 1935 until at least 1942. By 1945 a fruiterer operated from the shop and remained in the building until 1965 (S&Mc 1935, 1942, 1965).

Number 9 Elizabeth Street was occupied by dry cleaners from 1942 until at least 1974 (S&Mc 1935, 1974).

The upper-level office space and the café at the rear of the ground level shops were both initially known as 7-9 Elizabeth Street (S&Mc 1935, 1942). The office space on the first floor of the building was briefly occupied by a financier between 1935 and 1942, and a bridge salon in 1945, before being occupied by the Young Men's Hebrew Association of Australia (YMHA) and the National Council of Jewish Women, who remained there until 1960 (S&Mc 1935, 1942, 1945, 1950, 1960). After 1960, the office space was occupied by G Damman & Co (S&Mc 1960, 1974).

The YMHA was founded in Sydney in 1929 with its inaugural meeting held in 1930. Its establishment followed the success of the organisation by the same name in America. Membership was open to Jewish men only, but any male over ten years old was eligible to become a member (*Hebrew Standard of Australasia* 26 December 1930:10). The National Council of Jewish Women was established for Jewish female membership in the same year.

The objectives of the organisation were to 'perpetuate Jewish ideals, contribute to the social development of [the] community, and to create a cultural Jewish life by means of a religious, educational, social, philanthropic and recreational programme' (*Hebrew Standard of Australasia* 26 December 1930:10). The society was established to provide a place for Jewish men to come together and meet at any time, which was not possible at their synagogues (*Hebrew Standard of Australasia* 26 December 1930:10). The movement spread to other Australian states in the 1940s and was important in strengthening the social and cultural fabric of Australian Jewry (Jupp 2001:532).

The Jewish Young People's Association was operating in Melbourne by the 1930s, and by late 1933 a Victorian branch of the YMHA had been established, with Alex Masel instrumental in its foundation. The Victorian branch operated until c1993 (*Argus* 15 December 1933:13; Australian Jewish Historical Society Victoria Inc 1993; Liberman 2018: unpaginated). The YMHA and the National Council of

Jewish Women purchased premises at 289 Collins Street in December 1934, before moving to the subject building c1945 (*Age* 15 February 1934:10).

The Parthenon Café was opened in 1935 on the ground level of the subject building by Greek migrant Vasile (also spelt Vasele) Vlasopulos (S&Mc 1935, 1965; Ancestry.com 2006-2019). Located at the rear of the ground level shops, the café also had access from arear laneway Flinders Court (*Herald* 18 October 1933:22). Vlasopulos had operated dining rooms on the site from 1919 from the building that predated the subject building.

Vasele Vlasopulos was born in Ithaca, Greece, in 1870 to Anstener Raftopulos and Constanton Vlasopulos. Vasele arrived in Victoria in 1891 aged 22 years and lived in Bendigo for 13 years, marrying Agnes Isabella Orr in 1900. The couple had a son, Jim. By 1904, Vlasopulos had opened an oyster saloon at 340 Flinders Street, and by 1921 the family were living at 17 Dorcas Street, South Melbourne. Agnes Vlasopulos died in April 1941 and Vasele Vlasopulos died on 24 January 1950 (Ancestry.com 2006-2019).

By 1977, the café, then addressed as 7a-9a Elizabeth Street, was named the Two Way Restaurant (*Age* 15 January 1977:118).

The subject building c1972 can be seen in Figure 4.



Figure 3. The subject building as it appeared some time between 1946 and 1953. Signage on the cantilevered verandah and below indicates G Damman & Co's presence at the site. (Source: 'Views along Elizabeth Street, Melbourne, Victoria' c1946-1953, SLV)



Figure 4. A photo showing the subject building on the left-hand side c1972 occupied by a milk bar and Spotless Drycleaners at 7-9 Elizabeth Street, and a restaurant and coffee lounge at the rear of the building at 7a Elizabeth Street. (Source: Halla c1972, SLV [copyright](#))

Between 1992 and 1999, 9 Elizabeth Street operated as a sports bookstore (*Age* 13 May 1992:55; *Age* 21 February 1999:50).

Alterations to the building have been made mainly to the shopfronts at ground level (MBAI). Multiple signs underneath the cantilevered verandah have also been changed (MBAI).

The building was refurbished in 1992. Today the property contains one shop, and two food and drink outlets, including Pepperoni's pizza restaurant and Hella Good, which serves Greek food (CoMMaps).

Harry A Norris, architect

Harry Albert Norris (1888-1967) was born in Hawthorn, a son of a bootmaker. He was articled to architects Ward & Carleton between 1906 and 1911, a Melbourne firm that undertook modest domestic, commercial and industrial commissions. In 1910, Norris won second prize in the Royal Victorian Institute of Architecture student competition (Gurr and Willis 2012:502-3).

Norris commenced his sole practice from c1915, and by 1920 he was established in an office in Collins Street. His early works included domestic and commercial projects, with a significant number of motor garages, factories and bakeries. His younger brother Frank Leonard Norris (1903-1976), who gained a Diploma in Architecture from the University of Melbourne, also joined the practice (Gurr and Willis 2012:502-3).

Harry Norris also participated in a number of business ventures with Alfred M Nicholas. A M Nicholas played a key role in Victoria's motoring industry and, with his pharmacist brother George, he ran the highly successful Nicholas Pty Ltd, which was associated with the development and marketing of 'Aspro' in Australia. The close relationship between Norris and Nicholas resulted in a number of substantial architectural commissions, including the Nicholas Building, Swanston Street (1925-26), and two Nicholas residences: 'Carn Brea', Hawthorn (rebuilt in 1928) and 'Burnham Beeches',

Sherbrooke (1930-33). In addition, Norris was appointed as the architect of the St Kilda Road campus of Wesley College, substantially rebuilt in 1933-39 following a bequest from Alfred and George Nicholas (Gurr and Willis 2012:502-3).

Norris also had a long relationship with G J Coles, who sent him to the United States in 1929 to investigate chain store architecture. Norris was responsible for designing and altering many Coles stores across Victoria from c1927, and in Sydney from c1938 (Gurr and Willis 2012:502-3).

Norris regularly travelled overseas in 1934, 1936 and 1937, particularly in the United States, to observe overseas architectural trends (Gurr and Willis 2012:502-3).

Completing a number of influential examples of the key styles of the era, Norris became one of Victoria's most prolific commercial architects in the 1920s and 1930s. Victoria Gurr and Julie Willis's entry for Norris in the *Encyclopedia of Australian Architecture* sums up his architectural achievements as follows:

From the mid-1920s onwards, Norris was enthralled by the possibilities of faience and showed himself to be remarkably adept at employing a wide range of stylistic approaches. From the cobalt-blue Spanish Baroque of Majorca House, Flinders Lane, Melbourne (1931) to the blush pink of the remodelled façade of the G.J. Coles Store, Bourke Street, Melbourne (1929) with its Jazz-Hispanic detailing, he demonstrated the possibilities of colour and modelling with faience to great effect. He was an early exponent of the Moderne, such as at Block Court, Collins Street, Melbourne (1929) and with the streamlined façade of Melford Motors showroom, Elizabeth Street, Melbourne (1937), which reached a high point with Mitchell House, Elizabeth Street, Melbourne (1938). The design for the Vice-Chancellor's House at the University of Melbourne (1937) showed a similar concern for materials and style, being a gentle Georgian Revival house given a modish twist by the use of Roman bricks that emphasised horizontality. His Mission to Seamen, Port Melbourne (1937, [since] demolished) was a confident essay in Dudokian modernism (Gurr and Willis 2012:502-3).

Norris retired on his 75th birthday, dying six months later.

Hansen & Yuncken, builders

Otto Yuncken was born in Lyndoch, South Australia in 1865 and trained as a carpenter under his German-born father. Together they built simple structures in the Barossa Valley before Otto left for Port Adelaide at the age of 18 (Carland 2009). By 1885 Yuncken had moved to Melbourne and taken up work with Clements Langford, one of the city's largest building companies. During his time with Clements Langford, Yuncken studied at the Working Men's College and attained first class honours in architectural drawing and carpentry (Carland 2009). After leaving Clements Langford, Yuncken partnered with Lauritz Hansen in 1918 to form Hansen & Yuncken (Hansen Yuncken 2019).

The firm was responsible for some of Melbourne's 'most memorable buildings' (Carland 2009). Earlier works include the Collingwood Football Club grandstand and the Port Authority building in Market Street (Carland 2009). The firm was responsible for renovations to Myer buildings and constructed the new spires at St Patrick's Cathedral. The company also devised an innovative suspended scaffold to replaster the domed ceiling at the State Library of Victoria (Carland 2009).

The company exists today as Hansen Yuncken and has built many notable structures over the past decades, including the Myponga Dam (1959), The Alfred Hospital (1969-1977) and Council House 2 for the City of Melbourne (2006) (Hansen Yuncken 2019).

SITE DESCRIPTION

Located on the western side of Elizabeth Street between Flinders Street and Flinders Lane, with a rear frontage to Flinders Court, 7-9 Elizabeth Street is a two-storey retail/office building constructed in 1933 to a design by prominent architect Harry A Norris. It has some elements exhibiting influences from the non-traditional Moderne style, which was popularised in the interwar period.

The façade to Elizabeth Street is of painted render, over a reinforced concrete structure. At the first floor level the façade is symmetrical, with a large central recessed bay, which comprises seven vertically proportioned modules defined by thin projecting fins of moulded painted render. Each module comprises a narrow window opening, above and below which are solid spandrel panels with a simple vertical fin moulding in their centre. The original window frames have been replaced. Simple flush painted render masonry frames the recessed central bay on either side and above, relieved at each end above the end window modules with a moulded decorative motif of a shield set between a pair recessed panels with the letter 'D' set forward and reversed, possibly the signature of the original owner and occupier G Damman & Co. The façade terminates in a low recessed parapet, inset at each end, with a series of recessed panels embossed with an Art Deco decorative 'wave' and stylised ionic capital, topped with a thin horizontal capping.

At street level the original awning and shopfronts have been replaced with contemporary aluminium frame shopfronts and a standard heavy suspended awning.

The rear elevation facing Flinders Court is a two-storey reinforced concrete structure, punctuated with three groups of windows and two ground-level openings. At the northern end is a series of small openings fitted with louvres for ventilation. In the centre at each floor are two large multipaned window openings. The first floor windows have been replaced with aluminium windows whilst the ground floor openings appear to retain their original steel framed windows, some with their bottom sections angled back with a fixed vertical grill running across the top, as is typical in many 1920s and 30s industrial buildings. At the southern end there are two smaller multipaned windows. At the ground level, there is an original service lift opening with a steel door and near the southern end, an original opening that would have provided a rear access to the ground-level café is also retained. Extensive plumbing and a number of air conditioning units have been fixed to the elevation.

INTEGRITY

7-9 Elizabeth Street is relatively intact with changes visible to original or early fabric largely confined to the ground floor. The building retains its original built form and scale, painted render walls and key stylistic details. Original facade detailing at the first-floor level includes the large central recessed window bay, decorative relief panels and parapet with 'wave' elements indicative of Art Deco styling, although the original steel frame windows have been replaced with aluminium frame units. The original shopfronts and awning have been replaced with contemporary items. The rear elevation retains original pattern of openings. Overall, the building has high integrity.

COMPARATIVE ANALYSIS

Utilitarian two to three-storey shops or offices similar to 7-9 Elizabeth Street are a common building typology in the Hoddle Grid, although with extensive commercial development in the late twentieth century, these are now more common along main streets and smaller laneways in the peripheral precincts than in the main commercial area of central Melbourne. The interwar commercial buildings in central Melbourne utilised various classical or more progressive styles including the Commercial Palazzo, Chicagoesque or Moderne styles, as seen in landmark examples and other office/retail buildings around the city. The modestly scaled buildings were typically built of loadbearing brick, with a painted render finish and a minimum of detail.

The following examples in Melbourne are comparable with 7-9 Elizabeth Street, being of a similar use, scale, location and/or construction date. The images and descriptions are provided by CoM Maps unless stated otherwise, with images dating from c2000 or later.

211-213 Franklin Street, 1931 (HO1125)

Two-storey building originally built as a café in 1931 in an eclectic design, broadly indicative of the Spanish Mission style. The architects were Cowper, Murphy & Appleford. The ground floor opening has been altered in the 1980s, and tile cladding on the lower part of the wall is not original (RBA 2013:D38).

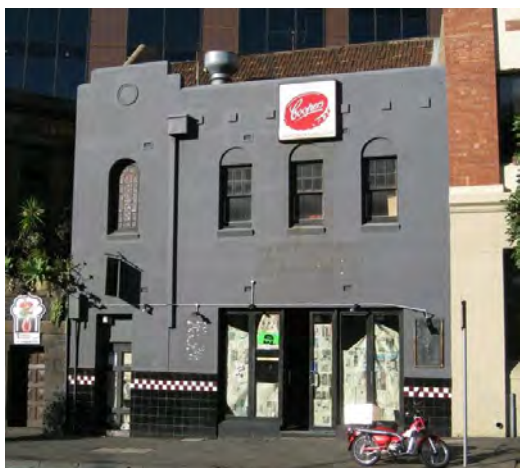


Figure 5. 211-213 Franklin Street, built in 1931.

Diamond House, 313-317 Bourke Street, 1936 (Significant in HO509 Post Office Precinct)

Diamond House is a four-storey brick building designed by H W & F B Tomkins in the Moderne style and built by E A Watts in 1936.



Figure 6. 313-317 Bourke Street, built in 1936. (Source: Google 2019)

Former Sharpe Bros Pty Ltd, 202-204 Bourke Street, 1934 (Recommended as significant in the Hoddle Grid Heritage Review)

202-204 Bourke Street is a four-storey interwar commercial building built in 1935 in the Moderne style to a design by Melbourne architects H W & F B Tompkins. It functioned as the successful department store of Sharpe Bros Pty Ltd from 1935 to 1963 and continued its use as a department store until c1970.



Figure 7. 202-204 Bourke Street, built in 1934. (Source: Context 2018)

Former Alexanders Building, 88 Elizabeth Street, 1928 & 1933 (Significant in HO502 The Block Precinct)

A three-storey brick retail building with a faience tile-clad facade and a mezzanine. Built for the pipe and smoking requisites retailer Alexanders Proprietary Limited in 1928, and the façade was renovated in 1933 (*Age* 19 September 1933:14)



Figure 8. Elizabeth Street, built in 1928.

295-297 Elizabeth Street, 1930s (Contributory in HO1204 Elizabeth Street West Precinct)

Two-storey rendered brick shop built in the early 1930's.



Figure 9. 295-297 Elizabeth Street, built in the early 1930s. (Source: Google 2019)

349 Elizabeth Street, c1920s (Contributory in HO1204 Elizabeth Street West Precinct)

Two-storey concrete rendered shop built in the 1920s in Neo-Greco style.



Figure 10. 349 Elizabeth Street, built in c1920s.

7-9 Elizabeth Street is a relatively intact example of a modestly scaled two-storey shop/office building in central Melbourne. It was constructed in 1933 and exhibits aspects of the Moderne style. While other examples of the style currently on the City of Melbourne's Heritage Overlay, such as 88 Elizabeth Street (Significant to HO502 The Block Precinct) from 1936, which was also occupied by a cigarette manufacturer Alexanders Pty Ltd, and 313-317 Bourke Street (Significant to HO509 Post Office Precinct) of 1928.

7-9 Elizabeth Street is of interest as an unusually low scale example of the work of prominent architect Harry A Norris, demonstrating his ability to adapt his craft to lower scale commissions. This is indicative of its construction date close to the height of the 1930s Great Depression, a period of economic restraint and limited commercial development.

A café building at 211-213 Franklin Street from 1930 (HO1155) is another modestly scaled example with understated detailing. Although this example exhibits elements influenced by the Spanish Mission style, this building and 7-9 Elizabeth Street are both representative of the lower-scale commercial development during the later interwar period. 211-213 Franklin Street is also comparable for its original use as a café.

Unlike other two-storey retail/office or similar use buildings from the interwar period such as 295-297 Elizabeth Street (Contributory to HO1204 Elizabeth Street West Precinct), or 349 Elizabeth Street (Contributory to HO1204 Elizabeth Street West Precinct) the subject site exhibits a more refined and sophisticated use of stylistic motifs indicative of the influences of Art Deco. The incorporation of geometric stylised decorative panels enlivens the façade and sets the building apart from these more stylistically conservative examples of small-scale commercial building being constructed during the interwar period.

ASSESSMENT AGAINST CRITERIA

✓	<p>CRITERION A Importance to the course or pattern of our cultural or natural history (historical significance).</p>
	<p>CRITERION B Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).</p>
	<p>CRITERION C Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).</p>
✓	<p>CRITERION D Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).</p>
	<p>CRITERION E Importance of exhibiting particular aesthetic characteristics (aesthetic significance).</p>
	<p>CRITERION F Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)</p>
	<p>CRITERION G Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).</p>
✓	<p>CRITERION H Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).</p>

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

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PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985** Ungraded

**Central City Heritage
Study 1993** Ungraded

**Review of Heritage
overlay listings in the
CBD 2002** Ungraded

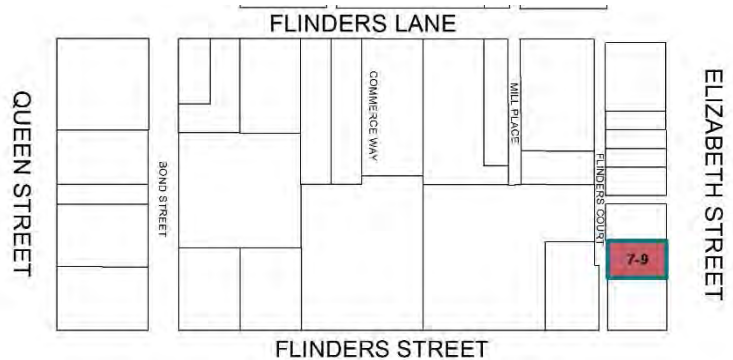
**Central City Heritage
Review 2011** Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Shops, café and office



PS ref no: HOXXXX



What is significant?

7-9 Elizabeth Street, Melbourne, a two-storey retail building built in 1933 to a design by architect Harry A Norris.

Elements that contribute to the significance of the place include (but are not limited to):

- The original built form and scale;
- The original rendered reinforced concrete façade to Elizabeth Street and the pattern of fenestration, including large central recessed bay with vertically proportioned modules of narrow window openings and solid panels, moulded decorative motifs and parapet with recessed Art Deco/Jazz Moderne motifs; and
- The original rear elevation with exposed concrete finish to Flinders Court and the pattern of fenestration.

Later alterations made to the Elizabeth Street facade, including the aluminium frame shop front, are not significant.

How it is significant?

7-9 Elizabeth Street, Melbourne, is of local historic, representative and associative significance to the City of Melbourne

Why it is significant?

The two-storey shop, office and cafe building at 7-9 Elizabeth Street is historically significant for the evidence it provides of an important phase in Melbourne's retail and office development. During the economic depression of the late 1920s and early 1930s, government tariffs on imported goods brought

locally manufactured products to the fore, which aided Melbourne's recovery. The building at 7-9 Elizabeth Street was occupied immediately by small businesses associated with retail, café and financial services. Building owner, tobacco retailer G Damman & Co, occupied part of the building for around 40 years, from 1933 to at least 1974. The tobacco business of G Damman & Co was founded on the Victorian goldfields by Danish migrant brothers George and Gustave Damman. They opened their first tobacco and pipe retail store in Melbourne in 1854. Another occupant was the Parthenon Café from 1933-65, established by Greek immigrant Vasile Vlasopoulos. Vlasopoulos had a longer connection to the site, in 1919 having established a dining room in the previous building at 7A Elizabeth Street. Opened in 1933, the Parthenon Café was one of the earliest Greek cafes established in Melbourne, which were uncommon before the increased arrival of Greek migrants after World War Two. The building at 7-9 Elizabeth Street is also significant for its direct association of 15 years with the Young Men's Hebrew Association of Australia who occupied the first-floor office space in the subject building from c1945-60. The Young Men's Hebrew Association of Australia (YMHA) was founded in Sydney in 1929, with a Victorian branch established by late 1933, to perpetuate Jewish ideals, contribute to the social development of the community, and to create a cultural Jewish life by means of a religious, educational, social, philanthropic and recreational program. The role of the YMHA during its tenancy of 7-9 Elizabeth Street is likely to have taken on particular importance in the course of Melbourne's and Victoria's Jewish history in the immediate postwar years. (Criterion A)

The building at 7-9 Elizabeth Street is significant as a relatively intact example of a two-storey shop and office building constructed in the later interwar period and designed by Harry A Norris. The building is characteristic of the modestly scaled and fine-grained retail expansion in central Melbourne during the widespread economic depression of the later 1920s and early 1930s. Its use of the Moderne style in such a low scale building is not common. The style was in vogue at the time for much more substantial (especially commercial) buildings rather than low scale retail buildings, which tended to be more stylistically conservative and restrained. The primary façade to Elizabeth Street retains its original fenestration, including large central recessed bay with vertically proportioned modules of narrow window openings and solid panels, moulded decorative motifs and parapet with recessed Art Deco inspired motifs. (Criterion D)

7-9 Elizabeth Street is significant for its direct association with one of the earliest-established Australian tobacconists G Damman & Co. Built for the company in 1933, the building was occupied by G Damman & Co for over 40 years through to the 1970s. In 1954, the company celebrated its centenary, and was noted as being the oldest tobacconists in Australia. The company established three stores in Melbourne, and the subject building at 7-9 Elizabeth Street is the only surviving physical evidence of their business in central Melbourne for over 120 years. (Criterion H)

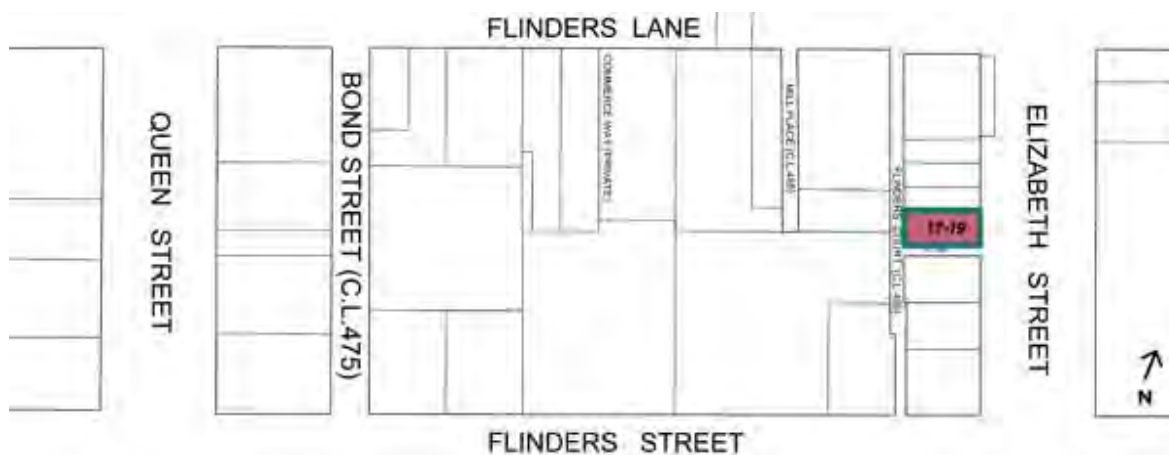
Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME Excelsior House, former Excelsior Chambers

STREET ADDRESS 17-19 Elizabeth Street Melbourne

PROPERTY ID 103168



SURVEY DATE: October 2017

SURVEY BY: Context

HERITAGE INVENTORY H7822-1878

EXISTING HERITAGE OVERLAY No

PLACE TYPE Individual Heritage Place

PROPOSED CATEGORY Significant

FORMER GRADE C

DESIGNER / ARCHITECT / ARTIST: William Salway
Peck & Kemter

BUILDER: Martin & Peacock

DEVELOPMENT PERIOD: Interwar Period (c.1919-
c.1940)

DATE OF CREATION / MAJOR CONSTRUCTION: 1885, 1925

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Stage 2 Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a Commercial City	5.4 Developing a retail centre
	OTHER SUB-THEMES
10 Shaping Cultural Life	5.5 Building a manufacturing industry
	10.3 Belonging to an ethnic or cultural group
3 Shaping the Urban Landscape	3.2 Expressing an architectural style

LAND USE

HISTORIC LAND USE	
Archaeological block no: 60	Inventory no: 878
Character of Occupation: Commercial	
First land sale 1837, part 2 allotments: 9 and 8, L McAllister, A Thompson. Subdivisions, lanes by 1840.	
1839 Williamson	
1837 & 1840 Hoddle	
1855 Kearney	
1866 Cox	
1877 Dove	Two-storey building, Scott, Flowers; One-storey building, Cox, Butcher.
1888 Mahlstedt	Five-storey building; Excelsior Chambers; Robertson & Masters, Bartlett, Tailor.
1905/6 Mahlstedt	Five-storey building; Maclachlan, Tobacconist.
THEMATIC MAPPING AND LAND USE	
1890s	Offices
1920s	Offices, Cafes and Temperance.
1960s	Cafes.

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

Excelsior House at 17-19 Elizabeth Street was originally built in 1888 as a five-storey office building to a design by William Salway. In 1925, an additional two storeys were added, and the façade was updated in the interwar commercial palazzo style. The building supported a range of uses including the Shamrock Club for Irish immigrants.

HISTORICAL CONTEXT

Building a Commercial City

Developing a retail centre

Even before the early 1850s, Melbourne had established the foundational infrastructure for international trade and commerce, including retail markets, shipping agents, and industry and finance houses - the beginnings of an entrepreneurial global city (Context 2012:2).

Retailing in Melbourne gained official recognition when eight market commissioners were elected in 1841 from a roll of local voters. The commissioners established the Western Market, which became the principal place for selling fresh food, with many goods transported from Melbourne to pastoral settlements. At this time Melbourne's population was 4479, and Australia's was 20,416 (Young and Spearritt 2008).

Miles Lewis notes that various precincts within the city centre had emerged by the early 1840s, and that this pattern

remained little changed into the 20th century and which ... survives today – mercantile and warehousing activity near the Pool and the wharves, banking in central Collins Street, the retailing heart between Swanston and Elizabeth Streets, the medical precinct in the vicinity of Dr Richard Howitt's house in Collins Street East, and so on (cited in Context 2012:12).

During the economic boom of the 1880s, retail businesses constructed multi-storeyed architect designed buildings, with display windows to the streets and offices, warehousing and manufacturing constructed above. By the first decades of the twentieth century, buildings reached six to eight storeys, and some featured arcades.

Building a manufacturing industry

As Melbourne developed through the nineteenth century, so did her manufacturing industry. Flinders Lane became an important area for clothing manufacturers, while Chinese cabinet makers were concentrated at the east end of town. Food-processing plants were established in north and west Melbourne. Factories tended to be small and specialised. Large factories, built in the later nineteenth century and early twentieth century, tended to be built outside the City of Melbourne, where land was more easily obtainable (Context 2012:35).

After being the centre of manufacturing in Australia in the 1920s, Melbourne's importance in this regard began to decline. In the postwar period many city factories and warehouses were left empty or converted for other uses. The industrial area of Southbank has been virtually obliterated by the new developments of the 1990s (Context 2012:35).

Shaping cultural life

Belonging to an ethnic or cultural group

Melbourne attracted migrants from all over the world. As Chris McConville writes of the Irish:

While the 1850s remained the most significant decade for Irish migration to Victoria, perhaps more important single years of emigration were 1864, 1879 and 1884, peaks associated with crises in Irish agriculture... Since Victoria, unlike other colonies, quickly abandoned schemes of mass-assisted immigration, the Irish were more likely to have

arrived as unassisted immigrants, suggesting that they were drawn from among the middling ranks of agricultural society...Extended sequences of familial chain migration allowed these regional concentrations to persist until the last decade of the 19th century.

In Melbourne, the Irish settled most densely in the inner city. For a time, some of the poorer lanes of the central city sustained noticeable Irish clusters. Yet the Irish-born were never a numerical majority in any local government area or city ward, even though they may have controlled local political and cultural life. In the city itself, Bourke, Gipps and Lonsdale wards had populations which were more than 20% Irish in 1871, the peak year for the city's Irish-born population (McConville 2008).

Melbourne's various ethnic communities both adapted existing structures for their own purposes or built anew.

Shaping the urban landscape

Expressing an architectural style

The interwar period adapted classical styles to commercial architecture with sub-sets of Georgian, Renaissance and Greek revival fitting within this overall style. The rather muted approach was sympathetic to earlier Victorian-era buildings and used a similar architectural vocabulary to those steeped in classical form and decoration. As a building type, offices tended to take a secondary role to monuments of civic and religious importance and saw such buildings as infill to the street.

Commercial buildings in the 1920s were mainly of the commercial palazzo style, as exemplified by Harry Norris's Nicholas Building in Swanston Street (1925). The style was an early attempt at creating a style suitable for the tall building. It was divided into a base, shaft and cornice, much like a Renaissance palazzo. The scale, however, was greatly enlarged, with the shaft stretching up to 10 storeys.

The interwar period also brought a change in building to structural steel and reinforced concrete framing, however buildings continued to adopt traditional architectural elements simply modified to the new construction material. This was particularly true of concrete that could be moulded to resemble traditional masonry render.

SITE HISTORY

The site at 17-19 Elizabeth Street, was purchased by L McAlister and A Thompson as part of Section 2, Allotments 8 and 9 in the first Crown land sale of 1837. By 1840 the land had been subdivided, and by 1855 there was a three-storey bluestone store on the site comprising 17-19 and 21-23 Elizabeth Street (then addressed together as number 13). The store was built for prominent millwright, John Dight, after whom Dights Falls is named (*Argus* 22 January 1855:8; Fels, Lavelle & Mider 1993, Inventory no 878; RB 1860-1863).

In 1872 Michael Dawson purchased the property, and from 1875 nurserymen Scott & Sons operated a florist from the premises (*Advocate* 24 August 1872:15; S&Mc 1875-1884). Dawson's death in 1875 saw the property passed to his daughter Emily Fallon, who had married Thomas Patrick Fallon some years earlier. Fallon was a speculator and Consul for Chile in Victoria and Consul-General for Columbia in Australasia in the early 1890s. He committed suicide in 1892 because of monetary problems caused by the economic depression of the early 1890s (*Age* 28 August 1874:2; *Argus* 2 June 1875:8; *Argus* 5 January 1892:5).

In 1884 architect William Salway advertised for tenders to purchase and remove the premises at Elizabeth Street, which resulted in the subdivision of the allotment. The Fallons retained their portion at the corner of Elizabeth Street and the right-of-way and had a five-storey brick office building, Excelsior Chambers, constructed by Martin & Peacock (Figure 1) (*Argus* 13 November 1884:15; MCC registration no 1265, as cited in AAI, record no 75166). It was the first of three adjacent buildings Salway would design on the block: he and Martin & Peacock collaborated again in 1889 on the surviving Elizabeth Chambers next door, built in 1890 (in addition to a warehouse in Little Bourke Street in 1890), as well as 25 Elizabeth Street, constructed by McIntosh & McConnell in 1889 (MCC registration no 3889 & 4335 as cited in AAI, record no 75176 & 73300).

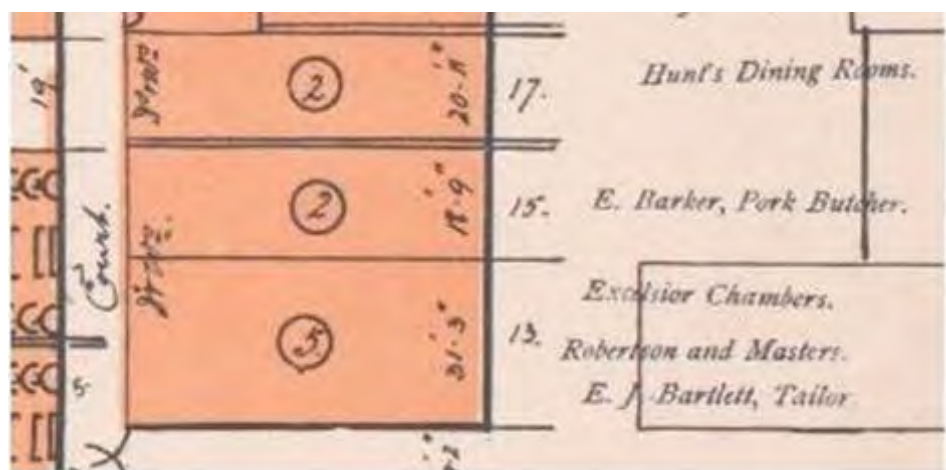


Figure 1. Detail from 1888 Mahlstedt plan shows 17-19 Elizabeth Street (then no 13), as a five-storey brick building. (Source: Mahlstedt Map, no 4, 1888)

Excelsior Chambers 1885-1924

By 1886 the ground floor shops of Excelsior Chambers were occupied by florists Scott & Sons and fishmonger P Jenkins, with the first and second floors leased by various soft goods manufacturers (*Age* 20 May 1886:8; *Oakleigh Leader* 17 March 1888:4; RB 1892). Melbourne's only furrier (a person dealing in furs) at the time, Morris Nettleberg, ran his shop from the ground floor of 17 Elizabeth Street from 1894-1901 (RB 1894-98; S&Mc 1901). The second and third floors remained vacant until 1902, when the Shamrock Club began operating their offices and clubroom from these levels (S&Mc 1902). The Club was founded on the idea of having a place for Irish immigrants to meet, and by 1910 it occupied five floors of the Excelsior Chambers (*Argus* 21 June 1902:11; RB 1910). The Shamrock Club continued to operate from the site until c1919 (*Advocate* 5 April 1919:19).

Several fires in the early 1890s resulted in the building's entire fifth storey burning out and lower levels suffering significant water damage, with repairs estimated at £3,500 (*Argus* 1 April 1893:8). While the front façade remained from its initial construction through to the 1920s, it is assumed that the required repairs would have resulted in little original internal fabric remaining at the turn of the century.

In 1910 Anthony Lucas purchased Excelsior Chambers and operated both a fruit shop and the Lucas Café from the premises until c1925 (Figure 2) (RB1910, 1920, 1925 & 1930).

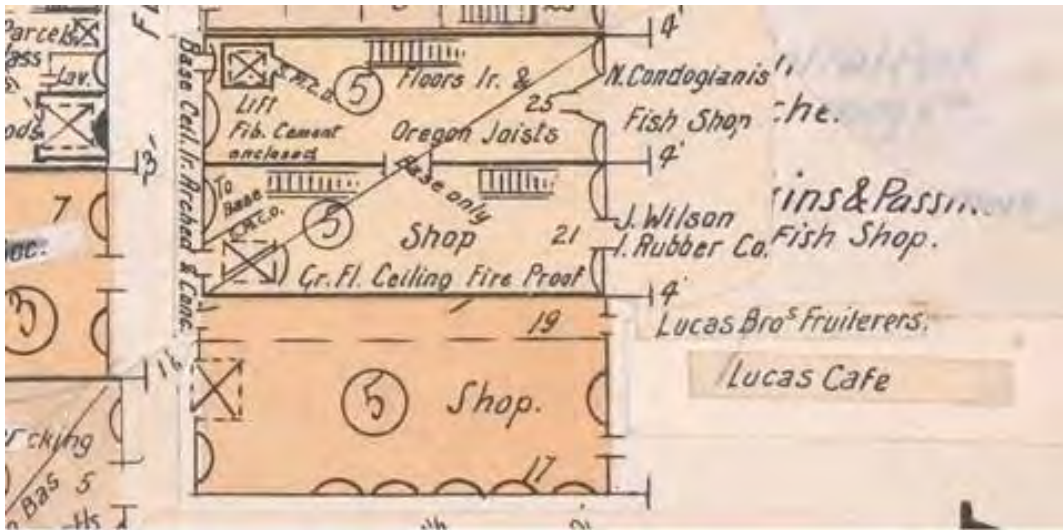


Figure 2. Detail from 1910 Mahlsted plan shows Lucas Bros occupying the property, as well as added detail on some of the building features, i.e. shop front with two entrances, five window openings on the southern elevation, two rear door openings and an internal lift well. (Source: Mahlsted Map, no 15, 1910)

In 1925 architects Peck & Kemter invited tenders for alterations and additions to Excelsior House, with the works totalling £12,000 (Age 25 February 1925:6; BP). Two additional storeys were added and the building's front façade was also refaced, replacing Salway's Italianate classical detailing with a façade in the interwar commercial palazzo style. (Figure 3, Figure 4, Figure 5).

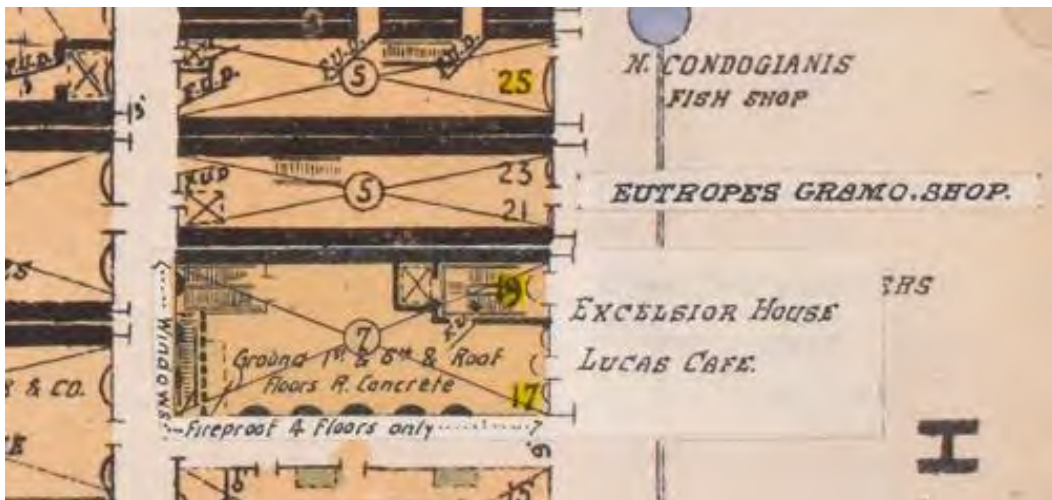


Figure 3. Detail from 1925 Mahlsted plan shows the building at 17-19 Elizabeth as a seven-storey building with reinforced concrete roof and floors at ground, first and sixth levels. (Source: Mahlsted Map Section 1, no 15, 1925)



Figure 4. A c1900 image looking north up Elizabeth Street from Flinders Street shows the subject property as a five-storey building with Italianate detailing on the façade. (Source: photographer unknown c1900, SLV)



Figure 5. An image from the late 1940s shows the subject building with a two-storey extension, and new façade and cantilevered canopy replacing pre-1925 detailing. (Source: photographer unknown c1946-1953, SLV)

Tenants who occupied floors in the newly refurbished building included Miss Vivienne Maitland and her partner, who operated the Paris Tango Club from the property in 1926 (Figure 6), as well as the University Coaching College and a scouts' headquarters (*Argus* 8 February 1930:14; *Frankston and Somerville Standard* 22 October 1926:7). Lucas' proprietorship of 17-19 Elizabeth Street remained until the mid-1950s (RB 1930, 1939, 1945, 1950 & 1956).

Today the ground floor of 17-19 Elizabeth Street is occupied by a fast food chain and a currency exchange kiosk, while the upper floors have been converted to residential apartments.



Miss Vivienne Maitland and her partner, Mons. Alexandre Laloge, who, coming direct here from Monte Carlo and Paris, have opened a French Tango Club at Excelsior House, 17-19 Elizabeth Street, Melbourne. They instruct in and demonstrate daily all the latest dances.

Figure 6. Miss Vivienne Maitland and her partner, Monsieur Alexandre Laloge, who came to Melbourne direct from Monte Carlo and Paris, opened the Paris Tango Club in 1926, instructing the latest dances daily. (Source: *Table Talk* 2 December 1926:57)

William Salway, architect

The *Encyclopedia of Australian Architecture* contains the following information about William Salway:

William Salway (1844-1902) was born in London and his family migrated to Australia in 1854. He attended Scotch College (1858-9), matriculated from the University of Melbourne (1865) and subsequently served his articles with Reed and Barnes, with whom he remained until 1867 when he toured to Manila, Ceylon, Singapore and China, remaining in Hong Kong where he practiced from 1868-1876. On his return to Melbourne he joined James Thomas Conlan to form Conlon & Salway. Conlon died in 1880 and Salway continued the practice alone, establishing himself as one of the leading architects of the time. His years of practice span the land boom period of the 1880s and his clients included prominent Melbourne institutions, businesses and citizens, including the Melbourne Cricket Club, the Victorian Racing Club and the City of Melbourne.

It is, nevertheless, in his central Melbourne buildings and suburban mansions that Salway left his mark. He always designed in a free Italianate Classical style. His warehouses

develop a vocabulary of layered trabeated (post and beam) facades articulating repetitive rows of rectangular windows and developed with added layers to structural bays and corners. He favoured corner piers capped with inverted console brackets. Further decorative overlays included overlaid pedimented entrance porches, archways and decorative panels to produce dramatic effects. A literal interpretation of the Classical orders was avoided and generally pilasters and the like only appear on entrance porticoes. Important surviving examples include the Meat Market building (1884) at the Queen Victoria Market in Elizabeth Street and the former Ball & Welch warehouse (1883) in Faraday Street, Carlton. (Trethowan 2012:613)

Peck & Kemter, architect

The *Encyclopedia of Australian Architecture* contains the following information about architects Peck & Kemter:

In 1889, Solon Alonzo Peck (1870-1930) was articled to W V Billing, becoming a partner in 1893 and later Billing, Son & Peck (1897-1911). With George Alfred Kemter (1887-1971) as partner, it became Billing, Peck & Kemter (1912-c20). These various iterations of the firm designed banks at Box Hill (1911), Coburg (1912), the Western Branch (1917) of the State Savings Bank of Victoria and the Higson Building (1913), Flinders Lane, Melbourne. As Peck & Kemter, acting for the client Howey Estate, they were involved with Walter Burley Griffin and Marion Mahoney Griffin in the Capitol Theatre and Building, Melbourne (1920-24).

Peck & Kemter designed the B F Cox residence, Malvern (1925), renovations to the Brunswick Baths (1928), the Bankers & Traders Insurance building, Collins Street (1928), the Sheep Pavilion, Melbourne Showgrounds (c1928), the Aeolian Building, Swanston Street (c1928) and The Strand, Elizabeth Street (1929), before Peck died. Later the firm designed W B Simpson's office, Victoria Street (1933) and, with A C Leith & Bartlett, Heidelberg Town Hall (1936-7), Peck & Kemter were awarded the RVIA Street Architecture Medal (1939), though their role was probably not significant. Kemter completed the Wakes Mail Order Store, 493-497 Swanston Street (1940) and a retirement home on his Heidelberg property (1940) before the firm closed. (Peterson 2012:534)

SITE DESCRIPTION

17-19 Elizabeth Street forms part of a group of three commercial buildings of four to six storeys in the block between Flinders and Collins Streets. Nos 17, 21 (HO105) and 25 are part of the retail core of the central city. They form a distinctive grouping defined by their narrow site footprints and heights.

Originally built as a five-storey building in 1885, an additional two storeys were added in 1925. At the same time, the whole of the front façade was refaced in the interwar commercial palazzo style. The building has a strong vertical character derived from its height in relation to its footprint and detailing designed to accentuate the vertical plane.

The front façade is arranged as a base, shaft and cornice in the style of a Renaissance palazzo. A rusticated base has four equally spaced rounded arched window openings. Unusually, the rusticated base is located on the first level rather than at ground level. A band of rectangular recessed openings

with decorative metal grilles runs across the top of this level. A deep decorative palazzo style cornice runs along the upper edge of the parapet at the top of the building.

The remainder of the façade is divided into three vertical bays by rendered piers which run the full height of the upper floors - a double width bay runs through the centre and single width bays are located to each side.

Flat horizontal spandrels run across each of the other levels, recessed behind the vertical piers. The words 'Excelsior House' are inscribed between levels two and three. The band between the fifth and sixth floors comprises a balconette on each outer section. Windows are consistent, with simple timber framed sash windows to the outer edges. Centre windows are tripartite with four small panes to the upper section of each window and sill and apron intact.

At ground level, alterations have occurred to the shop fronts. The 1925 cantilevered verandah canopy over the shopfront remains with decorative motifs still intact at each end.

INTEGRITY

The early form and footprint of the 1885 building is still legible. Detailing of the upper façade, dating from 1925, retains a high level of integrity. Significant alterations have occurred to the shop front at ground level, though the 1925 cantilevered canopy remains intact.

COMPARATIVE ANALYSIS

Late Victorian buildings constructed during the 1880s contributed to shaping Melbourne into a commercial city. Often with multiple storeys, the use of these buildings varied, from housing walled office spaces to offering large workshop floors. Being influenced by the 1880s property boom, these commercial buildings were popularly treated with Renaissance and Italianate styles.

In the interwar period, a variety of styles was used in the design of commercial buildings, as architects and designers explored ways of treating buildings with new height limits, made possible by innovations such as the elevator and changes in regulations. In some instances, classical revival styles were used, while at other times, styles more closely associated with modern movement were used to express a streamlined, progressive aesthetic. The classical revival commercial palazzo style was commonly used, as exemplified by Harry Norris's Nicholas Building in Swanston Street (1925). The style was an early attempt at creating a style suitable for the tall building. It was divided into a base, shaft and cornice, much like a Renaissance palazzo. The scale, however, was greatly enlarged, with the shaft stretching up to 10 storeys.

The subject building compares well with the following examples, drawn chiefly from the Central City Heritage Review 2011, being of a similar use, scale, location and creation date. The images are provided by CoM Maps unless stated otherwise.

Selected examples of commercial buildings from the 1880s include:

Elizabeth Chambers, 21-23 Elizabeth Street (HO1015) and 25 Elizabeth Street (Recommended as significant in the Hoddle Grid Heritage Review)

These five-storey commercial buildings are directly adjacent to the subject site. Architect William Salway designed all three buildings between 1885 and 1890. Built in the classical styles, they are representative of a building type that flourished during the Boom years of the 1880s, and which contributed to Melbourne as a commercial city.



Figure 7. 21-23 Elizabeth Street, 1890 (on left) and 25 Elizabeth Street, 1889 (on right). (Source: Context 2018)

Selected examples of classically styled buildings from the interwar period include:

Druids House, 407-409 Swanston St, 1927 (HO1083)

A seven-storey reinforced concrete office building with a basement and ground level retail. Designed by Gibbs, Finlay, Morsby & Coates in the Greek Revival style and built by EA Watts for The Druids Friendly Society in 1927.



Figure 8. Druids House, 407-409 Swanston Street constructed 1927

Former Pellegrini & Co premises, 388-390 Bourke Street, 1930 (HO1206)

An eight-storey office building of reinforced concrete construction designed by AA Fritsch. A taller building than others of this period, it expresses its classicism in the arrangement of base, shaft and capital as well as the use of balconies and pilasters. The concrete frame has allowed larger window sizes than is possible in a masonry building.



Figure 9. 388-390 Bourke Street constructed 1930

414-416 Bourke Street, 1928 ((HO1207)

An eight-storey brick building is distinguished by its understated reference to the classical revival style with an intact ground floor and seven levels with a cornice and pediment. The façade is composed with several balconies.



Figure 10. 414-416 Bourke Street constructed 1928

The subject building compares with 21-23 and 25 Elizabeth Street as one of three commercial buildings constructed by architect William Salway in the late-Victorian period. This type of building flourished during the boom years of the 1880s and contributed to Melbourne as a commercial city. The subject building compares with 407-409 Swanston Street, 388-390 Bourke Street, and 414-416 Bourke Street, particularly for the aesthetic qualities associated with the interwar classical revival

styles. While not originally constructed in the interwar period, the façade of the subject building was refaced at that time and reflects the aesthetic characteristics associated with the interwar revival styles.

ASSESSMENT AGAINST CRITERIA

✓	<p>CRITERION A Importance to the course or pattern of our cultural or natural history (historical significance).</p>
	<p>CRITERION B Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).</p>
	<p>CRITERION C Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).</p>
✓	<p>CRITERION D Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).</p>
✓	<p>CRITERION E Importance of exhibiting particular aesthetic characteristics (aesthetic significance).</p>
	<p>CRITERION F Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)</p>
	<p>CRITERION G Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).</p>
	<p>CRITERION H Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).</p>

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

REFERENCES

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PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985** D

**Central City Heritage
Study 1993** C

**Review of Heritage
overlay listings in the
CBD 2002** Ungraded

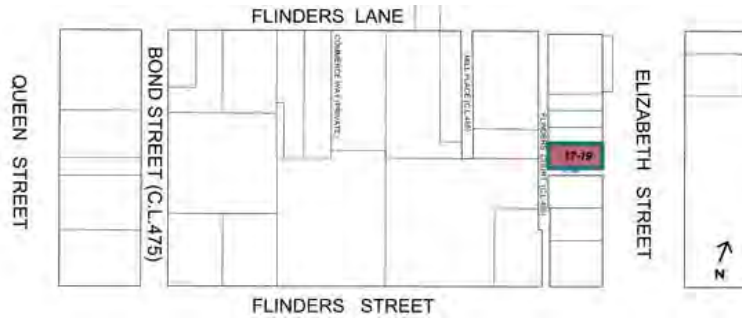
**Central City Heritage
Review 2011** Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Excelsior House, former Excelsior Chambers



PS ref no: Interim HO1246



What is significant?

17-19 Elizabeth Street, built in 1885 and extended and refaced in 1925.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's early form, materials and detailing (dating from 1925 refurbishment).
- Detailing of the upper façade including rusticated base with rounded arched window openings, decorative metal grilles, piers and recessed spandrels, balconettes, parapet and deep decorative cornice (1925);
- The words 'Excelsior House' inscribed between levels two and three;
- Pattern and size of original fenestration;
- Original window joinery, including central tripartite windows with four small panes to upper sashes; and
- The cantilevered canopy (1925).

More recent alterations, including those to the ground level shop front, are not significant.

How it is significant?

17-19 Elizabeth Street is of local historic, representative and aesthetic significance to the City of Melbourne.

Why it is significant?

17-19 Elizabeth Street is of historic significance for its association with Melbourne's retail and manufacturing development during the boom years of the 1880s and the 1920s. Built for Thomas Patrick Fallon, speculator and Consul for Chile in Victoria and Consul-General for Columbia in Australasia in the

early 1890s, 17-19 Elizabeth Street was one of three adjacent buildings designed by architect William Salway: the subject building (1885); 21-23 Elizabeth Street (1890); and 25 Elizabeth Street (1889). 17-19 Elizabeth Street is also significant for its association with the Shamrock Club, established in 1850 to provide an opportunity for Irish migrants to meet, which occupied the building from 1902 to c1919.

(Criterion A)

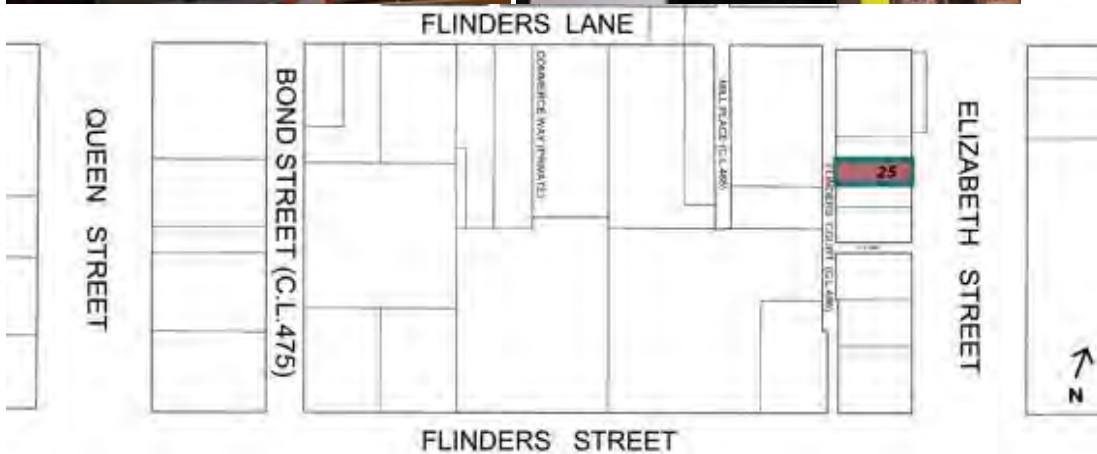
In its altered form of seven storeys 17-19 Elizabeth Street is a fine example of an interwar commercial palazzo, an architectural style that developed in response to the growing height of buildings in the early twentieth century, together with the desire to still utilise classical decoration to achieve a well-mannered and scholarly building. Like other buildings of this period, this classical tradition is expressed in 1-19 Elizabeth Street by the horizontal composition of the façade arranged as a base, shaft and cornice and its vertical articulation by piers between which are inset traditionally proportioned windows. (Criterion D)

17-19 Elizabeth Street is aesthetically significant as part of the group of three adjacent buildings designed by William Salway. Its somewhat unusual combination of Victorian and interwar elements features an Italianate façade with arched window openings at first floor level. Above this the building features a highly intact classical revival façade including full height vertical piers, a deep projecting cornice, balconettes and original window pattern and designs. 17-19 Elizabeth Street derives its aesthetic significance from a rich palette of classical detail together with high integrity relating to its 1925 form. (Criterion E)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Former Universal House
STREET ADDRESS	25 Elizabeth Street Melbourne
PROPERTY ID	103170



SURVEY DATE: October 2017

SURVEY BY: Context

HERITAGE INVENTORY	H7822-1880	EXISTING HERITAGE OVERLAY	No
PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
DESIGNER / ARCHITECT / ARTIST:	William Salway	FORMER GRADE	B
		BUILDER:	McConnell & McIntosh
DEVELOPMENT PERIOD:	Victorian Period (1851-1901)	DATE OF CREATION / MAJOR CONSTRUCTION:	1889

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Stage 2 Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a Commercial City	5.4 Developing a retail centre

LAND USE

HISTORIC LAND USE	
Archaeological block no: 60	Inventory no: 880
Character of Occupation: Commercial	
First land sale 1837, Block 4 Allotment 9, L McAlister, Subdivision lanes by 1840.	
1839 Williamson	-
1837 & 1843 Hoddle	-
1840 Russell	-
1866 Cox	Brick building, restaurant owned by William Hunt
1877 Dove	W Hunt Full & Plenty luncheon room
1880 Panorama	
1888 Mahlstedt	Hunt's dining room, Horderns Trustees, built new building
1905/6 Mahlstedt	Five-storey building,
THEMATIC MAPPING AND LAND USE	
1890s	Commercial office
1920s	Commercial office
1960s	Commercial office

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

25 Elizabeth Street is a five-storey (with basement) late-Victorian commercial building that is representative of a type of building that flourished in the boom years of the 1880s. These buildings offered retail spaces at ground level and manufacturing, warehouse or office space on the upper floors, providing accommodation for a wide range of businesses, and helping to shape Melbourne into a commercial city.

HISTORICAL CONTEXT

Building a Commercial City

Developing a retail centre

Even before the early 1850s, Melbourne had established the foundational infrastructure for international trade and commerce, including retail markets, shipping agents, and industry and finance houses - the beginnings of an entrepreneurial global city (Context 2012:2).

Retailing in Melbourne gained official recognition when eight market commissioners were elected in 1841 from a roll of local voters. The commissioners established the Western Market, which became the principal place for selling fresh food, with many goods transported from Melbourne to pastoral settlements. At this time Melbourne's population was 4479, and Australia's was 20,416 (Young and Spearritt 2008).

Miles Lewis notes that various precincts within the city centre had emerged by the early 1840s, and that this pattern:

remained little changed into the 20th century and which ... survives today – mercantile and warehousing activity near the Pool and the wharves, banking in central Collins Street, the retailing heart between Swanston and Elizabeth Streets, the medical precinct in the vicinity of Dr Richard Howitt's house in Collins Street East, (cited in Context 2012:12).

With the economic boom of the 1880s, the 1880s–1890s was a decade of significant expansion in Melbourne. Investment funds poured in from Britain, imposing buildings were constructed, and speculation reached fever pitch in land, houses, offices and shops (Marsden 2000:28). As Graeme Davison notes, commercial Melbourne extravagantly asserted 'her wealth in stucco and stone' (cited in Marsden 2000:28).

SITE HISTORY

The site at 25 Elizabeth Street, originally no 17, was purchased by L McAlister as part of Crown Allotment 9, Block 4, in the first Crown Land sale of 1837 (DCLS). By 1840 the land had been subdivided, and in 1853 a brick store was built by Richard Richards for Dr John Gemmell on the subject site, at the southern end of Elizabeth Street (Fels, Lavelle & Mider 1993, Inventory no 880; MCC registration no 1923, as cited in AAI record no. 74969). The property was transferred to William Hordern, of the Hordern Australian retailing dynasty, in c1878 (RB 1878).

The Hordern family first came to prominence in Sydney as merchants and retailers with the establishment of Anthony Hordern & Sons. The family gained notability in rural pursuits, stockbreeding, stockbroking, fashion, cricket and parliament.

Anthony Hordern Senior (1788-1869) and his wife Ann Woodhead (c1791-1871) migrated to Sydney in 1823 with their four children. They moved to Melbourne in 1839, though their sons Anthony Junior and Lebbeus returned to Sydney Lebbeus shortly after, setting up the drapery business, L and A Hordern in 1844. Hordern Senior eventually established firm Anthony Hordern & Sons with his second son, Samuel, which became the largest department store in Sydney. With 52 acres (21 hectares) of retail space, Anthony Hordern's Sydney store was also once the largest department stores in the world (Teale 1972). William, fifth son of Anthony Hordern Senior, remained in Melbourne where he married Cecilia Monger in 1852. The pair built the first Methodist church on a corner of their own

property in Alphington, next to the Darebin Creek (*Spectator and Methodist Chronicle* 8 January 1915:54).

Butcher and restaurant keeper, William Hunt operated the 'Full and Plenty' dining rooms and boarding house from the subject premises from at least 1860, for almost three decades (S&Mc 1860-1892).

On Hordern's death in 1881, the property was devolved to his wife Cecilia (PROV VPRS 28/P0 unit 265, item 22/835; S&Mc 1872-1882). In 1889 North Melbourne building firm McConnell & McIntosh were awarded the tender to erect a five-storey warehouse on the site for Mrs Hordern (*Australasian Builder and Contractor's News* 26 January 1889:98). Architect William Salway designed the warehouse in a free Italianate Classical style (Figure 1 and 2) (MCC registration no 3754, as cited in AAI record no 75175). In the same year, Salway also designed the surviving Elizabeth Chambers at 21-23 Elizabeth Street, built in 1890, and a few years earlier, designed the Excelsior Chambers at 17-19 Elizabeth Street, built in 1885.

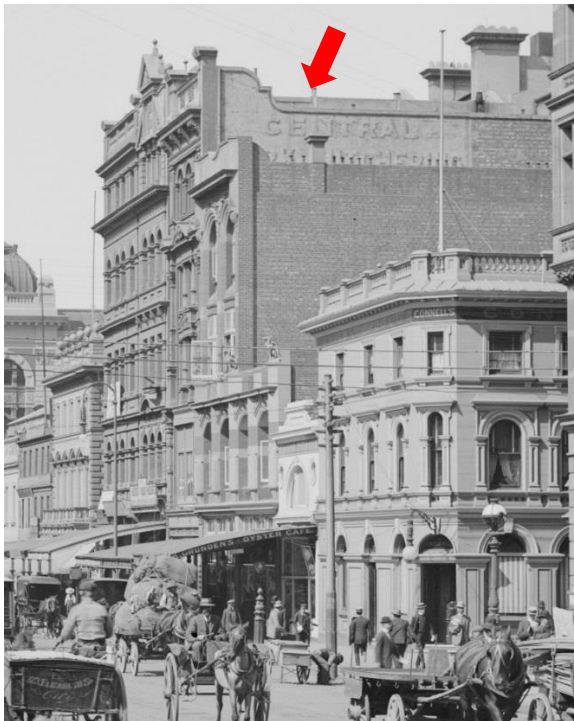


Figure 1. A photograph from the early twentieth-century shows 25 Elizabeth Street with 'Central Pork Butchering' signage painted on parapet wall. (Source: unknown photographer c1900-c1914, SLV)



Figure 2. A c1910 photograph shows 25 Elizabeth Street repainted in white. (Source: unknown photographer c1910, SLV)

Tenants included Wilson, Corben & Co, marble workers and stoneware merchants from 1889-1896; and Cobb & Co, hardware merchants, in 1896-1898 (S&Mc 1889-1903). From 1903 to 1910, A and G Smith operated Central Pork Butchering Co and Tea Rooms from the property (Figure 1). In 1906 a small fire in a drying room on the fifth-floor caused damage to the roof of the building (*Age* 27 March 1906:6).

London Fish Café

On A Smith's death in 1910, the property's lease was transferred to the Alexandra Bros who established the London Fish Café on the premises. Trading under the London Fish Café name continued until c1963 (*Age* 12 July 1930:1; *Argus* 22 December 1956:6; S&Mc 1910-1945; RB 1910-1958).

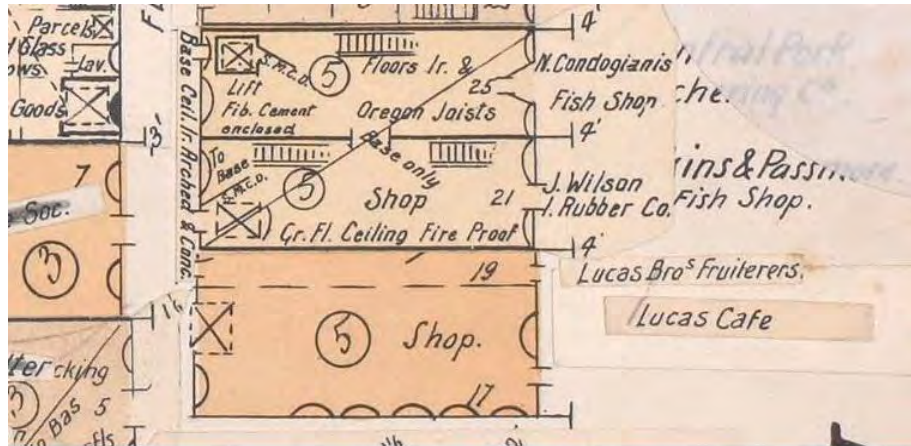


Figure 3. Section from 1910 City of Melbourne Detail Fire Survey Plan by Mahlstedt shows the subject building with an enclosed fibro-cement lift with single metal clad doors, iron floors and Oregon joists, as well as an internal opening connection no 25 with no 21-23 next door. (Source: Mahlsted Map, no 15, 1910)

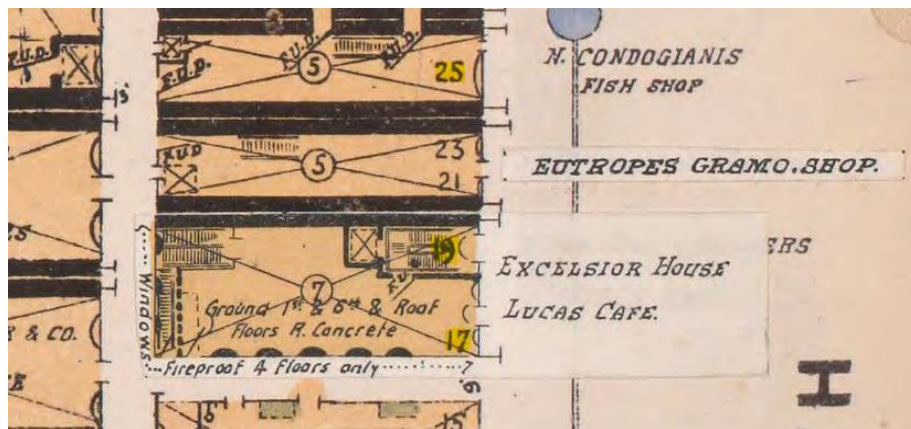


Figure 4. Section from a 1925 Mahlstedt plan shows the subject building with a number of alterations, including a modified façade and the closure of the previous openings connecting to no 21-23. Two new openings here connect no 25 with no 27-29. (Source: Mahlsted Map, no 15, 1925)



Figure 5. A c1918 photograph shows 25 Elizabeth Street with 'London Caf' signage painted on parapet wall. (Source: Rose Stereograph Co c1918, SLV)



Figure 6. A 1946-53 photograph indicates a high level of soot on the façade, though original decorative façade details from 1889 appear to be intact. (Source: unknown photographer 1946-53, SLV)

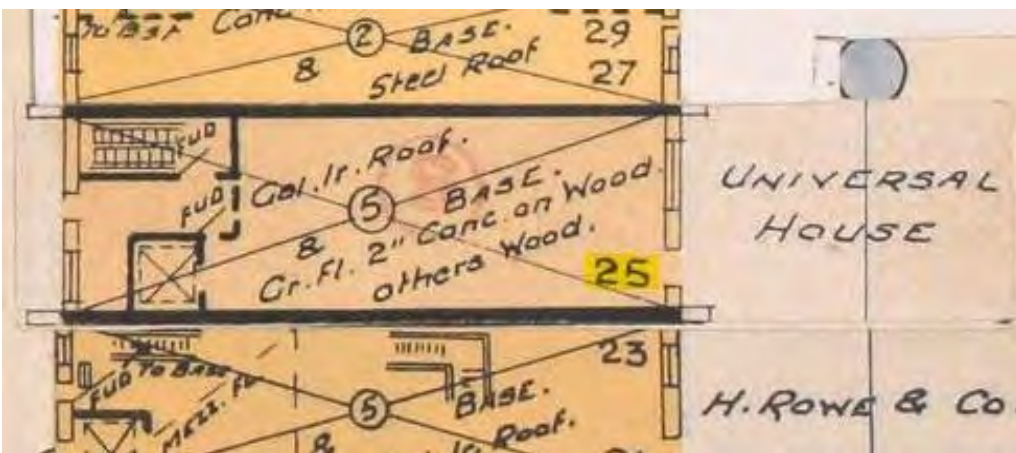


Figure 7. Section taken from a 1948 Mahlstedt plan shows interior alterations including the repositioning of the lift and stairwell and the closing up of interior openings between no 25 and 27-29 Elizabeth Street. (Source: Mahlsted Map, no 15, 1948)

In December 1956 the property was sold for £50,000, ending the Hordern family's 80-year proprietorship. By 1963 the building was known as Universal House, with available evidence showing

the occupancy of the property by Universal Flexible Trusts Ltd until 1974 (Age 26 August 1963:4; S&Mc 1960, 1965, 1970 and 1974).

Today, 25 Elizabeth Street is tenanted by Smokemart & Gift Box kiosk at ground level, and various organisations providing professional services throughout the upper floors.

William Salway, architect

The *Encyclopedia of Australian Architecture* contains the following information about architect William Salway:

William Salway (1844-1902) was born in London and his family migrated to Australia in 1854. He attended Scotch College (1858-9), matriculated from the University of Melbourne (1865) and subsequently served his articles with Reed and Barnes, with whom he remained until 1867 when he toured to Manila, Ceylon, Singapore and China, remaining in Hong Kong where he practiced from 1868-1876. On his return to Melbourne he joined James Thomas Conlan to form Conlon & Salway. Conlon died in 1880 and Salway continued the practice alone, establishing himself as one of the leading architects of the time. His years of practice span the land boom period of the 1880s and his clients included prominent Melbourne institutions, businesses and citizens, including the Melbourne Cricket Club, the Victorian Racing Club and the City of Melbourne.

It is, nevertheless, in his central Melbourne buildings and suburban mansions that Salway left his mark. He always designed in a free Italianate Classical style. His warehouses develop a vocabulary of layered trabeated (post and beam) facades articulating repetitive rows of rectangular windows and developed with added layers to structural bays and corners. He favoured corner piers capped with inverted console brackets. Further decorative overlays included overlaid pedimented entrance porches, archways and decorative panels to produce dramatic effects. A literal interpretation of the Classical orders was avoided and generally pilasters and the like only appear on entrance porticoes. Important surviving examples include the Meat Market building (1884) at the Queen Victoria Market in Elizabeth Street and the former Ball & Welch warehouse (1883) in Faraday Street, Carlton. (Trethowan 2012:613)

SITE DESCRIPTION

25 Elizabeth Street forms one of a group of three commercial buildings of four to six storeys in the block between Flinders and Collins Streets. Nos 17, 21 (HO105) and 25 are part of the retail core of the central city. They form a distinctive grouping defined by their narrow site footprints and heights. 25 Elizabeth Street is a five-storey (with basement) Victorian rendered brick building. It has a strong vertical character derived from its height in relation to its footprint.

A parapet is intact across the top of the building and conceals a hipped roof form. It is comprised of a central panel adorned with three rectangular floral motifs and flanked with pilasters topped with triangular pediments at each end. Below the parapet, a full entablature is complete with deep moulded cornice, a dentil band and decorative scroll brackets – a pair at each end of the building and two additional brackets across the face.

Each of the four floor levels has groups of three identical windows openings, arched on the upper floor and rectangular on levels two and three. On the first floor enlarged openings have highlight windows and full width windows. First floor windows are early, if not original.

Each level has decorated pilasters on the building edges. Decoration varies between the levels. All other face details have been removed, resulting in a flat rendered face between the pilasters. The remaining stucco decorative elements indicate that 25 Elizabeth Street once formed a highly elaborate Victorian commercial building, matching its neighbour at 21-23 Elizabeth Street.

INTEGRITY

The building retains its early form and presentation as a building designed in the Victorian boom style. Much of the decoration across the face of the building has been removed, but the decoration at the upper and outer edges is intact. The ground floor shop front has been heavily altered.

While some of the detailing has been removed from the second to the fourth floor, it still reads as a mid-rise commercial building from the Victorian era.

COMPARATIVE ANALYSIS

Late Victorian buildings constructed during the 1880s contributed to shaping Melbourne into a commercial city. Often with multiple storeys, the use of these buildings varied, from housing walled office spaces to offering large workshop floors. Being influenced by the 1880s property boom, these commercial buildings were popularly treated with Renaissance and Italianate styles, which are closely associated with Melbourne's Boom Style.

The subject building compares well with the following examples from the 1880s, being of a similar use, scale, location and creation date. The images are from c2000 or later, provided by CoM Maps unless stated otherwise.

Elizabeth Chambers, 21-23 Elizabeth Street (HO1015)

This five-storey commercial building with basement is adjacent to the subject site. It is one of three buildings in a row designed by architect William Salway. The rendered brick building features a façade designed in the Classical Revival style.



Figure 8. 21-23 Elizabeth Street constructed 1890.

Former Gordon Buildings, 384-386 Flinders Lane, 1885, 1888 (Interim HO1271 – recommended as significant in the Hoddle Grid Heritage Review)

Built as office accommodation by biscuit manufacturer, Swallow & Ariell, the distinctive four-storey (plus basement) office building was originally built as two storeys (plus basement) in 1885, with an additional two storeys built several years later in 1888. Architect Frederick Williams designed the original building and the extension. The cohesive arrangement of elements such as arched windows openings, moulded cornices and parapet detailing results in an integrated 'Italianate' façade.



Figure 9. 384-386 Flinders Lane constructed 1885 and 1888. (Source: Context 2018)

Schuhkraft & Co Warehouse, 130-132 Flinders Street, 1885 (HO1036)

A five-storey cement rendered brick commercial building, designed by William Henry Ellerker in the Italian High Renaissance Revival style and built by Charles Butler in 1885 for the printers and stationers Schuhkraft & Co.



Figure 10. 130-132 Flinders Street constructed 1885.

The subject building compares with the examples above as a late Victorian commercial building, constructed in a classical style. While it does not retain the same level of architectural detail as the example buildings, it is a representative example of this building type that flourished in the boom years of the 1880s and contributed to the shaping of Melbourne as a commercial city.

ASSESSMENT AGAINST CRITERIA

✓	<p>CRITERION A Importance to the course or pattern of our cultural or natural history (historical significance).</p>
	<p>CRITERION B Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).</p>
	<p>CRITERION C Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).</p>
✓	<p>CRITERION D Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).</p>
✓	<p>CRITERION E Importance of exhibiting particular aesthetic characteristics (aesthetic significance).</p>
	<p>CRITERION F Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)</p>
	<p>CRITERION G Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).</p>
	<p>CRITERION H Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).</p>

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

REFERENCES

Age, as cited.

Argus, as cited.

Australasian Builder and Contractor's News, as cited.

Australian Architectural Index (AAI), as cited. Copyright Miles Lewis.

Context Pty Ltd 2012, *Thematic History: A History of the City of Melbourne's Urban Environment*, prepared for the City of Melbourne.

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Unknown photographer 1946-1953, 'Views along Elizabeth Street, Melbourne, State Library of Victoria (SLV), Collection unknown, accessed online 13 February 2018.

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PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985** D

**Central City Heritage
Study 1993** C

**Review of Heritage
overlay listings in the
CBD 2002** B

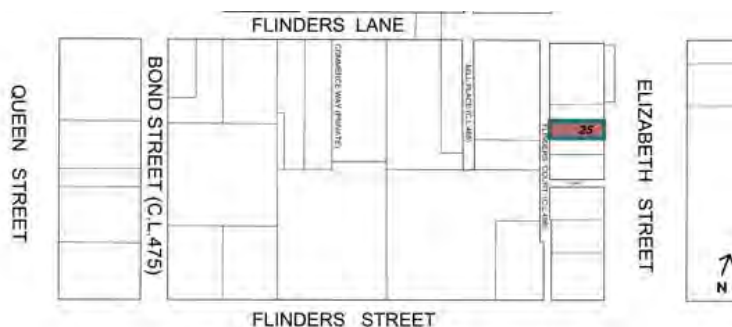
**Central City Heritage
Review 2011** Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Former Universal House



PS ref no: Interim HO1247



What is significant?

25 Elizabeth Street, a five-storey commercial building designed by architect William Salway and built in 1889.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original form, materials and detailing;
- Detailing of the upper façade, particularly the remaining stucco decoration at the upper and outer edges which includes the parapet, a full entablature with deep moulded cornice, a dentil band and decorative scroll brackets, pilasters;
- Pattern and size of original fenestration; and
- Early window joinery at the first floor.

Later alterations, including those to the ground level shop front, are not significant.

How it is significant?

25 Elizabeth Street is of local historic, representative and aesthetic significance to the City of Melbourne.

Why it is significant?

25 Elizabeth Street is of historical significance for its association with Melbourne's retail development during the boom years of the 1880s. Built in 1889 for Celia Hordern, the wife of merchant William Hordern, 25 Elizabeth Street was one of three adjacent buildings designed by architect William Salway:

the subject building (built 1889); 21-23 Elizabeth Street (built 1890); and 17-19 Elizabeth Street (built 1885). 25 Elizabeth Street is significant for its association with the Hordern Australian retailing dynasty, who operated stores and other ventures in Australia from 1844 until 1970. The building continued to be owned by members of the Hordern family for over 80 years until its sale in 1956. (Criterion A)

25 Elizabeth Street demonstrates its Victorian origins despite its altered form and somewhat stripped back façade, The scale, height and form continue to demonstrate a typical commercial building from the late nineteenth century. (Criterion D)

25 Elizabeth Street is aesthetically significant for its remaining 1880s decorative stucco detail and the pattern of upper floor windows, including the joinery of the first-floor windows. Aesthetic significance is also attributed to no.25 as part of the group of three adjacent buildings by William Salway. (Criterion E)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Former Cassells Tailors Pty Ltd
STREET ADDRESS	341-345 Elizabeth Street Melbourne
PROPERTY ID	103212



SURVEY DATE: October 2018

SURVEY BY: Context

HERITAGE INVENTORY	H7822-1032	EXISTING HERITAGE OVERLAY	HO1204 Elizabeth Street West Precinct
PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
		FORMER GRADE	C
DESIGNER / ARCHITECT / ARTIST:	Not known	BUILDER:	Not known
DEVELOPMENT PERIOD:	Interwar Period (c.1919-c.1940) / Interwar Period (c1919-c1940)	DATE OF CREATION / MAJOR CONSTRUCTION:	1923

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a Commercial City	5.5 Building a manufacturing capacity
POSTWAR THEMES	DOMINANT SUB-THEMES
2 Constructing the economy of Melbourne city centre	2.1 Business, finance and speculation

LAND USE

HISTORIC LAND USE	
Archaeological block no: 4	Inventory no: 32
Character of Occupation: Commercial	
Land sale details not provided	
1866 Cox	Buildings along Elizabeth Street frontage
1880 Panorama	As above
1905/6 Mahlstedt	Two & one-storey buildings, S F Sharp, Clothing Factory.
THEMATIC MAPPING AND LAND USE	
1890s	Warehouse and factories
1920s	Warehouse and factories
1960s	Bank, Library

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place within the Elizabeth Street West Precinct (HO1204). Currently 341-345 Elizabeth Street, Melbourne, is graded contributory within HO1204.

Extent of overlay: Refer to map

SUMMARY

Former Cassells Tailors Pty Ltd at 341-345 Elizabeth Street Melbourne is a three-storey interwar reinforced concrete warehouse built in 1923 for Cassells Tailors Pty Ltd, a company registered in 1922 by Thomas Patrick Mangan and James Searson. It is a highly intact, early example of a commercial/manufacturing building constructed in the interwar Chicagoesque style.

HISTORICAL CONTEXT

Building a commercial city

Building a manufacturing capacity

From the 1850s, the Yarra River and the docks west of Swanston Street were in essence the 'lifeline' of the city. Port facilities and large warehouses were built in this area to serve shipping interests (Context 2012:39-40).

By the 1880s, the areas of Flinders Street, King Street, Little Bourke Street and Spencer Street comprised multiple mercantile offices, produce stores and large-scale bonded stores, including Zander's Bonded Stores and Coles Bonded Stores. As Melbourne developed through the nineteenth century and early twentieth century, so did her manufacturing industry, much of which was established in close proximity to existing warehouses and stores.

Although affected by World War One in the period 1914-1918, by 1921, 38 per cent of Melbourne's workers were employed in industry with almost all new factory jobs in Australia between 1921 and 1947 created in Sydney and Melbourne. The growth of manufacturing, assisted by a new federal tariff in 1921, stimulated urban growth and by the end of the 1920s, Melbourne's population had reached one million people. The expansion of new sectors in the manufacturing industry was maintained by buoyant levels of domestic demand (Marsden 2000:29; Dingle 2008).

In the first decades of the twentieth century, the demand for residential development declined in central Melbourne as many residents moved out of the city to the suburbs, and the booming retail and manufacturing sectors rapidly took up available city properties (Marsden 2000:29-30). Multi-storey factory, workshop and warehouse buildings, some designed by architects, increasingly took over the city.

Development in the city slowed with the Great Depression that commenced in October 1929 and continued through the early 1930s. Because of a lack of finance over this period, instead of new construction, some city buildings were substantially re-modelled to create new office, commercial and industrial spaces, and also for use by government.

From the 1930s, like the rest of Australia, an increasing proportion of the city's workforce took up jobs in manufacturing, an industry that led Australia's recovery from the economic depression and a time when, the *Encyclopedia of Melbourne* notes, a

steep rise in tariffs, devaluation of the Australian pound, falling wages and electricity costs all made local producers far more competitive internationally. Textiles benefited first, then the metals industries and engineering took over as pacemakers (Dingle 2008).

After being the centre of manufacturing in Australia in the 1920s, Melbourne's importance in this regard began to decline. During the 1940s some city factories and warehouses were left empty or converted for other uses (Context 2012:35).

From the end of World War Two to the beginning of the 1970s, Melbourne underwent the most sustained growth in its history, mostly based on the manufacturing industry. At the peak of industrialisation in 1966, 37 per cent of total employment in Melbourne was dedicated to manufacturing, compared to the national average of 27 per cent (Maher cited in Tsutsumi and O'Connor 2006:8.3). Australia's manufacturing output increased 6 per cent per year between 1949

and 1967, and between 1947 and 1966, 155,221 new manufacturing jobs were created in Melbourne alone, roughly one-third of which went to women (Dingle 2008).

Constructing the economy of Melbourne city centre

Business, finance and speculation

The majority of new buildings constructed in Melbourne in the postwar years were built by and for large financial and commercial interests. Speculative investment increased after the Commonwealth government lifted restrictions on share dealings in 1947, resulting in a dramatic increase in new company registration (Marsden 2000:44-45), which was accompanied by the establishment of new bank headquarters.

In the 1950s most capital entered Australia via government channels and through foreign companies establishing subsidiaries. By the 1970s approximately 25 per cent of the central business districts in Sydney and Melbourne were said to be owned by foreign (mainly British) capital (David and Wheelwright, cited in Marsden 2000:35). Accompanied by the construction of new banks, national companies and corporations, and the partners or subsidiaries of overseas companies, built new headquarters in Sydney and Melbourne (Marsden 2000:35).

SITE HISTORY

The subject land is part of Crown Allotment 11, Block 29, first purchased by Henry W Mason. The earliest recorded building occupation of the site is in 1866. By 1905-06, the site was occupied by one and two-storey factory buildings operated by S F Sharp, clothing manufacturer (Fels, Lavelle & Mider 1993, Inventory no 32).

Lovell Chen in their 2017 study of Guildford and Hardware lanes write that

By 1922, the row of shops from no 341 to 357 [Elizabeth Street], at the corner of La Trobe Street, was owned by warehousing firm Connibere Brothers (RB 1890). The following year, these properties had been sold to a number of different owners, with nos 341-345 acquired by Cassells Tailors. The latter appear to have been established in c1907, with a shop in the Eastern Arcade in Bourke Street; and by 1913, Cassells and Co had relocated to 271 Swanston Street (Age 23 September 1907:1) (Lovell Chen 2017:21).

The subject building at 341-345 Elizabeth Street, Melbourne was constructed in 1923 for Cassells Tailors Pty Ltd, a company registered in 1922 by Thomas Patrick Mangan and James Searson (see Figure 1) (*Herald* 18 January 1922:11).



Figure 1. An advertisement in October 1923 inviting the public to visit Cassells' new premises at 341-343 Elizabeth Street. (Source: Age 8 October 1923:14)

Lovell Chen continues:

In March 1923, a permit application was made to the City of Melbourne for the construction of a reinforced concrete warehouse to a value of £8000 (MBAI 4750). The new building was completed... [by October 1923], and was described in the rate books of 1925 as a concrete warehouse (RB 1925).

The whole of the new building was owned by Cassells, but had two street addresses... nos 341-343, known variously as no 341 or no 343, and the other at no 345 Elizabeth Street. These two addresses can be discerned in the building façade today. The building also had rear access from an unnamed right-of-way [later known as St Bishoy Lane], accessed in turn from Sutherland Street. In 1934, Cassells advertised [for] lease a factory with workroom, 'excellent light [and] central position' (Age 21 May 1924:7) (Lovell Chen 2017:21).

In 1925... [Cassells] tailors occupied no 343 and Eustace Raftopoulos operated the Excel Café from no 345 (RB 1925). It is possible that Eustace Raftopoulos was related to Arthur and Conis Raftopoulos, who operated the oyster saloon at 195 Elizabeth Street in the early twentieth century, a club in Lonsdale Street and a café in Russell Street in the 1920s (S&Mc 1901; Age 19 February 1907:4; Argus 30 April 1926:8). In 1950, the subject building was sold to the National Bank of Australasia for £46,000 (Age 28 April 1951:6) (Lovell Chen 2017:21).

In 1925 [Cassells tailors occupied number 343 and Eustace Raftopoulos operated the Excel Café from number 345 (RB 1925). The National Bank of Australasia purchased the building in 1950, and remained at 341-345 Elizabeth Street from 1950 until the early 1960s. By 1965, the building was occupied by the Central Catholic Library, Catholic Church Supplies and O Nechwatal, importer; by 1970, the Central Catholic Library occupied the whole building (S&Mc 1965, 1970). It appears that the Catholic Library, or Catholic bookshop, was trading at the premises up until the early 1990s (Age 12 December 1992:26).

The Mahlstedt Fire Survey Plans published in 1923 and 1962 respectively show the three-storey reinforced concrete building with a flat roof at 341-345 Elizabeth Street (Figure 2 and Figure 3). In 1962, a small section of the party wall between 341-343 and 345 Elizabeth Street was removed, possibly to better accommodate the Catholic Central Library, which used all floor levels (Mahlstedt Map section 2 no 4a, 1923, 1962; MBAI 35430). Other notable building works recorded in the Melbourne Building Application Index that may have affected the built fabric include an alteration to the shopfront (1971) and the addition of a slab roof over the existing roof (1972) (MBAI 42411, 43083).

More recently, during the 2000s, an extensive alteration was carried out, which resulted in the internal linking of the buildings at 337-339, 341-345 and 347 Elizabeth Street for use as a single business (CoMMaps).

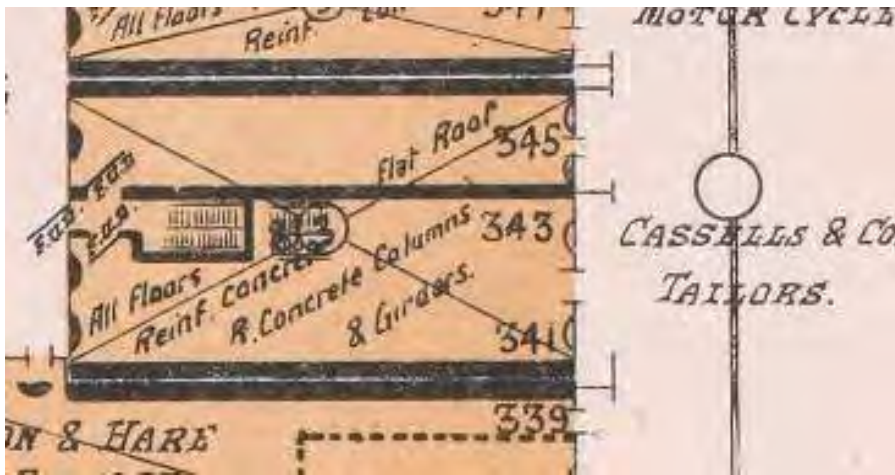


Figure 2. Extract of a 1923 Mahlstedt plan, showing the subject site immediately after its construction. (Source: Mahlstedt Map section 2, no 4a, 1923)

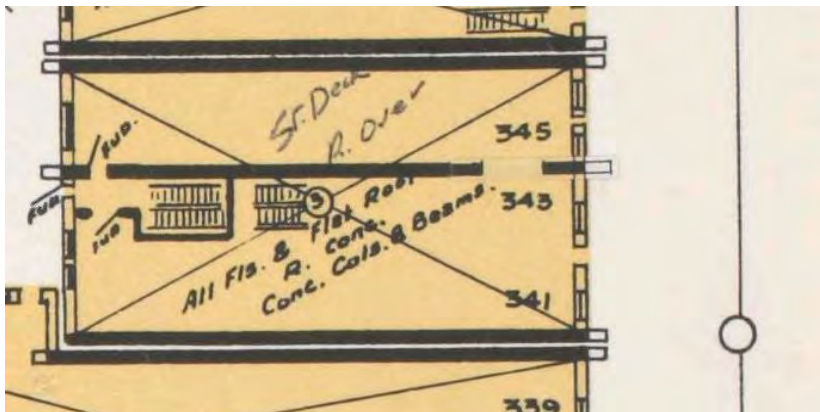


Figure 3. Extract of a 1962 Mahlstedt plan (amended after the 1962). Note the partial removal of the partition. (Source: Mahlstedt Map section 2, no 4a, 1962)

SITE DESCRIPTION

341-345 Elizabeth Street, Melbourne (comprising nos 341-343 and 345) is a three-storey interwar warehouse building, designed as a single building in the Chicagoesque style. 341-345 exhibits fine detailing that is typical of the style, such as a strong vertical emphasis resulting from projecting

pilasters and mullions and with large multi-pane windows separated by recessed articulated spandrels at each floor. It is constructed using a reinforced concrete frame, and the façade to Elizabeth Street is of painted render, probably over non-loadbearing brickwork. It has a low pitch gabled roof of corrugated iron concealed behind a pedimented parapet. It sits on the west side of Elizabeth Street, with rear access provided via St Bishoy Lane, accessed in turn from Sutherland Street.

The ground floor is separated from the upper levels by a deep spandrel. Above the spandrel the façade to 341-345 is divided into three equal width vertical panels separated by pilasters topped with simple capitals and stylised garland detailing to provide the vertical emphasis characteristic of the style. There is a single large window opening per module at each floor level, with each level separated by a recessed spandrel with decorative panels and faux Juliet balcony. The pilasters terminate in a parapet and substantial dentilled cornice with expressed roundels across the entablature. Adjoined to the subject building, 347 is a narrower module, and lacks the substantial pilasters of 341-345. The façade is also of three equal width vertical panels, but separated by narrow masonry mullions.

The original multi-pane steel framed windows appear to survive at the upper levels. The ground floor has been altered with contemporary shopfronts and a suspended awning.

The subject building is currently linked with two shops on either side (see Figure 4): 337-339 Elizabeth Street (a two-storey altered interwar building, non-contributory in HO1204) and 347 Elizabeth Street (a three-storey interwar shop, contributory in HO1204).



Figure 4. From left, 337-339 (two-storey), 341-345 (middle building with three wider modules) and 347 (of a narrower module) Elizabeth Street. (Source: Context 2018)

INTEGRITY

The building at 341-345 Elizabeth Street, Melbourne is largely intact above ground level. The original scale and form of the building has been retained, with no upper floor additions, and the original

pattern of fenestration retained at the upper levels, with original large multi-pane steel frame windows. The external wall surfaces of the traditional materials are also intact, as are the decorative pilaster capitals, spandrel decorative panels, entablature and parapet. The shopfronts have been replaced at ground level. Overall the building is of high integrity.

COMPARATIVE ANALYSIS

Structural steel and reinforced concrete framing became popular building materials in interwar Melbourne, inspired by Chicagoan architecture in the late nineteenth and early twentieth centuries. Departing from load-bearing brick walls, many 1920s examples employed these new building methods that allowed windows to become larger and more prominent on facades, while also allowing for increased building heights. Most of the buildings during the early interwar period were designed in the interwar Commercial Palazzo or Chicagoesque styles, both of which derived from the rebuilding of the core area of Chicago after the 1871 fire.

Although they were characterised by an expressed structural system of concrete columns and floor plates, buildings in this style typically retained elements of classical detailing (albeit restrained) in the form of a solid horizontal base, expressed rusticated pilasters, projecting cornices and decorative mouldings.

The following examples are comparable with 341-345 Elizabeth Street, Melbourne, being of a similar use, scale, location and/or creation date. The images and descriptions are provided by CoM Maps unless stated otherwise, with images dating from c2000 or later.

Former Union Bank, 351-357 Elizabeth Street, 1926-1927 (HO1019)

A five-storey rendered brick bank building. Designed by Butler & Martin in the Commercial Palazzo style and built for the Union Bank by Thompson & Chalmers in 1928.



Figure 5. 351-357 Elizabeth Street, built in 1926-27.

Benjamin House, 358-360 Little Collins Street, 1929 (HO1210)

The commercial building (former warehouse) at 358-360 Little Collins Street, incorporates building components from pre-1869, 1871 and 1929. The latter works are most evident in the current building form and expression, including the five-storey height, Chicagoesque-style façade, and large windows to the east elevation above ground floor level.



Figure 6. 358-360 Little Collins Street, built in 1929.

482-484 Bourke Street, 1926 (Interim HO1241 – Recommended as significant in the Hoddle Grid Heritage Review)

482-484 Bourke Street is a four-storey commercial building originally built for Victorian Amateur Turf Club (later known as the Melbourne Racing Club) in 1926. The building façade features classical styling associated with the classical revival styles of the interwar period.



Figure 7. 482-484 Bourke Street, built in 1926. (Source: iHeritage)

Farrant's Building, 387 Little Bourke Street, 1926 (HO1205)

The three-storey retail and manufacturing building was constructed in 1926 for saddle manufacturer Farrant's, a firm which had been in operation since the late 1880s. It is possibly of brick construction, with a rendered finish.



Figure 8. 386-392 Little Bourke Street, built in 1926.

PRD House, 410-412 Lonsdale Street, 1922 (Recommended as significant in the Hoddle Grid Heritage Review)

A 1922 Commercial Palazzo/Chicagoesque style office block designed by H W & F B Tompkins.



Figure 9. 410-412 Lonsdale Street, built in 1922. (Source: Context 2018)

Collins Gate, 377-379 Little Collins Street, 1925 (Recommended as significant in the Hoddle Grid Heritage Review)

377-379 Little Collins Street was originally a four-storey interwar commercial corner building that demonstrates aspects of the interwar Chicagoesque style.



Figure 10. 377-379 Little Collins Street, built in 1925. (Source: Context 2018)

The 1920s interwar Chicagoesque office and manufacturing buildings in central Melbourne listed above compare well with the subject building at 341-345 Elizabeth Street.

The building is comparable to the nearby HO listed Former Union Bank, at 351-357 Elizabeth Street, although the latter building is of a larger scale and lacks the fine detail of 341-345 Elizabeth Street, which is derived from classical motifs and somewhat anachronistic for a 1920s building. The HO listed building at 482-484 Bourke Street is also comparable to 341-345 Elizabeth Street being of a similar scale and also featuring classical elements in decorative cornice and parapet that refer back to earlier architectural styles.

The building is a low scale but a largely intact and finely detailed example of a Chicagoesque style commercial building. While similar to many other examples in central Melbourne, it does demonstrate a greater degree of decoration and detailing than is usual for the style.

ASSESSMENT AGAINST CRITERIA

✓	<p>CRITERION A Importance to the course or pattern of our cultural or natural history (historical significance).</p>
	<p>CRITERION B Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).</p>
	<p>CRITERION C Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).</p>
✓	<p>CRITERION D Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).</p>
	<p>CRITERION E Importance of exhibiting particular aesthetic characteristics (aesthetic significance).</p>
	<p>CRITERION F Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)</p>
	<p>CRITERION G Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).</p>
	<p>CRITERION H Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).</p>

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place within HO1204 Elizabeth Street West Precinct. Currently 341-345 Elizabeth Street, Melbourne, is contributory in HO1204 Elizabeth Street West Precinct (per Melbourne Amendment C271).

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

341-345 Elizabeth Street, Melbourne is also contributory to the Elizabeth Street West Precinct.

REFERENCES

Age, as cited.

Argus, as cited.

City of Melbourne iHeritage Database (CoMMaps) n.d., <http://maps.melbourne.vic.gov.au/>, accessed March 2018.

City of Melbourne Interactive Maps (CoMMaps) 2017, <http://maps.melbourne.vic.gov.au/>, accessed March 2018.

City of Melbourne Municipal Rate Books (RB), as cited.

Lovell Chen 2017, 'Melbourne Planning Scheme Amendments C271 and C301 – Guildford and Hardware Laneways Heritage', prepared for the City of Melbourne.

Mahlstedt's Pty Ltd 1923, *City of Melbourne detail fire survey. Section 2*, Mahlstedt Pty Ltd, Melbourne.

Mahlstedt's Pty Ltd 1962, *City of Melbourne detail fire survey. Section 2*, Mahlstedt Pty Ltd, Melbourne.

Melbourne Building Application Index (MBAI), retrieved from Ancestry.com 2015, *Victoria, Australia, Selected Trial Brief and Correspondence Registers and Other Images, 1837-1993* [database on-line], <http://ancestry.com.au>, accessed online March-April 2018.

Sands & McDougall, *Melbourne and Suburban Directories* (S&Mc), as cited.

PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985** D

**Central City Heritage
Study 1993** C

**Review of Heritage
overlay listings in the
CBD 2002** Ungraded

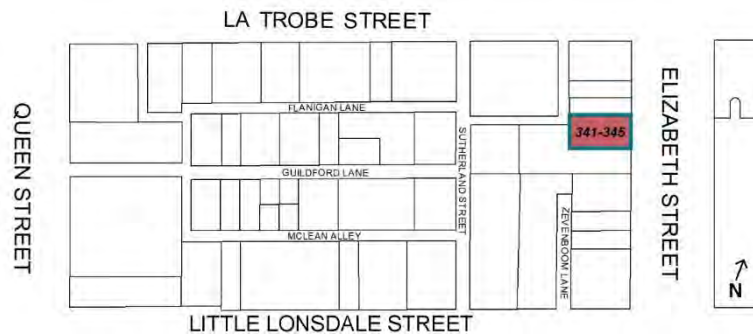
**Central City Heritage
Review 2011** Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Former Cassells Tailors Pty Ltd



PS ref no: HOXXXX



What is significant?

341-345 Elizabeth Street, Melbourne, a three-storey warehouse built in 1923.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original building form and scale;
- The original pattern of fenestration and decorative elements including decorative pilaster capitals;
- The external wall surfaces of painted cement render; and
- The original multi-pane steel framed windows to the upper floors.

Later alterations made to the street level facade, including the shop fronts and awning, are not significant.

How it is significant?

341-345 Elizabeth Street, Melbourne, is of local historical and representative significance to the City of Melbourne.

Why it is significant?

The building at 341-345 Elizabeth Street, Melbourne, constructed in 1923 for Cassells Tailors Pty Ltd, is historically significant for the evidence it provides of the 1920s boom period in manufacturing. At this time, industrial workshops and small factories increasingly took over the northwest area of the city as manufacturing led Melbourne's recovery from the economic depression of the late 1920s-early 1930s.

(Criterion A)

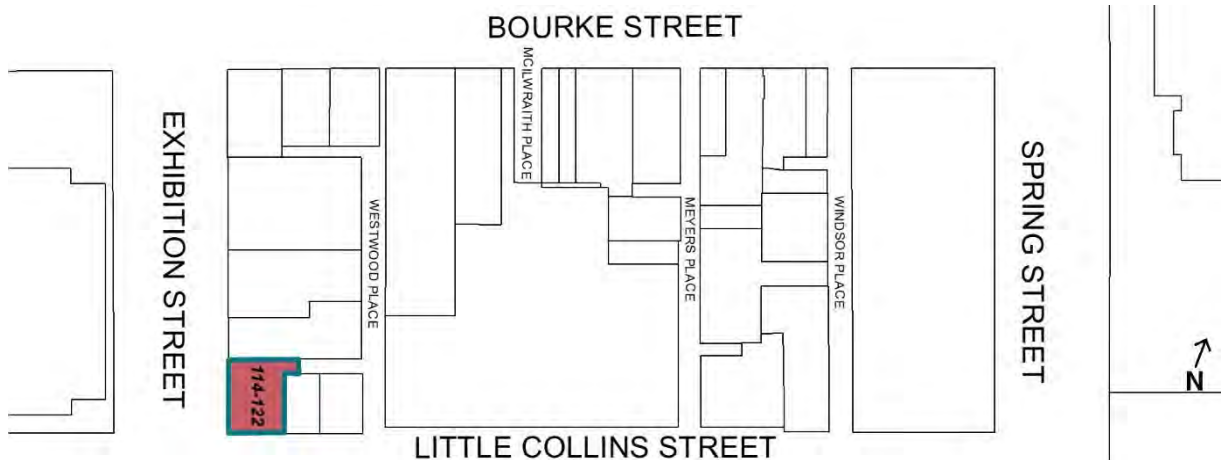
341-345 Elizabeth Street is architecturally significant as a modestly scaled, but highly intact early example of the interwar Chicagoesque style that characterised the early phase of this new wave of

development. The use of reinforced concrete structural frames allowed these buildings to be constructed with larger windows and more open floor areas, than earlier load bearing building systems, and provided flexibility for external articulation and decoration. The building exhibits many of the main characteristics of the style, such as a strong vertical emphasis resulting from projecting pilasters, topped with simple capitals and stylised garland detailing, terminating in a parapet and substantial dentilled cornice. As an early, finely detailed example of the Chicagoesque style, the building demonstrates some detailing derived from classical motifs. (Criterion D)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Former Morris House
STREET ADDRESS	114-122 Exhibition Street Melbourne
PROPERTY ID	103626



SURVEY DATE: January 2018

SURVEY BY: Context

HERITAGE INVENTORY	H7822-1681	EXISTING HERITAGE OVERLAY	Yes – interim HO1287 (Little Collins Street Precinct)
PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
DESIGNER / ARCHITECT / ARTIST:	Not known	FORMER GRADE	D
		BUILDER:	Not known
DEVELOPMENT PERIOD:	Interwar Period (c1919-c1940)	DATE OF CREATION / MAJOR CONSTRUCTION:	1924

THEMES

ABORIGINAL THEMES	SUB-THEMES
8 Taking political action and overcoming disadvantage	8.5 Establishing health and welfare organisations, and legal services
HISTORIC THEMES	DOMINANT SUB-THEMES
11 Caring for the sick and destitute	11.2 Providing Welfare Services
POSTWAR THEMES	DOMINANT SUB-THEMES
2 Constructing the economy of Melbourne's city centre	2.2 Recreation, entertainment and tourism

LAND USE

HISTORIC LANDUSE	
Archaeological block no: 40	Inventory no: 681
Character of Occupation: Commercial	
The inventory is primarily about the Little Collins Street frontage (74 Little Collins Street). Fifth land sale 1839, Block 9 Allotment 19 purchased by P Campbell.	
1839 Williamson	
1840 Hoddle	
1866 Cox	Building on site.
1880 Panorama	
1888 Mahlstedt	Single-storey building, R Cummins, produce merchant.
1905/6 Mahlstedt	Single-storey building, four shops.
THEMATIC MAPPING AND LAND USE	
1890s	Retail
1920s	Office
1960s	Office

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommended for referral to Aboriginal Victoria for the Victorian Aboriginal Heritage Register.

Extent of overlay: Refer to map

SUMMARY

The former Morris House at 114-122 Exhibition Street was built as offices for the Charity Organisation Society in 1924. One of the long-term occupants of the building was the Victorian Society for the Prevention of Cruelty. Until c1957 the building provided accommodation for a number of charitable, welfare and benevolent organisations. Morris House was later purchased and occupied by Australian-American Association between 1957 and 1973. The building is a representative example of interwar classicism, addressing the corner of Exhibition and Little Collins Streets.

HISTORICAL CONTEXT

Caring for the sick and destitute

Providing Welfare Services

The demands of a large centre of population included provisions for social welfare. Initially these services were offered by private or church-run charities. Babies' homes, orphanages and women's refuges were also established in the inner city where people's means of livelihood (especially for single women) were limited.

The hardships of the 1890s depression highlighted the need for improved welfare provisions. There was soon a high rate of unemployment in Melbourne and as a result, families suffered. Working men were often forced to queue for work on government projects.

One group concerned with Melbourne's welfare, the Charity Organisation Society (COS), was founded in 1887:

...borrowed from its British parent both a name and founding beliefs: that poverty could be solved by reforming poor people, and that the efforts of charitable bodies lacked effective co-ordination. In order to overcome what it saw as 'indiscriminate giving', the COS offered detailed investigations of each case and a centralised record system to ensure that only 'deserving types' received aid...

The society enjoyed a revival in the 1920s, under new secretary S. Greig Smith, who co-ordinated regular case conferences at the new Exhibition Street headquarters, helping to pioneer 'case-work' and lay the foundations for the profession of social work. Its major function, however, was still assessing whether people who approached Melbourne's charities were 'truly' deserving. (UoM 2019)

Constructing the economy of Melbourne's city centre

Recreation, entertainment and tourism

Clubs have historically been part of city life. The postwar period saw social and cultural groups find opportunities to develop in the central city. While private men's clubs were generally well established in the nineteenth-century, the postwar period saw an increase in the membership of women's clubs. The Lyceum Club, established in 1912 for women graduates and other women who had distinguished themselves in art, music, literature, philanthropy or public service, built new premises at 2-18 Ridgway Place in 1959 (Context 2012:58; Context 2018; 23-24; Swain 2008).

The Australian-American relationship has been the central issue in Australian foreign policy. Historian Kate Darian-Smith discussed Americans' presence in twentieth-century Melbourne as follows:

Defence has been central to the Australian-American relationship. When the Great White Fleet arrived at St Kilda Pier in August 1908, the response was enthusiastic. Thousands welcomed US General Douglas MacArthur, who arrived in Melbourne on 21 March 1942, followed by 30 000 troops, garrisoned in requisitioned buildings and parks, including Camp Pell in Royal Park and Camp Murphy at the Melbourne Cricket Ground. Although US military headquarters moved north in August 1942, service personnel remained in Melbourne until 1945, stimulating the economy but straining entertainment facilities. GIs described Melbourne as 'half as big as New York cemetery and twice as dead'. Relations

were generally harmonious, with the Brownout murders a notorious but isolated exception. The first meeting of a Friendship Club in 1943 attracted 300 wives or fiancées of US servicemen, most of whom emigrated to the US after the war (Darian-Smith 2008).

The Australian American Association, which began as the Australian American Co-operative Movement in 1943, continues to promote political, business and cultural ties from its South Melbourne headquarters. An American consulate has operated since the 1930s from different locations on St Kilda Road, and has been a focus of anti-war demonstrations. While the immigrant American community has remained relatively small in Melbourne, from the early 1990s growth in recreational and educational tourism has increased the presence of Americans in the city (Darian-Smith 2008).

SITE HISTORY

The subject site is located on Crown Allotments 19, Block 9, City of Melbourne (Fels, Lavelle and Mider 1993). Figure 1 shows the subject site in 1895, developed with a single-storey building on the corner of Exhibition and Little Collins streets, and a three-storey building at 122 Exhibition Street (Mahlstedt Map section 1, no 9, 1888; MMBW Detail Plan no 1013, 1895). Former buildings, known separately as 118, 120 and 122 Exhibition Street, continued to exist on the subject site into the 1920s. An application was made for the erection of a film store at 114-122 Exhibition Street in May 1921. The Sydney-based Exhibitors Alliance Films Limited had occupied a branch office at 122 Exhibition Street by 1922 until 1924, when the company liquidated (MBAI 3323; *Sunday Times* 3 September 1922:9; *Daily Telegraph* 16 May 1924:1).

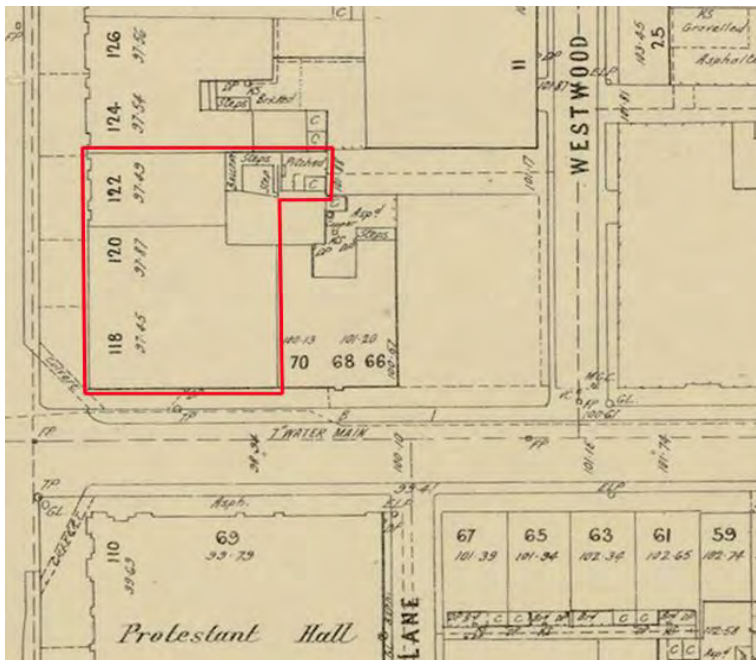


Figure 1. The subject land in 1895, outlined in red. (Source: MMBW Detail Plan no 1013, 1895)

The current building at 114-122 Exhibition Street was constructed in 1924 at a cost of £9200 (MBAI 6045). Built for the Charity Organisation Society, the foundation stone was laid by the Lord Mayor of Melbourne on 16 July 1924 (*Argus* 17 July 1924: 7). Construction was noted as to be nearing

completion 'at the end of the year' in 1924 (Age 28 August 1924: 10). The building was named Morris House (Figure 2) after Edward E Morris, professor of modern languages and literature at the University of Melbourne, and founder of the Victorian Charity Organisation Society (*Argus* 12 December 1924:12; S&Mc 1925; Mahlsted Map Section 1, no 2, 1925).

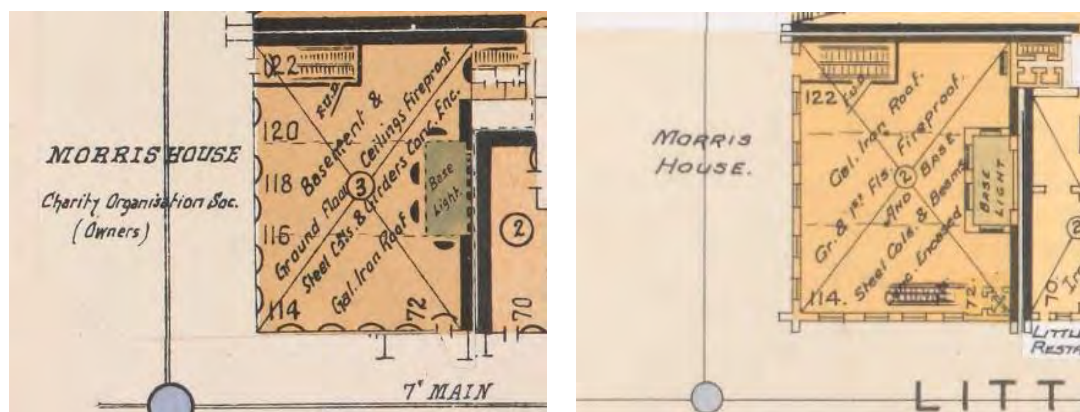


Figure 2. Mahlsted plans of the site in 1925 (left) and 1948 (right) showing the site labelled as 'Morris House'. The building appears to have had few changes in the period between. (Source: Mahlsted Map Section 1, no 2, 1925; Mahlsted Map Section 1, no 2, 1945).

In December 1924, the Charity Organisation Society (Victoria) moved into the three-storey brick building at 114-122 Exhibition Street (Figure 3, Figure 4). The Governor of Victoria, the Earl of Stradbroke, formally opened the Charity Organisation Society's rooms in December 1924 (*Herald* 10 December 1924: 7).

The Charity Organisation Society (COS) of Melbourne was established in 1887 to help co-ordinate Melbourne's charitable organisations and to foster amongst the poor the ideal of 'self-help'. The COS played a key role in the development of the social work profession in Victoria and increasingly became involved in child welfare issues. In the years following the 1890s economic depression, it expanded its casework and social work services to foster care placements of children (Commonwealth of Australia 2017). One of the founding members of the COS was Ann Fraser Bon, a leading advocate for the welfare of Aboriginal people in Victoria (Gillison 1979).

The COS revived in the 1920s, helping to pioneer 'case-work' and lay the foundations for the profession of social work. Its major function, however, was still assessing whether people who approached Melbourne's charities were 'truly' deserving (Peel 2008). In order to overcome what it saw as 'indiscriminate giving', the COS offered detailed investigations of each case and a centralised record system to ensure that only 'deserving types' received aid (Peel 2008).

In calling for subscribers in 1927, COS office holders wrote that

During the society's last financial year nearly 4,000 cases of need in the metropolitan area were handled by a trained and sympathetic staff. During the same period the society, through its trust and relief funds, expended more than £3,200 in direct relief, and a further sum of £2,500 in various forms of service to the poor and to the community. The work of many other charitable institutions is strengthened by the co-operation of the Charity Organisation Society, and there is a definite prospect of a further increase in this cooperative activity (Argus 3 November 1927:14).

During the 1930s depression, the COS took a leading role in the distribution of unemployment relief.

Moving into Morris House in 1924, the Victorian Society for the Prevention of Cruelty to Children (VSPCC) was one of the long-term tenants in Morris House, where it was able to access the Central Register maintained by the COS (Scott and Swain 2002:61). The institutionalisation of neglected children, known as 'child rescue' procedures, had been voluntarily set up by charitable missions and also by the colonial/state governments of Australia throughout the nineteenth century, during which time the concept of foster care was developed as the dominant form of alternative care. By the late 1890s, most states had enacted legislation to protect children. The work of 'child rescue' continued into the twentieth century and led to the nationwide 'child rescue movement', which resulted in the removal of thousands of Aboriginal children from their parents to be raised in foster families or institutions from 1920 to 1970 (Haring, Sorin and Caltabiano 2019). As a local branch of an international non-denominational organisation, VSPCC was established in 1894 to investigate and report child abuse and neglect in Victoria. VSPCC operated from Morris House into the mid-1950s, employing paid officers to perform its investigatory and prosecution work (*Weekly Times* 7 November 1951:40; Commonwealth of Australia 2017). The organisation today operates as the Children's Protection Society (Commonwealth of Australia 2017).

From the 1920s, the building also provided accommodation for a number of other organisations, including the Victorian Provident Society (S&Mc 1926); disabled soldiers' furniture factory (*Herald* 8 May 1925:13); the headquarters of the Order of the Star of the East (*Herald* 21 November 1925:15); the Association of the Ladies' Benevolent Societies (*Age* 4 March 1927:16); and the council of the Baby Health Centres' Association (*Age* 1 October 1929:9). A Citizens Advice Bureau opened in Morris House in 1951 (*Age* 3 March 1951:5).

Minnie Everett was another tenant of Morris House from 1927 until c1936, when she moved to Kurrajong House at 175 Collins Street. Everett conducted the Minnie Everett School of Stage Dancing, including singing, dancing, voice production, deportment and stage technique classes from studios at 114-122 Exhibition Street. John Maslen writes in the *Australian Dictionary of Biography* that:

Minnie Rebecca Everett (1874-1956), dancer and producer, was born on 28 June 1874 at Beaufort, Victoria... After the family moved to Melbourne, Minnie trained under Emilia Pasta, a ballet dancer from Italy. From the age of 13 Everett took casual engagements at the Alexandra Theatre, the Opera House and the Theatre Royal...

*Having joined J C Williamson in 1888, Everett became one of the Royal Ballerinas, a permanent ballet of trained dancers who appeared with his Royal Comic Opera Company... As ballet mistress for thirty years, she created and produced dances for most of J C Williamson Ltd's productions. From the early twentieth century Everett won renown for her work not only as a ballet mistress but as a producer of comic and grand opera... For many years Everett ran her own theatrical schools in Melbourne and Sydney where she taught singing, dancing, voice production, deportment and stage technique... Although she retired in 1940, Everett continued to take a keen interest in amateur theatrics and in 1955 was coaxed into producing *The Mikado* for the Victorian Council of Adult Education (Maslen 1996).*

A change of name to the Citizens' Welfare Service (CWS) in 1946 signalled a shift in emphasis as the organisation moved towards employing professionally trained social workers who used psychological

insights in their interviewing and casework (Peel 2008). In 1947, the CWS moved to new premises in Drummond Street, Carlton, but continued to maintain an office at 120 Exhibition Street through to the early 1950s (S&Mc 1950).

Prior to the sale of the building in 1957, in 1955, the tenants at Morris House were the Citizens' Welfare Service of Victoria; Victorian Provident Aid Society; Victorian Society of Prevention of Cruelty to Children; Children's Welfare Association of Victoria; Victorian Institute of Hospital Almoners; Alfred F Bridges, masseur; Medical Eye Service of Victoria; and Ophthalmic Association (S&Mc 1955).

In 1957, the site was purchased by the Australian-American Association for use by their female members as a clubhouse (*Age* 21 August 1957:9). The purchase price at the time was £36,500, and the Association aimed to form a club for their female members where they could meet and establish headquarters for their hospitality committee (*Age* 21 August 1957: 9). The Association also established a library for their members on the premises (*Age* 21 August 1957: 9). It was noted at the time that the Association had purchased the building from the Citizens' Welfare Service, which transferred its operations to a new location at the time of the sale (*Age* 21 August 1957: 9). The president of the women's group at the time was Maie Casey, later Baroness Casey, whose husband Lord Casey had become president of the association in 1946 (*Age* 13 February 1958: 1; *News* 9 May 1946: 3).

The Australian-American Association had been founded by Sir Keith Murdoch by 1941 (*Age* 6 October 1952: 2; AWM 2019). The association was concerned with building and strengthening relationships between Australia and America, and was described as 'an active force in linking the destinies of the two countries' (*Age* 6 October 1952: 2).

The Prime Minister, Robert Menzies came to Melbourne from Canberra especially for the official opening of the site as the Australian-American Centre, which was also attended by the American Ambassador to Australia (*Age* 13 February 1958: 1). The opening ceremony included a speech by Robert Menzies, where he spoke to members of the friendship and growing ties between America and Australia (*Age* 13 February 1958: 3). Luncheons with guest speakers appeared to be continued by the group at the site (*Age* 4 November 1972: 2).

The building was put up for lease in 1973, and again in 1977, when it was advertised as an 'outstanding city corner' (*Age* 25 August 1973: 56; 28 April 1977:23). The building was altered to accommodate a restaurant in 1974 at a cost of \$10,000 (MBAI 45120). By 1987, the premises were occupied by Altmann & Cherny, gem dealers, cutters and jewellers (*Age* 24 March: 24). The site was converted into a bar and restaurant in 2003 (CoMMaps).



Figure 3. Showing the northern side of Little Collins Street, including the subject building (left-hand side) at 114-122 Exhibition Street in the 1960s. (Source: Halla 1960-69, SLV)



Figure 4. Showing 114-122 Exhibition Street on the LHS in the 1960s. (Source: Halla 1960-69, SLV).

SITE DESCRIPTION

114-122 Exhibition Street is located on the north-eastern corner of Little Collins and Exhibition Streets with entries to both frontages. It comprises a basement and two storeys above street level, and is built of concrete-encased steel framing with rendered masonry walls. Built as tenanted offices, it is designed in an interwar classical revival style that was popular for banks and other commercial premises after World War One. The rhythm of each of the two street façades is derived from the windows set between stucco pilasters that extend over the two storeys, giving the building a vertical orientation. The entrances are denoted by wider bays and a classically derived porch. The spandrels

beneath the windows and the moulded string course beneath the parapet comprise a secondary horizontal emphasis to the building's façade. 114-122 Exhibition Street is restrained in its architectural detail, however the pilasters employ moulded and recessed panels. The building features tall narrow steel framed windows with mullions and transoms forming openable sashes set within the larger windows.

INTEGRITY

The overall integrity of the building is good, having undergone a number of changes with its conversion to a restaurant. A major change has been the creation of a recessed corner entry by the removal of a small length of the ground floor walls to Little Collins and Exhibition streets. This alteration creates a third entrance and changes the way in which the building addresses the corner. Other alterations include changing the ground floor windows to Exhibition Street, the addition of a first-floor balcony and a roof deck with glazed balustrade above the parapet. The Little Collins Street facade is more intact with the addition of canvas awnings.

COMPARATIVE ANALYSIS

114-122 Exhibition Street may be compared to the following examples, being of a similar use, scale, and creation date. The below images, dating from 2000s or later, and descriptions are provided by CoMMaps unless stated otherwise.

Welfare organisations

Provision of social welfare services in Melbourne was predominantly offered by private or church-run charities in the nineteenth and early twentieth centuries. Other welfare-related buildings that were operational in central Melbourne in the interwar period and have since been demolished include Melbourne Ragged Boys' Home and Mission in La Trobe Street (1895–1924, demolished), Young Women's Hostel in Spring Street (1921–1984, demolished). The following HO-listed buildings are comparable to Morris House as buildings associated with welfare provision in Melbourne.

Mission to Seafarers, 717 Flinders Street, 1916 (VHR H1496; HO650)

Of British origin, the first Anglican Seamen's Mission was established in Bristol in 1837. The first Australian branch was started in 1856 by Rev Kerr Johnston, and operated from a hulk in Hobson's Bay, later moving to buildings in Williamstown, Port Melbourne and then Siddeley Street. A new Anglican Mission to Seamen was designed in 1916 by architect Walter Richmond Butler, to replace the Siddeley Street premises which had been resumed by the Harbour Trust for wharf extensions. It was designed in the Spanish Mission architectural style. The building has a long association with the Missions to Seamen (now Mission to Seafarers) and the provision of welfare services and space for recreation to assist those working in the shipping trade.



Figure 5. 717 Flinders Street, built in 1916.

Former European Hotel (later occupied by Melbourne City Mission), 280-282 Exhibition Street, 1854-1870s (HO636)

280-282 Exhibition Street is a three-storey rendered brick hotel, built in stages and altered between 1854 and the 1870s with the rear addition from the early twentieth century (CoMMaps). In 1926, Melbourne City Mission moved into new headquarters in this building. The building included a hostel for 'friendless girls', 30 of them could be accommodated in dormitories on the third floor. The hostel was known by a number of names, including the Haven of Hope and Sister Grace's Home for Friendless Girls (Commonwealth of Australia 2017). The building is today incorporated into the 47-storey office block.



Figure 6. 280-282 Exhibition Street, 1854-1870s.

Clubs for women

Although not purpose built as a club, the use of 114-122 Exhibition Street from 1957 by the female members of the Australian-American Association may be compared with the Alexandra and Lyceum clubs and represents the theme of clubs and societies in the city centre.

The Alexandra Club, 81 Collins Street, 1934 (HO568, Significant in HO504 Collins Street East precinct)

The Alexandra Club, is an exclusive private women's club established in Melbourne in 1903 and which has operated since the 1930s from its current purpose-built home in Collins Street. There is a direct association between the premises designed in 1937, the organisation and the membership.



Figure 7. 81 Collins Street, Alexandra Club built 1934.

The Lyceum Club, 2-18 Ridgway Place, built 1959 (Interim HO1285 – Recommended as significant within the Hoddle Grid Heritage Review)

The Lyceum Club, an exclusive private women's club established in Melbourne in 1912, established its own club premises in Ridgway Place, off Little Collins Street, in 1958. Membership of the Lyceum Club is open to women who are university educated and who have 'distinguished themselves in fields such as the arts, science, technology, education, community service, philanthropy and business management'. There is a direct association between the organisation, membership and the building that has endured for nearly 60 years.



Figure 8. 2-18 Ridgway Place, built in 1958. (Source: Context, 2017)

Interwar buildings

The building at 114-122 Exhibition Street is an example of the interwar classical revival style in architecture. This was essentially a reaction against the excesses of the Federation era and a return to more conservative and restrained designs that reinterpreted nineteenth-century classicism. At the same time, construction technology was changing from solid masonry walls to types of framed construction led by the more widespread use of concrete and steel framing. Despite new building technology, exteriors often reflected classical architectural elements arranged with solid horizontal base, columns or pilasters, projecting cornices and decorative mouldings. Notable changes in the interwar period included the ability for windows to become larger and to be steel framed, and for

decorative elements to become more restrained and abstracted. The classical revival style was embraced equally by both commercial developers and government architects.

482-484 Bourke Street, 1926 (Interim HO1241 – Recommended as significant within the Hoddle Grid Heritage Review)

482-484 Bourke Street is a four-storey commercial building designed in a classical revival style from the interwar period. 482-484 Bourke Street is constructed of reinforced concrete with a rusticated base complemented by a deep cornice and restrained use of mouldings.



Figure 9. 482-484 Bourke Street, built in 1926. (Source: Context 2018)

Farrant's Building, 387 Little Bourke Street, 1926 (Significant in HO1205 Guildford & Hardware Laneways Precinct)

Farrant's Building is of the interwar period, having been constructed in 1926 for saddle manufacturer Farrant's, the three-storey building comprises retail and manufacturing premises. It has two street frontages, facing both Little Bourke Street and Hardware Lane. It is a good example of interwar classical revival design.



Figure 10. 387 Little Bourke Street, constructed in 1926

152-156 Swanston Street, 1888, remodelled in 1938 (Interim HO1295, Interim HO1289 Swanston Street South precinct – Recommended as significant and contributory to a precinct within the Hoddle Grid Heritage Review)

The former Bank of Australasia at 152-156 Swanston Street was remodelled from two Victorian shops by A & K Henderson in 1938-39.



Figure 11. 152-156 Swanston Street, built in 1888 and remodelled in 1938-39. (Source: Context 2017)

219-225 Swanston Street, 1928 (VHR H0390; HO749)

The former ES & A Bank at 219-225 Swanston Street is of architectural significance as a notable example of the classical revival. This bank is highly intact and a fine example of the style in its relatively unabstracted form.



Figure 12. 119-225 Swanston Street, built in 1928 (Source: VHD)

442-460 Little Bourke Street, 1926 (VHR H1476; HO968)

The Federal Court of Australia demonstrates the interwar classical style that characterised many Commonwealth buildings of that era. Its dignified conservatism was thought appropriate for major public buildings, while the reduction of ornamentation reflected modernism's rejection of unnecessary decoration.



Figure 13. Federal Court of Australia, 442-460 Little Bourke Street, built in 1926 (Source: VHD)

114-122 Exhibition Street compares well with the above examples in central Melbourne.

While not architecturally comparable, 717 Flinders Street and 280-282 Exhibition Street share a similar context and use as Morris House. Supported by the state government, Charity Organisation Society (COS) and the Victorian Society of Prevention of Cruelty to Children (VSPCC) played key roles in the development of systematic approaches to the provision of welfare services in Victoria. Morris House is a unique example of a welfare-related building, as an interwar office building purpose-built for COS which was a secular non-government charity organisation.

The use of 114-122 Exhibition Street by the women's club associated with the Australian-American Association adds to an understanding of the city's history through its clubs and societies, however this association with the place is less evident than it is in the other examples, given its original purpose as an office building.

Architecturally, 114-122 Exhibition Street demonstrates a typical interwar classical revival design with the restrained features of the style. While the former Federal Court of Australia at 442-460 Little Bourke Street and the ES&A bank at 119-225 Swanston Street are exemplary examples and state-listed for this value, 387 Little Bourke Street and 482-484 Bourke Street are more comparable with 114-122 Exhibition Street for architectural style.

Apart from the creation of the recessed corner entrance, other alterations to windows are consistent with many central city buildings of this era that have experienced these changes.

ASSESSMENT AGAINST CRITERIA

✓

CRITERION A

Importance to the course or pattern of our cultural or natural history (historical significance).

CRITERION B

Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).

CRITERION C

Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).

✓

CRITERION D

Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).

CRITERION E

Importance of exhibiting particular aesthetic characteristics (aesthetic significance).

CRITERION F

Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)

CRITERION G

Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).

CRITERION H

Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommended for referral to Aboriginal Victoria for the Victorian Aboriginal Heritage Register.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

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PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985** Ungraded

**Central City Heritage
Study 1993** D

**Review of Heritage
overlay listings in the
CBD 2002** Ungraded

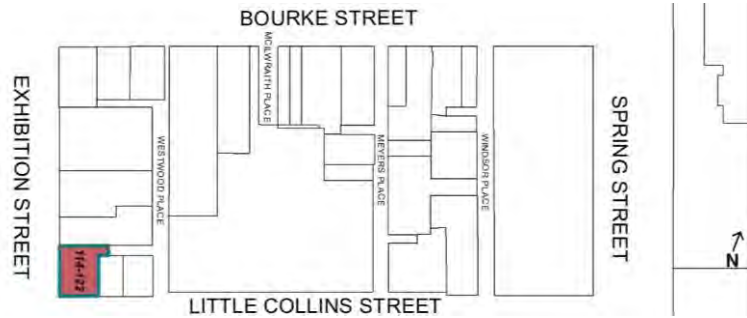
**Central City Heritage
Review 2011** Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Former Morris House



PS ref no: Interim HO1287



What is significant?

Former Morris House at 114-122 Exhibition Street, Melbourne, built in 1924 for the the Charity Organisation Society (Victoria), is significant.

Elements that contribute to the significance of the place include (but are not limited to):

- the building's original external form, materials and detailing;
- the building's high level of integrity to its original design;
- pattern and size of original fenestration;
- tall narrow steel framed windows with mullions and transoms; and
- decorative elements including the pilasters, moulded and recessed panels between pilasters, parapet with moulded string course and entrance porch.

More recent alterations and addition, including those undertaken at ground level, first-floor balcony and a roof deck with glazed balustrade, are not significant.

How it is significant?

Former Morris House at 114-122 Exhibition Street, Melbourne is of local historical and representative significance to the City of Melbourne.

Why it is significant?

Morris House at 114-122 Exhibition Street, Melbourne, built in 1924, is historically significant for its association with the Charity Organisation Society (Victoria), an influential organisation established in Melbourne in 1887 as an offshoot of its British antecedent. The organisation was enduring, later becoming the Citizens Welfare Society. The Charity Organisation Society pioneered the co-ordination of charitable, religious and educational institutions and private benefactors who made significant contributions to social welfare. Its importance was in helping to pioneer 'case-work' and lay the foundations for the profession of social work and play a leading role in the distribution of unemployment

relief in the 1930s. 114-122 Exhibition Street is significant as the offices of the Charity Organisation Society from 1924 to the early 1950s. During this time it also attracted other like organisations to occupy tenancies within the building. The Victorian Society for the Prevention of Cruelty to Children (VSPCC) was one of the long-term tenants in Morris House, moving into the building in 1924. As a local branch of an international non-denominational organisation, VSPCC was established in 1894 to investigate and report child abuse and neglect in Victoria. VSPCC operated from the building into the mid-1950s, employing paid officers to perform its investigatory and prosecution work.

The building, from its foundation in 1924 as the office of the Charity Organisation Society and the Victorian Society for the Prevention of Cruelty to Children, has historical significance on account of its long association with child welfare and the 'child rescue' movement from the mid-1920s, which would have almost certainly included the welfare of Aboriginal children. One of the founding members of the COS was Ann Fraser Bon, who was a leading advocate of Aboriginal welfare in Victoria. (Criterion A)

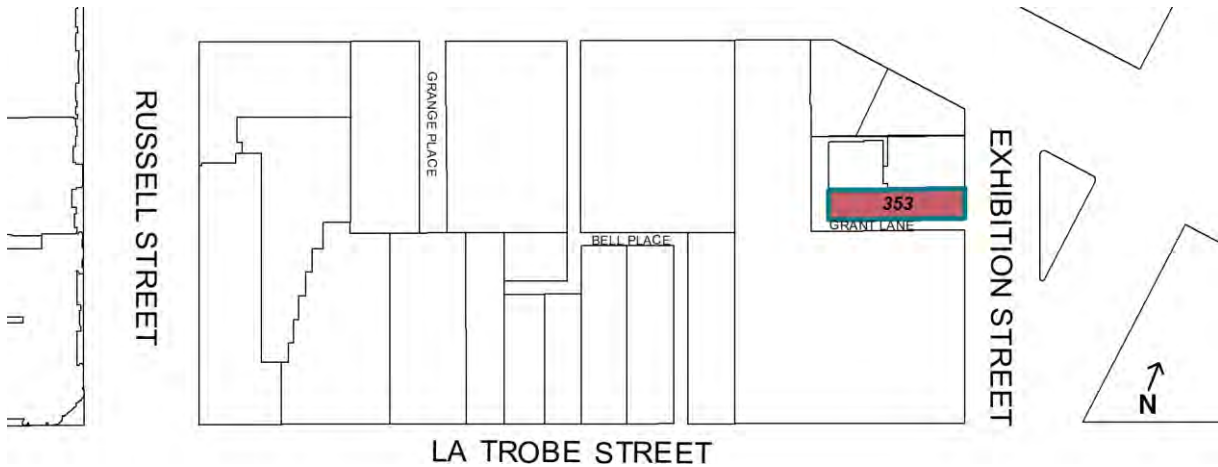
114-122 Exhibition Street is historically significant for its ownership and use by the Australian-American Association from 1957 to 1973, specifically as clubrooms for female members. The Association was founded by Sir Keith Murdoch in 1941 in order to strengthen cultural ties between Australia and America. It served as one of a few private clubs for women in the central city. (Criterion A)

114-122 Exhibition Street is significant as an example of the interwar classical revival style that was popular for government buildings, banks and other commercial premises built during the decades after World War One. The style is notable for its conservative and restrained design that reinterpreted nineteenth century classicism at the same time that it incorporated new construction technology. In 114-122 Exhibition Street this is evident in the scale and form, rhythm of the street façades with steel-framed decorative windows, stucco pilasters that extend over the two storeys with moulded, recessed panels, window spandrels and a moulded string course beneath the parapet. (Criterion D)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Warehouse
STREET ADDRESS	353 Exhibition Street Melbourne
PROPERTY ID	103616



SURVEY DATE: October 2018

SURVEY BY: Context

HERITAGE INVENTORY	H7822-2170	EXISTING HERITAGE OVERLAY	No
PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
DESIGNER / ARCHITECT / ARTIST:	Arthur W Purnell	FORMER GRADE	D
		BUILDER:	Not known
DEVELOPMENT PERIOD:	Interwar Period (c.1919-c.1940)	DATE OF CREATION / MAJOR CONSTRUCTION:	1926-27

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Stage 2 Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here.
HISTORIC THEMES	DOMINANT SUB-THEMES
6 Creating a functioning city	6.7 Transport
5 Building a commercial city	5.5 Building a manufacturing capacity

LAND USE

HISTORIC LAND USE	
Archaeological block no: 82	Inventory no: 2170
Character of Occupation: Residential	
Current building 1926. Fire 1976.	
1866 Cox	Building shown on site
1905/6 Mahlstedt	Two-storey building, set walls back from street frontage
THEMATIC MAPPING AND LAND USE	
1890s	Residential
1920s	Motors and service stations
1960s	Factories and workshops

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

353 Exhibition Street is a three-storey brick warehouse built in 1926-27 for use as a motor car showroom and sale room for Barlow Motors Pty Ltd, to a design by architect Albert W Purnell. Barlow Motors Pty Ltd had moved from the premises by 1928 and from 1930 most of the tenants were involved in garment manufacturing or the motor industry until it was converted into shops in 1982.

HISTORICAL CONTEXT

Creating a functioning city

Transport

Through the early twentieth century motor cars and buses and electric trams slowly replaced horse-drawn vehicles.

The first *Motor Regulation Act* came into force in 1910, and by June 1911 there were 2,722 motor cars and 2,122 motorcycles registered in Victoria, mostly concentrated in Melbourne. With increasing car ownership, the first motor garages selling petrol and offering repair services for vehicles were established throughout the city (Churchward 2008).

Initially considered a toy for the wealthy, the ownership of motor vehicles increased most markedly after World War One. Registrations of motor cars, trucks and cycles doubled in Melbourne between 1917 and 1922, reaching a total of 44,750 (Museum Victoria). As a consequence, the car showroom was constructed as a new type of place developed for the purpose of showing and selling cars.

During the economic depression of the 1930s, motor car ownership increased only half as fast as it had in the late 1920s, and during World War Two when petrol was rationed and new vehicles were unprocurable, it stagnated (Churchward 2008).

As Melbourne's population grew, there was greater competition for parking spaces. The first multi-storey car park was built in Russell Street in 1938 (Context 2012:44).

Building a Commercial City

Building a manufacturing capacity

From the 1850s, the Yarra River and the docks west of Swanston Street were in essence the 'lifeline' of the city. Port facilities and large warehouses were built in this area to serve shipping interests (Context 2012:39-40).

By the 1880s, the areas of Flinders Street, King Street, Little Bourke Street and Spencer Street comprised multiple mercantile offices, produce stores and large-scale bonded stores, including Zander's Bonded Stores and Coles Bonded Stores. As Melbourne developed through the nineteenth century and early twentieth century, so did her manufacturing industry, much of which was established in close proximity to existing warehouses and stores.

Although affected by World War One in the period 1914-1918, by 1921, 38 per cent of Melbourne's workers were employed in industry with almost all new factory jobs in Australia between 1921 and 1947 created in Sydney and Melbourne. The growth of manufacturing, assisted by a new federal tariff in 1921, stimulated urban growth and by the end of the 1920s, Melbourne's population had reached one million people. The expansion of new sectors in the manufacturing industry was maintained by buoyant levels of domestic demand (Marsden 2000:29; Dingle 2008).

In the first decades of the twentieth century, the demand for residential development declined in central Melbourne as many residents moved out of the city to the suburbs, and the booming retail and manufacturing sectors rapidly took up available city properties (Marsden 2000:29-30). Multi-storey factory, workshop and warehouse buildings, some designed by architects, increasingly took over the city.

Development in the city slowed with the Great Depression that commenced in October 1929 and continued through the early 1930s. Because of a lack of finance over this period, instead of new construction, some city buildings were substantially re-modelled to create new office, commercial and industrial spaces, and also for use by government.

From the 1930s, like the rest of Australia, an increasing proportion of the city's workforce took up jobs in manufacturing, an industry that led Australia's recovery from the economic depression and a time when, the *Encyclopedia of Melbourne* notes, a

steep rise in tariffs, devaluation of the Australian pound, falling wages and electricity costs all made local producers far more competitive internationally. Textiles benefited first, then the metals industries and engineering took over as pacemakers (Dingle 2008).

After being the centre of manufacturing in Australia in the 1920s, Melbourne's importance in this regard began to decline. During the 1940s some city factories and warehouses were left empty or converted for other uses (Context 2012:35).

From the end of World War Two to the beginning of the 1970s, Melbourne underwent the most sustained growth in its history, mostly based on the manufacturing industry. At the peak of industrialisation in 1966, 37 per cent of total employment in Melbourne was dedicated to manufacturing, compared to the national average of 27 per cent (Maher cited in Tsutsumi and O'Connor 2006:8.3). Australia's manufacturing output increased 6 per cent per year between 1949 and 1967, and between 1947 and 1966, 155,221 new manufacturing jobs were created in Melbourne alone, roughly one-third of which went to women (Dingle 2008).

However, by the mid-1960s,

[the] postwar expansion of manufacturing could no longer be contained within the old ring of inner industrial suburbs. They had become crowded and congested. New methods of production required more space and single-storey buildings to accommodate assembly-line techniques. The fork-lift truck led to new kinds of factory buildings. An increasing use of electricity for power and road transport rather than rail to move goods, opened up new locational possibilities...During the 1960s manufacturing expanded most rapidly in Moorabbin and the Oakleigh-Clayton area. When the available sites were taken up the area of fastest growth then transferred to Broadmeadows and Waverley (Dingle 2008).

City centres retained some manufacturing until the late 1970s, mostly in the areas of clothing, printing and food processing, sectors that increasingly employed women workers. By the 1990s manufacturing had declined to 16 per cent of total employment in Melbourne, and 77 per cent of the workforce were working in the tertiary sector (Marsden 2000:99-100).

SITE HISTORY

The subject site at 353 Exhibition Street, Melbourne, is part of Crown Allotment 10, Block 45 (CoMMaps) which, by 1866 incorporated a building, most likely a residence (Fels, Lavelle & Mider 1993, Inventory no 2170).

In c1890 a nine-roomed, two-storey stone house existed on the subject site (RB 1926; MMBW Detail Plan 1021, 1895; S&Mc 1890). Its first occupant appears to have been Jane Watts who ran a boarding house there in 1890 (S&Mc 1890). Other occupants included Sarah Bremner (also known as

Sal Reddan) who ran a brothel in the building, which was then known as 'The Poplars', from 1910 until 1920 (*Truth* 30 January 1915:3). From 1920 to 1926 the building was owned and occupied by Chinese residents 'Young Sing and others' (RB 1926). The building was demolished in 1926.

In 1927, the subject building was recorded as a 'factory being built' in the Sands & McDougall directory; it had a net annual value of £120 upon its completion that year (S&Mc 1927; RB 1927). Architect Arthur W Purnell designed the brick, three-storey building, constructed in 1926-27, as a motor car showroom and sale room for Barlow Motors Pty Ltd (see Figure 1). At this stage, Alexander Barlow's business, Barlow Motors, was located at 20-28 Latrobe Street (*Age* 17 April 1926:4; RB 1927). The new building at 353 Exhibition Street was constructed to back onto the east side of 20-28 Latrobe Street, and was located next to Lanes Motors, Buick car distributors (*Herald* 20 July 1925:12). Purnell had a close client relationship with Barlow and designed other buildings for him, including several car showrooms, horse stables and a house (University of Melbourne Archives).

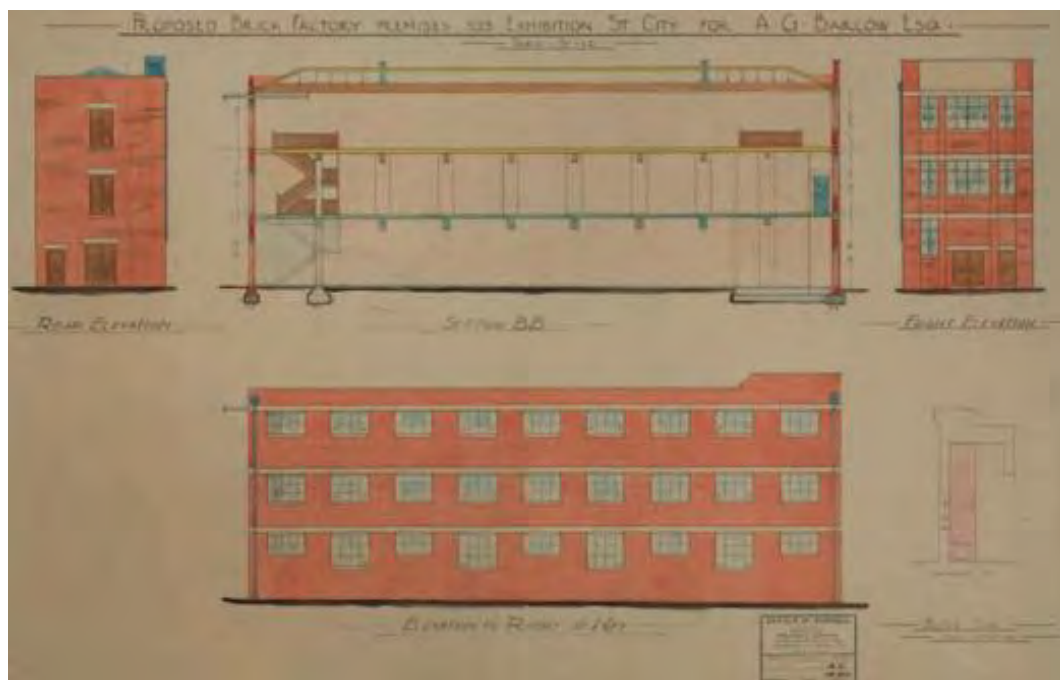


Figure 1. Architect Arthur W Purnell's design for Barlow Motors Pty Ltd's building at 353 Exhibition Street. (Source: Groves 2009:33)

Alexander George Barlow founded and was managing director of the car dealership company Barlow Motors Pty Ltd. He was also a racing horse owner and was well known in the motor and racing industries (*Weekly Times* 22 May 1937:16). Barlow made his debut in the motoring business after relocating, with his wife, from Ballarat to Melbourne in 1915, at which time he was aged 35 (*Smith's Weekly* 29 October 1949:27). Within a few years of his arrival Barlow controlled a chain of motor trading establishments throughout Victoria, mostly selling luxury class cars. Alexander Barlow died in 1937 after multiple investigations into allegations regarding his financial affairs (*Age* 6 July 1938:15).

Barlow Motors Pty Ltd did not remain at the subject site for long. In 1928, 353 Exhibition Street was vacant, and in 1930 title was conveyed to John Robert Cooke who let the building out to commercial tenants (S&Mc 1928; RB 1930). Most of the tenants of the building were involved in either motor or the clothing manufacturing industries, including George A Bond (later registered as Bonds Industries),

manufacturer of socks and underwear, who used it as a storeroom from 1929 until at least 1933 (S&Mc 1929 and 1933). Luxor Fabrics (later registered as Luxor Underwear Manufacturing Co) occupied the building for some years until 1946. By 1946, under the ownership of Cooke Robertson, the three floors of the building were let to Grant Bearing Services, motor engineers; W H Amad, white work manufacturer; and D Groszlick, frock manufacturer (S&Mc 1945; RB 1940; *Argus* 14 February 1946:18). Owner and occupant of the building in the 1950s, Wadee H Amad, died in 1955, but ownership and occupancy of the building remained with W H Amad, manchester makers and wholesalers, until at least 1976 (*Canberra Times* 30 March 1976:7). In addition, Grant Bearing Services remained as an occupant of the building until at least 1974 (S&Mc 1974). Alexander Grant, proprietor of Grant Bearing Services, was vice-president of the Camberwell group of the Honorary Justices' Association and a member of the Institute of Automotive and Aeronautical Engineering; he was elected Melbourne City councillor for the Gipps ward in 1954 (*Age* 2 July 1954:16).

The subject building in the 1940s can be seen in Figure 2. Minor alterations and additions were made to the building in the late 1940s, presumably internally, as they were not detailed in the building permit records (MBAI 24418).

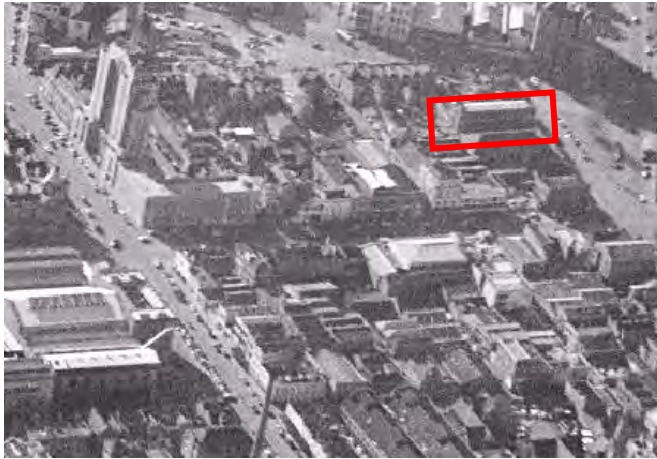


Figure 2. Extract from a aerial photograph showing the subject site, outlined in red, c1940s. (Source: Hodgson c1940s, SLV).

In 1976 a fire caused significant damage to the building's interior. The fire, estimated to have caused \$1 million in damage, was believed to have started in an electrical switchboard in a passage on the ground floor. A newspaper article on the fire reported that it had 'destroyed the three-storey brick building', presumably referencing the interior, and taken the life of a sixteen-year-old girl and left another in a critical condition (*Canberra Times* 30 March 1976:7).

Reinstatement works were carried out to the interior of the building following the fire in 1976 at a cost of \$30,000 (MBAI 46919). In 1978, the building was advertised for sale as 'an excellent brick freehold' with immediate vacant possession, with an area of 769 square metres (8,280 square feet) being adaptable to offices, showrooms, club or institutional purposes (*Age* 14 June 1978:23). In 1982 the building was converted to shops (MBAI 54853).

The building presently houses Bueno, a built environment business, and an apartment on the second storey.

Arthur W Purnell, architect

The University of Melbourne Archives is the custodian of Arthur W Purnell's architectural drawings, and provides the following information about Purnell's practice:

Arthur W. Purnell (1878-1964) was a Geelong-born architect who built a thriving practice in Melbourne. Arthur Purnell had a long and successful career...until he retired in the late 1950s. Over this time he designed hundreds of buildings, ranging from garages to grandstands. (Groves 2012)

Purnell initially set up on his own [practice] in...Swanston Street...[and later]...moved to larger premises in Phair's Buildings at 327 Collins Street. In 1915 he went into partnership with Isadore George Beaver, a Manchester-born architect 19 years his senior...In 1925 the partnership with George Beaver ended and the following year Purnell moved to the Equitable Building at 314 Collins Street. In 1928 he went into partnership with Eric Hazel Round and William Alfred Graham.

Purnell also had a long-standing and a close client-architect relationship with Alexander George ('Alec') Barlow (1880-1937), a trailblazing, somewhat shady Melbourne car dealer. Redesigned car show rooms, racing stables and a house were amongst the work completed by Purnell for Barlow. (University of Melbourne Archives 2016)

SITE DESCRIPTION

Located on the northern periphery of the Hoddle Grid between Victoria and La Trobe streets, 353 Exhibition Street is a narrow-fronted, three-storey motor showroom building constructed in 1927 in loadbearing face brick. The building sits on a deep allotment abutting Grant Lane on the southern and western elevations, sited between Latrobe and Mackenzie streets.

The principal façade fronting Exhibition Street is constructed in face brickwork laid in English bond. It terminates in a simple, partially rendered horizontal parapet which returns but steps down on the Grant Lane frontage. The façade is symmetrical, comprising a wide central bay with a narrower bay each side, separated by plain brick pilasters, and wider brick corner elements. At the first-floor level, a signage box has been fixed to the central bay of brickwork below the window. The brickwork to the pilasters, corners and reveals has curved corners. The height of the ground floor is substantially greater than that of the first and second storeys, as is characteristic of industrial buildings from this period.

The original doors and windows on all three levels of the Exhibition Street façade and at the eastern end of the Grant Lane frontage at ground level have been replaced with contemporary aluminium framed windows, and a widened shopfront and entry opening created on Exhibition Street. Some of the openings at street level to Grant Lane at its eastern end have also been widened. A canvas awning extends above the ground floor but stops short of the northern and southern ends of the façade.

The remainder of the windows are multi-pane original steel framed windows. Consistent with other twentieth-century industrial buildings in inner city Melbourne, some of the windows feature a

permanent ventilation system where one row of sashes is angled back and the gap above covered in mesh.

Above the ground, first and second storey windows are continuous painted render lintels that extend along all three elevations of the building. A former wide doorway at ground level on the rear elevation has been infilled with brickwork.

INTEGRITY

353 Exhibition Street is generally intact with some changes visible to the original or early elements of the building. The building retains its original scale; walls and pilasters of loadbearing face brick, continuous painted render lintels and parapet detailing. It largely retains its original fenestration, pattern of openings and some steel frame windows. Alterations include the replacement of original windows and doors on its principal façade facing Exhibition Street and insertion of new openings at the ground level.

COMPARATIVE ANALYSIS

The construction of warehouses and industrial buildings was an important phase of development in central Melbourne, especially during the late nineteenth and early twentieth century. The buildings were usually low scale and located in minor streets and laneways with rear lane access to facilitate the movement of material in and out of the building. Today, most of these early factory or warehouse buildings are no longer operating as such and have often been adapted to house professional offices or other commercial functions.

The brick warehouses constructed around the early twentieth century and early interwar period are generally of a simple utilitarian character, utilising loadbearing face brick external walls with either a steel post and beam or reinforced concrete internal structure. Windows are generally large, designed to maximise access to natural light at a time when artificial lighting was not adequate for the manufacturing process.

The following examples are comparable with 353 Exhibition Street, being of a similar style, scale, construction date and use. The images and descriptions are provided by CoMMaps unless stated otherwise, with images dated c2000 or later.

562-566 Little Bourke Street, c1920s (HO701)

The former Sun Electric Building. A four-storey brick former warehouse with a basement. Built in the early 1920's. Refurbished into an office in 1987. Converted and subdivided into residential units with ground level retail in 2000.



Figure 3. 562-566 Little Bourke Street, constructed in c1920s.

337-339 La Trobe Street, 1923-24 (HO1208)

A three-storey face brick warehouse building with classical derived detailing including bricked pilasters and a dentil cornice. It was built for stationers John Dickson & Co. Contrasting lintels topped with squared corbels make features of these wide factory windows.



Figure 4. 337-339 La Trobe Street, constructed in 1923-24.

39-41 Little Collins Street, 1919 (Interim HO1277 – Recommended as significant in the Hoddle Grid Heritage Review).

Three storey brick former factory. Built 1919. Converted to offices and retail in 1966. The ground floor was refurbished and converted to a restaurant in 2001.



Figure 5. 39-41 Little Collins Street, constructed in 1919.

27-29 Little Lonsdale Street, 1924 (Recommended as significant in the Hoddle Grid Heritage Review)

A two-storey warehouse with contrasting cement rendered lintels and expressed corbels over the ground floor. Windows replaced but in the original scale and form of the building.



Figure 6. 27-29 Little Lonsdale Street, constructed in 1924.

353 Exhibition Street retains substantial evidence of its development in the interwar period as a motor showroom and factory warehouse building, in its form and scale, and utilitarian and functional yet refined design. There are several surviving examples of this building type within central Melbourne (albeit often adapted to house new uses such as professional offices). The building is a now rare example in the area around the north-eastern periphery of the Hoddle Grid, where its broader streetscape context has been considerably changed by later twentieth century redevelopment.

It is comparable with a number of other HO listed examples of the type, including 337-339 La Trobe Street (HO1258), 39-41 Little Collins Street (HO1277) and 562-566 Little Bourke Street (HO701), being of a similar character, scale and degree of intactness. It is also comparable with 563-567 Little Lonsdale Street and 27-29 Little Lonsdale Street, both of which are proposed for listing on the HO as part of the Hoddle Grid Heritage Review.

ASSESSMENT AGAINST CRITERIA

✓

CRITERION A

Importance to the course or pattern of our cultural or natural history (historical significance).

CRITERION B

Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).

CRITERION C

Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).

✓

CRITERION D

Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).

CRITERION E

Importance of exhibiting particular aesthetic characteristics (aesthetic significance).

CRITERION F

Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)

CRITERION G

Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).

CRITERION H

Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

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PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985** D

**Central City Heritage
Study 1993** C

**Review of Heritage
overlay listings in the
CBD 2002** Ungraded

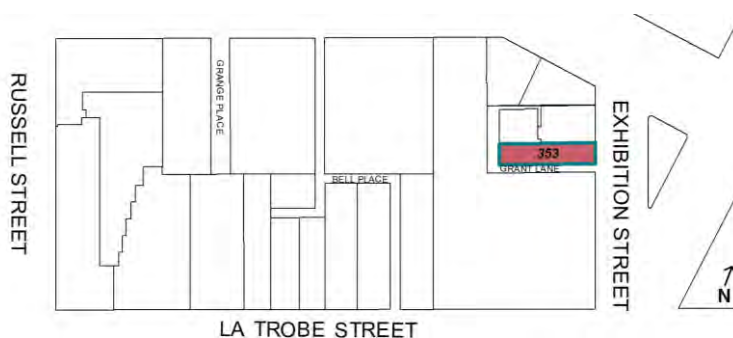
**Central City Heritage
Review 2011** Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Warehouse



PS ref no: HOXXXX



What is significant?

353 Exhibition Street, Melbourne, a three-storey face brick warehouse built to a design by Arthur W Purnell in 1926-27.

Elements that contribute to the significance of the place include (but are not limited to):

- Original building form and scale;
- Original face brick walls and pattern of fenestration including parapet, pilasters, continuous painted render lintels and pattern of window openings; and
- Original steel frame windows along Grant Lane.

Later alterations such as the replacement of original windows and doors on its Exhibition Street elevation and insertion of new openings at the ground level are not significant.

How it is significant?

353 Exhibition Street, Melbourne, is of local historic and representative significance to the City of Melbourne.

Why it is significant?

The former motor car showroom and sale room building at 353 Exhibition Street, constructed in 1926-27 to a design by architect Arthur W Purnell, is historically significant for the evidence it provides of the rise of manufacturing in the city in the 1920s which led the recovery from the economic depression of the late 1920s-early 1930s. From the end of World War Two to the beginning of the 1970s, Melbourne underwent the most sustained growth in its history, mostly based on the manufacturing industry. The building at 353 Exhibition Street exhibits this growth, housing tenants involved in the motor and clothing

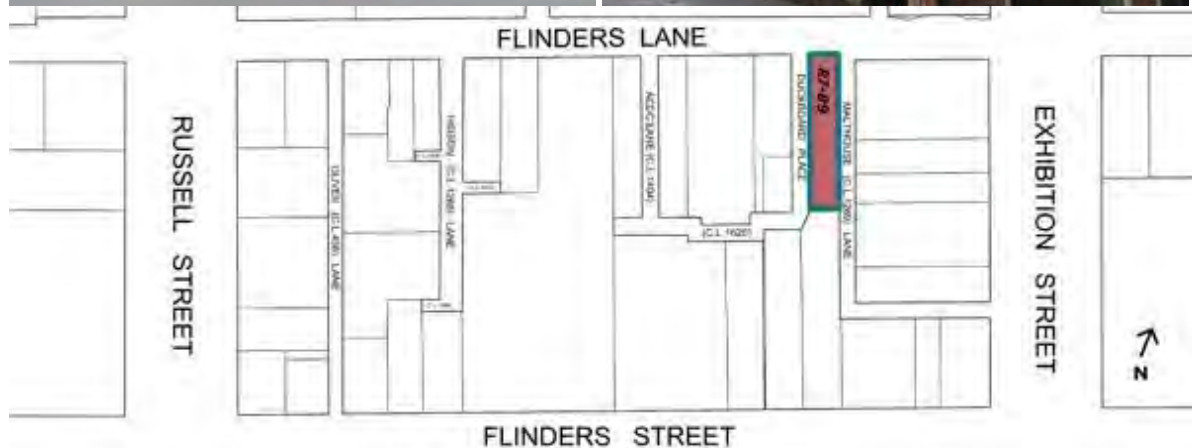
manufacturing industries from c1930 until the mid-1970s, until it was converted to shops in 1982. Built initially for Barlow Motors Pty Ltd as a motor car showroom and sale room, the building also provides evidence of the early years of motoring in Victoria. With the doubling of registrations of motor cars, trucks and cycles in Melbourne between 1917 and 1922, the car showroom was a new type of place developed for the purpose of showing and selling cars. Although Barlow's occupancy was brief, the building was used in association with the motor industry into the 1970s. (Criterion A)

353 Exhibition Street is significant for the substantial evidence it retains of its development in the interwar period for use as a motor showroom and factory warehouse building. It is one of several such buildings that survive from the period, which are generally low scale and use simple construction of loadbearing face brick walls with either a steel post and beam or reinforced concrete internal structure. The building is now a rare example in the area around the north-eastern periphery of the Hoddle Grid, where its broader streetscape context has been considerably changed by later twentieth century redevelopment. While modest and utilitarian, like other buildings of its type, 353 Exhibition Street demonstrates a refined yet highly functional aesthetic and exhibits other key characteristics of its type including a symmetrical facade with simple parapet and a regular pattern of large, efficient steel framed windows with painted render lintels. The lack of superfluous decoration reinforces this simple and disciplined industrial aesthetic. (Criterion D)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Swiss Club of Victoria
STREET ADDRESS	87-89 Flinders Lane Melbourne
PROPERTY ID	103320



SURVEY DATE: May 2017		SURVEY BY: Context Pty Ltd	
HERITAGE INVENTORY	H7822-1925	EXISTING HERITAGE OVERLAY	No
PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
DESIGNER / ARCHITECT / ARTIST:	H W & F B Tompkins	FORMER GRADE	C
		BUILDER:	Henry Hennigsen
DEVELOPMENT PERIOD:	Federation/Edwardian Period (1902-c.1918)	DATE OF CREATION / MAJOR CONSTRUCTION:	1906

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Stage 2 Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a commercial city	5.5 Building a manufacturing capacity
	OTHER SUB-THEMES
9 Working in the city	9.2 Women's work
3 Shaping the urban landscape	3.2 Expressing an architectural style

LAND USE

HISTORIC LAND USE	
Archaeological block no: 63	Inventory no: 925
Character of Occupation: Residential, Commercial	
4 th land sale 1839. Block 7, Gordon Sandman	
1866 Cox	Building on site.
1877 Dove	Single-storey house, stables, two sheds, yard.
1880 Panorama	
1888 Mahlstedt	Single-storey building, three sheds, yard.
1905/6 Mahlstedt	Yard.
THEMATIC MAPPING AND LAND USE	
1890s	Yards, Warehouses
1920s	Warehouses
1960s	Club

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

A three-storey warehouse and manufacturing premises in the City of Melbourne, built in 1906 for P C Warland by builder Henry Hennnigsen and designed in the American Romanesque style by leading commercial architects H W & F B Tompkins.

HISTORICAL CONTEXT

Building a commercial city

Building a manufacturing capacity

As Melbourne developed through the nineteenth century, so did its manufacturing industry. Flinders Lane became an important area for clothing manufacturers, while Chinese cabinet makers were concentrated at the east end of town. Food-processing plants were established in North and West Melbourne. Factories tended to be small and specialised. Large factories, built in the later nineteenth century and early twentieth century tended to be built outside the City of Melbourne, where land was more easily obtainable (Context 2012:44).

Warehouses were also a part of Melbourne's economic life. From the 1850s, the Yarra River and the docks west of Swanston Street were in essence the 'lifeline' of the city. Port facilities and large warehouses were built in this area to serve shipping interests (Context 2012:39-40). The area of Flinders Lane is described by the *Encyclopedia of Melbourne*:

By the 1860s, as [Flinders Lane's] swamps were filled in, and as its proximity to the wharf encouraged the construction of warehouses and showrooms, the street gained a reputation as a busy and important thoroughfare, the chosen location of mercantile houses, importers, brewers, timber yards and wholesalers (May 2008).

From the 1930s, like the rest of Australia, an increasing proportion of the city's workforce took up jobs in manufacturing, an industry that led Australia's recovery from the economic depression of the late 1920s-early 1930s, when, *the Encyclopedia of Melbourne* notes, a

steep rise in tariffs, devaluation of the Australian pound, falling wages and electricity costs all made local producers far more competitive internationally. Textiles benefited first, then the metals industries and engineering took over as pacemakers (Dingle 2008).

Shaping the urban landscape

Expressing an architectural style

In the central city, the American Romanesque style was adopted, often combined with Art Nouveau-influenced ornament. Red face brick with limited render accents were the preferred materials, and facades were articulated with large-scale round-arches, sometimes with window bays set into them. Examples of the Romanesque include the Tompkins Bros' Commercial Travellers Building in Flinders Street (1898) and Nahum Barnet's Auditorium Building in Collins Street (1913). The style was also used for more modest factories and warehouses along Flinders Lane.

While the Romanesque was favoured for commercial buildings, a classical influence prevailed for public buildings. In line with the less regimented designs of the early twentieth century, this was the Edwardian Baroque style. It was characterised by mannered classical facades with deep cornices. Again, red face brick with render dressings were preferred. Landmark examples include Flinders Street Station (1901-11, Fawcett and Ashworth) and the City Baths (1903, J.J. & E.J. Clark) (Context 2012:15).

Working in the City

Women's work

Large numbers of women found employment as machinists in the clothing and foot-ware factories that emerged in the late nineteenth and early twentieth centuries (Context 2012:55).

SITE HISTORY

The site at 87-89 Flinders Lane was part of Melbourne's fourth land sale in 1839 (Block 7, Allotment 7). A residence for Gordon Sandman was built by 1866. By 1877 the site comprised a house, stables sheds and a yard, and by 1888 the site comprised a single-storey building. These buildings were demolished in 1905 to enable the construction of the current building (Fels, Lavelle and Mider 1993:925).

The three-storey building with basement was built in 1906 for the owner Phillip Christopher Warland (MCC registration no 9832, as cited in AAI, record no 76489). Designed by H W and F B Tompkins, the brick warehouse was built by Hawthorn contractor and builder Henry Henningsen, whose office was located on the neighbouring site at 91 Flinders Lane (currently 11-15 Duckboard Place) (S&Mc 1907).

The founder and manager of ladies underclothing importer and manufacturer, P Warland Pty Ltd, Phillip C Warland, owned the building until his death in March 1918. The property and the business were taken over by his son Phillip Warland, who, in 1913 and 1917 had been appointed as the employers' representative for the underclothing Wages Board (*Ballarat Star* 20 September 1913:6; *Bendigo Advertiser* 23 May 1917:5).

The building was tenanted by 1906, with Britannia Tie Company occupying the top floor and P Warland Pty Ltd occupying the lower levels and the basement. It appears that the building had a large sign painted on the west elevation (Figure 1). Both manufacturers remained at the building until 1921-22, when they moved shortly after a fire completely destroyed the top floor in September 1921 (*Age* 16 September 1921:8; S&Mc 1922-23).

From 1922 the building was leased to other garment or industrial manufacturers including Parisian Mantle Manufacturers, clothing manufacturers J Sackville, and machinery indenters Dyer and Phillips (S&Mc 1923-1935), industries that employed high numbers of female workers.

The building is now occupied by several businesses including the Swiss Club of Victoria, one of a number of private clubs located in the city centre.



Figure 1. 87-89 Flinders Lane, c. 1910s. (Source: Warland Family)



Figure 2. 87-89 Flinders Lane shown in a section of Flinders Lane south, c1972, by K J Halla. (Source: SLV)

H W & F B Tompkins, architects

The Encyclopedia of Australian Architecture contains the following entry for architects H W & F B Tompkins:

H W & F B Tompkins, architects were established in 1898 when the brothers won a design competition for the Commercial Travellers Association CTA Clubhouse, 190 Flinders Street, Melbourne. Henry Harry William (1865-1959) and Frank Beauchamp Tompkins (c1867-1952) were born in England and educated in South Africa. They migrated to

Australia with their parents in 1886. Harry became an assistant architect to Richard Speight Jnr and Frank worked with a number of architects including Evander McIver and Nahum Barnet. By the mid-1890s Harry had entered a partnership, forming Speight & Tompkins of 493 Collins Street, Melbourne. He left the partnership in 1896 to take up a position in the Western Australia Public Works Department, but was retrenched in 1898 and returned to Melbourne and formed the partnership of H.W. & F.B. Tompkins.

The competition win established the firm and by the early 20th century, H W & F B Tompkins was a leading commercial firm. Their commercial work up to WWII reflects the three influences popular at the time: the Romanesque style popularised by such architects as H.H. Richardson in the United States during the late 19th century; the Baroque Revival of the early 20th century, popular in Chicago and San Francisco after 1908; and the Moderne or interwar functionalist style of the 1930s. Both Harry and Frank travelled to the United States and Europe, studying the latest trends in design and construction technology. They were the first architects in Melbourne to implement modern methods of steel frame construction and reinforced concrete in the Centre Way, Collins Street 1911 and the new Commercial Travellers' Association Clubhouse and Commerce House, 318-324 Flinders Street (1912). In 1913, the firm's association with Sidney Myer began with a warehouse building in Bourke Street, the first of many Myer commissions.

Harry Tompkins and Sidney Myer travelled in the United States visiting department stores, including the Emporium in San Francisco, which is reputedly the influence for the Myer Emporium in Bourke Street, Melbourne.

Harry Tompkins, the public face of the firm, was a prominent member of the RVIA; he was a council member (1905-), vice-president (1913) and president (1914-16). Harry was also president of the Federal Council of the AIA (1918-19) and mayor of Kew, the suburb in which he lived, for the same period.

The firm is one of the longest surviving in Victoria. In the 1950s it became Tompkins & Shaw when P.M. Shaw entered the partnership and then Tompkins, Shaw & Evans when Stan Evans joined. In 2003 it was acquired by Michael Davies Associates, forming a new firm, Tompkins MDA Group (Beeston 2012:707-708).

Henry Henningsen, builder

Hawthorn builder and contractor Henry Henningsen practised across Victoria, from Melbourne and inner suburbs to outer regions including Geelong, Benalla and Tallangatta. Henningsen worked with many prominent architects including Bates Peebles and Smart, H W and F B Tompkins, and Nahum Barnet. Use of brick is predominant throughout his career, as seen in the Hotel Lindrum (HO1034) and warehouses still surviving in Melbourne CBD and the inner suburbs.

In 1909, Henningsen was the president of the Master Builders' Association, whose 175 members were employers of building labourers (Age 30 October 1909:5). Based in Hawthorn, Henningsen served as Mayor of Hawthorn in 1908-09, and was a Councillor until 1914 when he retired due to ill-health (*Camberwell and Hawthorn Advertiser* 21 February 1914:5).

SITE DESCRIPTION

The three -storey plus basement building at 87-89 Flinders Lane stands between two laneways, Duckboard Place and Malthouse Lane. The substantial building with no setback extends to some depth along both these laneways and as such, can be viewed in three dimensions. The façade is modelled on the American Romanesque style popularised by such architects as H H Richardson in the United States during the late nineteenth century and followed in Melbourne by architects H W and F B Tompkins and Nahum Barnet.

Three brick arches extend the full height of the façade with deeply recessed windows set between. Stucco capitals and arched mouldings; spandrels beneath the windows and a horizontal string course provide further decorative detail to the façade. The side elevations have regularly spaced small windows set into the plain brick walls. The front windows on the upper two floors are timber framed casement sashes.

INTEGRITY

87-89 Flinders Lane was refurbished in 1973 and 1998. Changes have included the replacement of ground floor glazing and the extension to the floor level of two windows. The parapet cornice has been removed (Figure 2) and render finish removed from the ground floor. The Malthouse Lane elevation has been further modified to provide additional windows. The upper floors are more intact.

COMPARATIVE ANALYSIS

A number of brick warehouses that are similar to 87-89 Flinders Lane were constructed in Flinders Lane during the Edwardian era. The building compares well with the following examples, drawn chiefly from the Central City Heritage Review 2011, being of a similar use, scale, location and creation date. The below images and descriptions are provided by CoM Maps unless stated otherwise.

Selected examples of Edwardian brick warehouse include:

Richard Allen & Son warehouse, 164-170 Flinders Lane (HO579, Significant in HO506 Flinders Lane Precinct)

At 164-170 Flinders Lane, the front section of the old Richard Allen & Son warehouse building has been retained to a depth of 18 metres and refurbished. The showroom on the corner of Russell Street and Flinders Lane was reconstructed in 1997, and refurbished in 2000.



Figure 3. 164-170 Flinders Lane, now rear of 161 Collins Street, constructed c1910.

161-163 Flinders Lane (Contributory in HO506 Flinders Lane Precinct)

Seven-storey brick warehouse with basement built in 1909. Refurbished and sub-divided into serviced apartments in 1997.



Figure 4. 161-163 Flinders Lane constructed 1909.

179-181 Flinders Lane (Significant in HO505 Flinders Gate Precinct, Significant in HO506 Flinders Lane Precinct)

A four-storey brick former warehouse with ground floor and basement showrooms. Built for Henry Spink and William John Allee for 6,500 pounds in 1911. In 1925 the building was severely fire damaged with all of the tenants' stock destroyed. It was refurbished in 1989 and the top levels were converted to offices.



Figure 5. 179-181 Flinders Lane constructed 1911.

The firm of H W & F B Tompkins made a substantial contribution to Melbourne's architectural character from the late 1890s to the 1950s. In 1913, after several major commissions (see below), the firm formed a commercial association with Sidney Myer commencing with a warehouse in Bourke Street in 1913, the first of many commissions for the entrepreneur.

Other buildings by H W & F B Tompkins include:

Australian Traveller's Association, 318-324 Flinders Street (HO659)

A 10-storey steel framed concrete hotel of 350 rooms with a basement. Designed in the Neo-Baroque style and built by F E Shillabeer in 1913 for the Australian Travellers Association. It features a facade of polished granite to the first storey and the use of decorative glazed cream brick work.



Figure 6. Australian Traveller's Association (now Rendezvous Hotel) constructed 1912.

Commercial Travellers Association CTA Clubhouse, 172-192 Flinders Street (Significant in HO505 Flinders Gate Precinct, Significant in HO506 Flinders Lane Precinct)

The former Travellers Association Building is a six-storey brick building designed in the Queen Anne Revival style and built by Clements Langford in 1898.



Figure 7. 172-192 Flinders Street, Commercial Travellers Association CTA Clubhouse constructed 1898.

Centreway Arcade, 259-263 Collins Street (HO594, Significant in HO502 The Block Precinct)

A seven-storey rendered brick office and retail building which includes an arcade, shops and showrooms in the basement and on level one. Designed by H W & F B Tompkins in the Edwardian Baroque style and built by Clement Langford in 1913. One of Melbourne's first steel framed buildings.



Figure 8. Centreway Arcade constructed 1913.

87-89 Flinders Street is a fine example of the work of H W & F B Tompkins in the Romanesque manner, one of three major styles favoured by the firm. It is representative of their work between the Queen Anne style of the 1890s and the Edwardian Baroque from c1910.

ASSESSMENT AGAINST CRITERIA

✓ **CRITERION A**
Importance to the course or pattern of our cultural or natural history (historical significance).

CRITERION B
Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).

CRITERION C
Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).

✓ **CRITERION D**
Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).

✓ **CRITERION E**
Importance of exhibiting particular aesthetic characteristics (aesthetic significance).

CRITERION F
Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)

CRITERION G
Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).

CRITERION H
Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

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PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985** D

**Central City Heritage
Study 1993** C

**Review of Heritage
overlay listings in the
CBD 2002** Ungraded

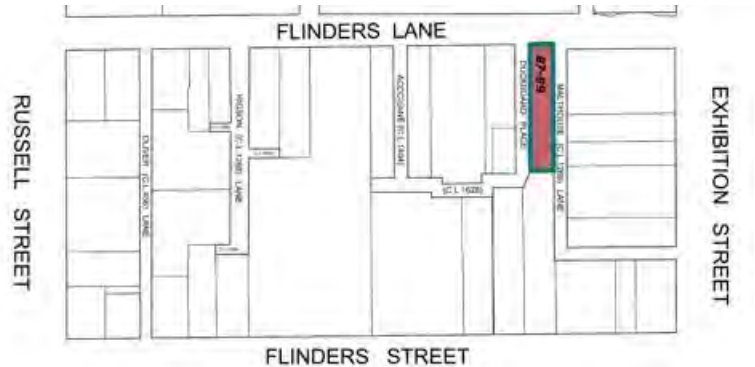
**Central City Heritage
Review 2011** Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Swiss Club of Victoria



PS ref no: Interim HO1270



What is significant?

87-89 Flinders Street, now used by the Swiss Club of Victoria but built as a warehouse and manufacturing premises in 1906.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing;
- The building's high level of integrity to its original design;
- The pattern and size of fenestrations to its Flinders Lane façade (including ground level);
- The full height brick arches with deeply recessed timber framed windows;
- Stucco capitals and arch mouldings;
- Spandrel panels beneath windows; and
- Decorative horizontal spring course.

Later changes including the replacement of the ground floor glazing, the extension to the floor of two windows and additional windows added to the Malthouse Lane façade are not significant.

How it is significant?

87-89 Flinders Street is of local historic, representative and aesthetic significance to the City of Melbourne.

Why it is significant?

87-89 Flinders Lane, built in 1906, is historically significant for its association with clothing manufacturing in the City of Melbourne, particularly in the Flinders Lane area. The building is significant for its use as a factory and warehouse for clothing importers and manufacturers Britannia Tie Co and P C Warland Pty

Ltd until 1921. Clothing manufacturing continued at the premises from 1922 with occupation by Parisian Mantle Manufacturers, J Sackville, and machinery indenters Dyer & Phillips. The building at 87-89 Flinders Lane is significant as an integral part of the important clothing and textile industry that was based around Flinders Lane and that provided an important source of employment for women in the city. (Criterion A)

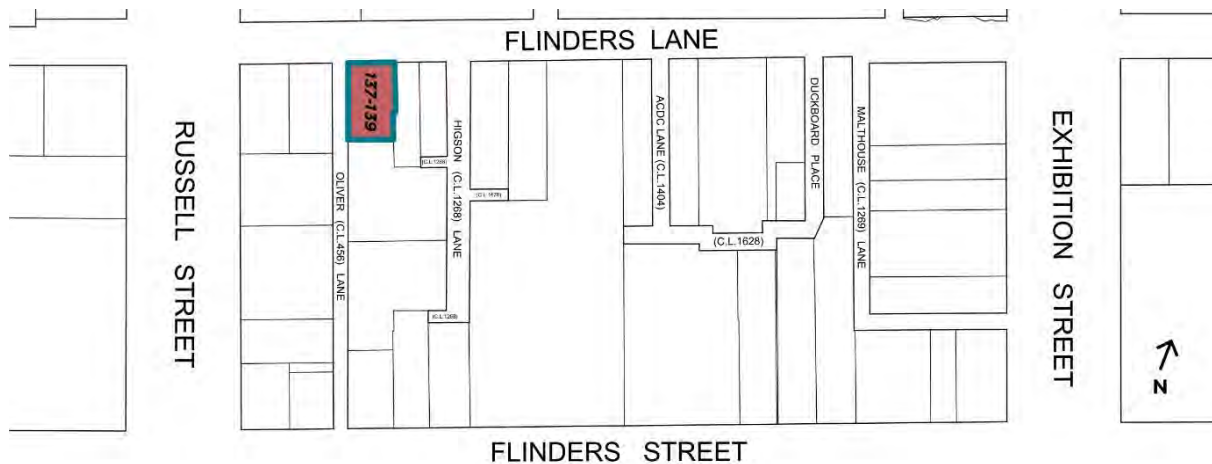
87-89 Flinders Lane is fine early twentieth century warehouse and manufacturing premises; a building typology once common throughout the central city. It is also a fine example of the work of prominent commercial architects H W and F B Tompkins, a leading commercial firm who made a substantial contribution to the Melbourne city centre from the late 1890s to the 1950s. H W and F B Tompkins through their work for Myer, the Australian and Commercial Travellers Associations, and at Centreway Arcade, were the first architects in Melbourne to implement modern methods of steel frame construction and reinforced concrete in 1911. The building in Flinders Lane is a fine example of their American Romanesque style as applied to commercial buildings. (Criterion D)

Aesthetically, 87-89 Flinders Lane is significant as a three-storey urban form with both side elevations of red brick walls visible from the adjoining laneways. The façade has aesthetic significance for its three storey arches outlined in stucco mouldings and the deeply recessed windows with stucco spandrels to the upper two floors. (Criterion E)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Former Bank of New South Wales
STREET ADDRESS	137-139 Flinders Lane Melbourne
PROPERTY ID	103929



SURVEY DATE: January 2018		SURVEY BY: Context	
HERITAGE INVENTORY	H1822-1933	EXISTING HERITAGE OVERLAY	No
PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
		FORMER GRADE	C
DESIGNER / ARCHITECT / ARTIST:	Not known	BUILDER:	Not known
DEVELOPMENT PERIOD:	Interwar Period (c1919-c1940) Interwar Period (c1919-c1940)	DATE OF CREATION / MAJOR CONSTRUCTION:	1924

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Stage 2 Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a commercial city	5.3 Developing a large, city-based economy 5.5 Building a manufacturing capacity

LAND USE

HISTORIC LAND USE	
Archaeological block no: 63	Inventory no: 933
Character of Occupation: Commercial	
Fourth land sale, Block 7 Allotment 20, Thomas Walker.	
1866 Cox	Building
1877 Dove	Rudds Commercial Hotel, yards & two sheds
1880 Panorama	
1888 Mahlstedt	Three-storey hotel, Commercial Hotel
1905/6 Mahlstedt	Commercial Hotel
THEMATIC MAPPING AND LAND USE	
1890s	Commercial
1920s	Commercial
1960s	Commercial

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

137-139 Flinders Lane, the former ES&A and Bank of New South Wales, now Flinders Lane Gallery dates from 1924 and is a reinforced concrete building with Gothic revival styling.

HISTORICAL CONTEXT

Building a Commercial City

Developing a large, city-based economy

After the discovery of gold in 1851 provided financial stability to the colony of Victoria, over the years the locality bounded by Flinders Street, William Street, Bourke Street and Elizabeth Street became the financial heart of the city. Banks, insurance companies, building societies and shipping companies were established and many of them erected substantial buildings (Savill 1987).

By the 1850s the commercial and financial district had gravitated to Collins Street, under the influence of the wharf, the Western Market and Customs House. Four banks were in Collins Street, near Bank Place, in 1850. By this time other professional and business uses were also evident, including legal chambers. Several impressive buildings were constructed in the boom of the 1880s and in the first decades of the twentieth century (MPS:50).

As well as managing locally generated income, the banks provided significant overseas capital, principally from Britain, to finance public projects and private investment. But the boom of the 1880s saw over-borrowing and overspending on building projects. Economic depression in the early 1890s saw many banks and land companies close their doors as British capital was rapidly withdrawn. The city recovered to some extent in the early twentieth century, and Melbourne underwent further development in its new role as the nation's capital. The Great Depression followed in the 1930s, which marked another period of decline. Nevertheless, during the long boom of the postwar period that followed, the bulk of Australia's leading public companies had their headquarters in Melbourne. Melbourne remained the financial centre of Australia, a role it maintained until the late twentieth century (Context 2012:33).

SITE HISTORY

Flinders Street and Flinders Lane were named after navigator Captain Matthew Flinders who claimed the discovery of Port Phillip in April 1802 aboard the Investigator, but who later conceded the prior arrival of Acting Lieutenant John Murray on the Lady Nelson in February 1802 (RHSV). Flinders Lane was also known as Little Flinders Street until 1948 when the Melbourne City Council declared Flinders Lane the official name (*Age* 8 June 1948:2).

The subject site is located on Crown Allotment 20 of Block 7 (Fels, Lavelle and Mider 1993). By the 1880s, there was a three-storey hotel known as 'Commercial Hotel' on the site (Figure 1). By 1910, the Commercial Hotel was converted to a furnished apartment (Mahlstedt Map Section 1, no 6, 1910).

In 1922, the Bank of New South Wales (NSW), then owner of the subject site, sold the building 'at a very substantial profit' of £1687, and bought a new building at 253 Flinders Lane (*Herald* 2 November 1922:22; *Daily Telegraph* (NSW) 5 June 1922:7). Following the Bank of NSW, Eastaugh Ltd, men's wear manufacturer, owned the property for about a year in 1923 (RB 1922/3).

In 1924, the former brick warehouse was demolished, and a new three-storey reinforced concrete bank with a basement was erected for the new owner, the English, Scottish & Australian (ES&A) Bank (RB 1924/5). In 1924, the Sands & McDougall Directory of Victoria noted that construction was occurring on the site and by late 1924, a new branch of the ES&A Bank opened on the site (Figure 1) (S&Mc 1924). In 1925, the Net Annual Value (NAV) of the newly built building was £1100, a significant increase from the previous year's NAV of £350 (RB 1923/4-1924/5). The bank occupied

the ground floor premises and the basement was occupied by tenants A Beckett, piano importers. By 1927, the first floor was subsequently occupied by Mutual Manufacturing Co Pty Ltd, knitted goods manufacturers, and the second floor by Young & Co, mantles and robes manufacturers (S&Mc 1925-27).

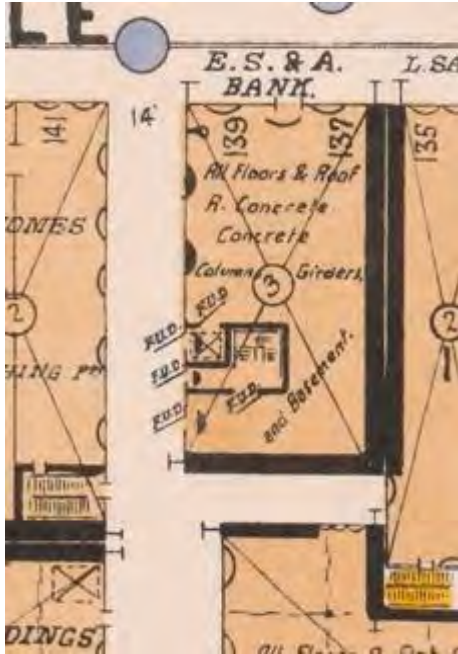


Figure 1. Showing the subject building (occupied by ES&A Bank) in 1925 shortly after the completion in 1924. (Source: Mahlstedt Map Section 1, no 6, 1925)

In April 1927, ES&A Bank left the premises, selling the property back to the Bank of New South Wales (owner of the site in 1922) at a price of £12,000 (*Herald* 20 April 1927:20). By the end of the year, the Bank of NSW, which had been occupying a small building opposite, moved in to the subject building (*Herald* 20 April 1927:20; S&Mc 1928). It is likely that the current lettering 'Bank of New South Wales' was added around this time.

137-139 Flinders Lane was known as the 'eastern branch' of the Bank of NSW, which amalgamated with the Commercial Bank of Australia to form Westpac Banking Corporation in 1982. The branch operated up until February 1984, when the branch closed (*Age* 21 March 1984:35). On 4 April 1984, the three-storey building was sold by public auction, as part of the new Westpac's rationalisation program. According to the auction notice, the ground floor banking chamber was vacant, with the basement and two upper stories occupied by businesses at that time (*Age* 21 March 1984:35).

After the property sale in April 1984, the ground floor showroom and warehouse space were advertised for long-term lease (*Age* 28 July 1984:78). It is unclear who occupied the ground floor premises during the late 1980s, as multiple businesses had been addressed as 137-139 Flinders Lane, without references to particular floor levels. In the late 1980s, Intercity Appliances, kitchen appliances sellers, D & P Manufacturers, ladies clothing manufacturers, and Holmes Commercial Printing, printers, were tenants at 137-139 Flinders Lane (*Age* 17 September 1988:241; 21 January 1989:196; 11 July 1989:5).

By November 1989, Flinders Lane Galley was established on the ground floor of the subject building and continues to operate today (*Age* 10 November 1989:35; CoMMaps).

SITE DESCRIPTION

137-139 Flinders Lane is located in the Flinders Street East Precinct.

137-139 Flinders Lane occupies a corner site to Oliver Lane and has two frontages. The building comprises three storeys and a half basement to Flinders and Oliver Lanes. The half basement is lit from windows at pavement level along Oliver Lane. The side of this building contributes to the character of Oliver Lane. To Flinders Lane the front elevation is symmetrical, with a central door with hood moulding flanked by a pair of Gothic arch-headed windows. The windows have mullions above the transom and plate glass below. Mullions may have been removed from these panes. To the side elevation the same type of windows have industrial style metal frames with obscure glazing.

In the nineteenth century the gothic revival was deemed one of the highly appropriate styles for banks and this continued into the twentieth century with an entirely new construction material. Rather than being constructed from stone or brick, 137-139 Flinders Lane is of reinforced concrete walls with all the reveals and mouldings formed from concrete. The façade is enlivened by the way in which the large multi-paned windows form the predominant feature. A continuous hood moulding links these together visually. Upper floor windows have additional framing as gothic arches whilst the middle floor has square window heads. Spandrels of moulded concrete form a feature under the top floor windows.

137-139 Flinders Lane was built to accommodate a bank on one level with offices above, formerly occupied by various small manufacturers associated with the textile trade in Flinders Lane. There is a basement level that was/is also separately tenanted. There are steps of marble that have a curve profile with a central handrail. The entry is a notable feature of the building. The main room on the ground floor has a timber parquet floor.

INTEGRITY

No.137-139 Flinders Lane is highly intact. External doors to the recessed entrance porch have been replaced by a roller shutter and the airlock with high level glazing around the entry doors appears to be a recent addition. The building interior has not been inspected but online images show that the entry and main banking area appear to remain as the gallery space.

COMPARATIVE ANALYSIS

The interwar bank forms a prominent part of the landscape of the Hoddle Grid. Amongst the examples below are several State listed banks and some with Heritage Overlays. Banking buildings of the early 1920s were generally three to four storeys but by the 1930s had grown to ten storeys or more. The styles deemed appropriate included the Greek and Renaissance revival styles whilst employing concrete structures and sometimes terra cotta faience as facing. Later buildings in the 1930s started to express themselves through modernism.

The following examples are comparable with 137-139 Flinders Lane being of a similar original use, scale, style and/or construction date. The images and descriptions are provided by CoMMaps unless stated otherwise, with images dating from c2000 or later.

Former State Savings Bank, 615-623 Collins Street, 1923-1924 (HO1013)

615-623 Collins Street is a five-storey rendered brick former State Savings Bank building, designed in the Neo-Renaissance style by Peck & Kemter.



Figure 2. 615-623 Collins Street constructed 1923-24.

Former Union Bank, 351-357 Elizabeth Street, 1926-1927 (HO1019)

351-357 Elizabeth Street, a five-storey rendered brick bank building, was built for the Union Bank by Thompson & Chalmers in 1928, to a design by Butler & Martin in the Commercial Palazzo style.



Figure 3. 351-357 Elizabeth Street constructed 1926-27.

Former ES&A Bank, 219-225 Swanston Street, 1928 (VHR H0390; HO749)

The Former ES&A Bank at 219-225 Swanston Street was built in 1928 to a design by Hare, Henry & Hare. It is of architectural significance as a notable example of the popular 1920s Greek neo-Classical revival style. The Greek Revival style was favoured by the ES&A Bank and a number of its branches were built in this style in the 1920s. This appears to be the most intact example of the style. The style emphasises solidity in its classical references, a characteristic no doubt valued by a bank.



Figure 4. 219-225 Swanston Street constructed 1928. (Source: VHD)

Former Bank of New South Wales, 190-192 Bourke Street, 1929 (VRH H799; HO540)

The former Bank of New South Wales building by Godfrey & Spowers is architecturally significant for exemplifying the architectural eclecticism and exoticism of the late 1920s and early 1930s. It is very unusual in its application of Egyptian motifs. It is an excellent example of the use of decorative terracotta faience, which was a popular cladding material in the interwar years.



Figure 5. 190-192 Bourke Street constructed 1929.

77-89 William Street Western House, 1939 (HO753)

Nine-storey concrete office building with a sandstone faience. It contains a ground floor banking chamber. It was designed by Meldrum & Noad in the Neo-Renaissance Modernist style and built in 1939. It received the Victorian Institute of Architects Street Architecture Medal in 1942.



Figure 6. 77-89 William Street constructed 1939.

Royal Banking Chambers, 287-301 Collins Street, 1939-41 (HO597)

A 10-storey brick office building with a ground floor banking chamber. Designed by Stephenson & Turner in the Moderne style and built for the ES&A Bank in 1941. It features a very fine stone facing finish of Stawell Freestone. It is thought that the building was the first air-conditioned commercial building built in Melbourne.



Figure 7. 287-301 Collins Street constructed 1939-41.

Former Commonwealth Bank of Australia, 219-225 Bourke Street, 1939-41 (VHR H2264; HO990)

The former Commonwealth Bank of Australia building is architecturally significant as an outstanding and substantially intact example of the Commercial Palazzo type which also reflects the progressive styles of the 1930s: the abstraction of classical elements of the Stripped Classical style, and the dominant vertical expression of the Streamlined Moderne style.

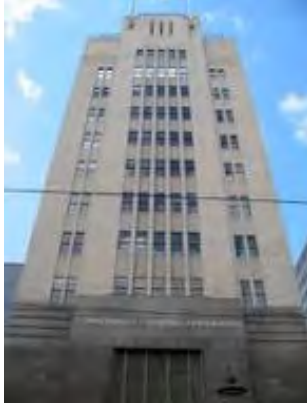


Figure 8. 219-225 Bourke Street constructed 1939-41. (Source: VHD)

137-139 Flinders Lane is an example of an interwar bank, built at a time when new construction materials were favoured but scale and styling was not yet modern. It is unusual in its Gothic revival style amongst a group of classically derived buildings and is of a high integrity in terms of form and scale, like the examples above. It is comparable to both 615-623 Collins Street and 351-357 Elizabeth Street, (examples of interwar bank buildings) both of which are included in an HO.

ASSESSMENT AGAINST CRITERIA

✓	<p>CRITERION A Importance to the course or pattern of our cultural or natural history (historical significance).</p>
	<p>CRITERION B Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).</p>
	<p>CRITERION C Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).</p>
✓	<p>CRITERION D Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).</p>
✓	<p>CRITERION E Importance of exhibiting particular aesthetic characteristics (aesthetic significance).</p>
	<p>CRITERION F Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)</p>
	<p>CRITERION G Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).</p>
	<p>CRITERION H Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).</p>

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

137-139 Flinders Lane is also contributory to the Flinders Lane East Precinct.

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PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985**

D

**Central City Heritage
Study 1993**

C

**Review of Heritage
overlay listings in the
CBD 2002**

Ungraded

**Central City Heritage
Review 2011**

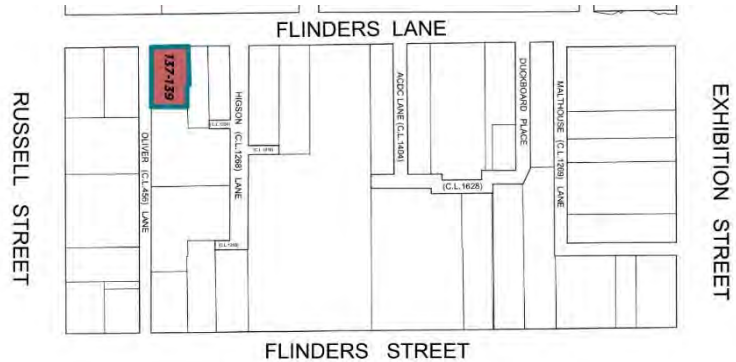
Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Former Bank of New South Wales



PS ref no: Interim HO1292



What is significant?

137-139 Flinders Lane, the former ES&A Bank, constructed in 1924.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing;
- The building's very high level of integrity to its original design;
- The recessed entrance porch, concrete reveals, spandrels and mouldings;
- The pattern and size of fenestration and large multi-paned windows with continuous hood moulding;
- The gothic window arches on the upper levels and square window heads on the middle level;
- Central door with hood moulding and gothic arch;
- The industrial style metal frame windows and pavement level windows on the Oliver Lane façade;
- and
- The timber parquetry floor, marble steps, central handrail, and highlight window in the entry foyer.

Later alterations are not significant.

How it is significant?

137-13 Flinders Lane is of local historic, representative and aesthetic significance to the City of Melbourne.

Why it is significant?

The former ES&A Bank at 137-139 Flinders Lane is historically significant as a demonstration of the recovering city economy after the depression of the 1890s. It is clearly associated with this period which

saw many banks close, followed by a sustained recovery period from the early 1900s until the late 1920s, helped by Melbourne's brief role as the nation's capital until 1913. (Criterion A)

137-139 Flinders Lane is a notable example of an interwar bank building. Like many other banks of the period it adopts a revival style, though unusually it employs the Gothic rather than the more common Greek or Renaissance revival styles. While it is conservative in adopting a nineteenth century idiom, the design is expressed through the medium of reinforced concrete, a relatively new construction material at the time. (Criterion D)

137-139 Flinders Lane is aesthetically significant for its contribution to the Flinders Lane East Precinct and its contribution to Oliver Lane. It is aesthetically significant for the manner in which reinforced concrete is moulded and articulated to form features of the Gothic style. This is evident in the windows and their hood mouldings and the moulded spandrel panels beneath the top floor windows. Other attributes of aesthetic value include the generous recessed entry with marble steps. (Criterion E)

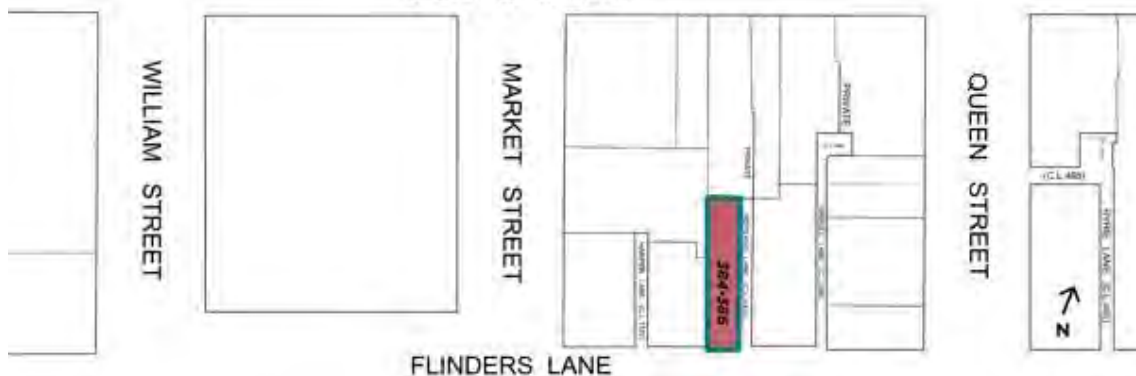
Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Former Gordon Buildings
STREET ADDRESS	384-386 Flinders Lane Melbourne
PROPERTY ID	603904



COLLINS STREET



SURVEY DATE: May 2017		SURVEY BY: Context Pty Ltd	
HERITAGE INVENTORY	H7822-1796	EXISTING HERITAGE OVERLAY	No
PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
		FORMER GRADE	C
DESIGNER / ARCHITECT / ARTIST:	Frederick Williams (original and additions)	BUILDER:	Harry Lockington (1885) Robert Fraser (1888)
DEVELOPMENT PERIOD:	Victorian Period (1851-1901)	DATE OF CREATION / MAJOR CONSTRUCTION:	1885, 1888

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Stage 2 Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a commercial city	5.3 Developing a large, city-based economy
	OTHER SUB-THEMES
8 Living in the city	8.2 Housing the population
3 Shaping the urban landscape	3.2 Expressing an architectural style

LAND USE

HISTORIC LAND USE	
Archaeological block no: 51	Inventory no: 796
Character of Occupation: Commercial, Residential	
Land acquired by W Powell 1837, Block 3 Allotment 12.	
1839 Williamson	Building.
1837 & 1843 Hoddle	
1852 Proeschel	
1855 Kearney	
1866 Cox	
1877 Dove	Four buildings, one to four storeys; house, J William, Coopers Yard, Iron shed, S D Carter
1880 Panorama	Current building constructed 1885.
1888 Mahlstedt	One four-storey building. 'Gordon Buildings'.
1905/6 Mahlstedt	One four-storey building. 'Gordon Buildings'.
THEMATIC MAPPING AND LAND USE	
1890s	Residential, Commercial
1920s	Residential, Commercial
1960s	Commercial

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: refer to map

SUMMARY

Built as office accommodation by biscuit manufacturer, Swallow & Ariell, the distinctive four storey (plus basement) office building was originally built as two storeys (plus basement) in 1885, with an additional two storeys built in 1888. The cohesive arrangement of elements such as arched windows openings, moulded cornices and parapet detailing results in an integrated 'Italianate' façade.

HISTORICAL CONTEXT

Building a commercial city

Developing a large, city-based economy

From 1883 to 1889 Melbourne witnessed an extraordinary boom in real estate prices and land speculation, making it an opportune time to invest in property, including offices.

By 1889, the value of land in parts of central Melbourne was as high as that in London. In central Melbourne, huge sums of money were poured into opulent new office buildings, many for the building societies, land banks and mortgage companies that were driving the boom (Gillespie 2008).

The boom was followed by a significant economic depression in the early 1890s.

Living in the city

Housing the population

Flats have never been a dominant feature of Melbourne's urban landscape.

Until the 20th century there were no purpose-built flats in the city other than the failed philanthropic development Gordon House in Little Bourke Street. Melbourne's first purpose-built block of flats was Melbourne Mansions in Collins Street, built in 1906. Other notable pre-World War I blocks included Whitehall in Bank Place, Fawkner Mansions in South Yarra and Cliveden Mansions, created out of Sir William Clarke's former home Cliveden in East Melbourne.

Flats became more common in the interwar years, as some Melburnians developed a taste for urban over suburban life, while others were attracted to the convenience that the small, sometimes serviced, flat offered. Mostly built in St Kilda Road and Queens Road, South Yarra and Toorak, East Melbourne, Hawthorn, St Kilda and Parkville, these flats are predominantly in low-rise blocks of two or three storeys. Individual flats were almost always rented, rather than owned, making blocks of flats a lucrative form of investment in the aftermath of the stock market crash and depression. Tenants were mostly single men and women, childless couples, widows and those thought bohemian (O'Hanlon 2008).

Other residents embraced inner city living by residing in commercial premises converted to flats.

Shaping the urban landscape

Expressing an architectural style

The 1880s' property boom also made its mark on commercial design in the central city, with a new, bold generation of architects. Boom Style commercial buildings, such as William Pitt's Windsor Hotel and the Block Arcade, were characterised by increasingly rich decoration, Mannerist exaggeration of elements like keystones and segmental pediments, and the use of multiple classical motifs overlaid one atop the other. While Renaissance and Italianate influences are most closely associated with Melbourne's Boom Style, a similar treatment of materials and facades was used for Gothic Revival buildings such as William Pitt's Melbourne Stock Exchange and Rialto Building (both on Collins Street). Another variant was influenced by the English Gothic Revivalists, Augustus Pugin and John Ruskin, who called for a return to an 'honest' style by use of medieval design principles. Their

influence is seen in William Pitt and William Wardell's ES&A (now ANZ) Bank at 376-390 Collins Street, and English architect William Butterfield's St Paul's Cathedral (Context, 2012:14).

SITE HISTORY

The land on which the subject building stands (Block 3 Allotment 12) was acquired by W Powell in 1837. By 1877, the site comprised four buildings of one to four-storeys; a house owned by J William; and a coopers yard and iron shed owned by S D Carter (Fels, Lavelle & Mider 1993).

The current building at 384-386 Flinders Lane (originally 49 Flinders Lane West) was constructed in 1885 as an office block by Swallow & Ariell, Australia's first biscuit company (MCC registration no 1404, as cited in AAI, record no 76436). Designed by architect Frederick Williams and constructed by Harry Lockington, it is likely that the building was initially built as a two-storey building with a semi-basement. The building, named the Gordon Buildings, became fully tenanted soon after its completion, with its rooms being occupied by offices of importers, brokers and contractors (S&Mc 1888).

In August 1888, Frederick Williams, who designed the original building, invited tenders for two additional storeys and alterations. The additions were commissioned by a Mr Derham, who is presumed to be Frederick Thomas Derham, one of the co-managers of Swallow & Ariell after the founder Thomas Swallow's retirement in November 1887 (*Age* 19 November 1887:13). The additions to the building were constructed by Parkville builder Robert Fraser (MCC registration no 3584).

It is unclear how the name 'Gordon Buildings' was derived. Like other 'Gordon' buildings in and around Melbourne constructed in 1885, it is likely to have been named after Britain's Major General Charles George Gordon, who died in January 1885 (*Age* 3 September 1885:5; *Geelong Advertiser* 23 June 1885:3). Around 1907, the name of the building was changed to 'Goodwin Chambers' (S&Mc 1892-1907).

The Gordon Buildings were tenanted from the end of 1885 (*Age* 5 December 1885:16). The building was furnished with high-standard interior features. It was described as being very well-lit and adorned with a white enamelled staircase and a crimson carpet (*Argus* 9 January 1886:6; *Argus* 29 May 1886:6; *Critic Adelaide* 6 August 1898:28). An 1890 advertisement in the *Age* noted that the building contained 'several spacious, magnificently lighted rooms, in suites or singly...suitable for agents, artists' studios...etc' (*Age* 11 January 1890:7). The tenants during the first years were mainly agents (S&Mc 1892).

As one of the tallest buildings in the block, the Gordon Buildings had the benefit of natural light (Mahlstedt Map no 3, 1888), attracting an architect and a number of artists to take up rooms. A group of prominent Australian painters, Arthur Streeton, Charles Conder and Charles Douglas Richardson, who were involved in the milestone exhibition *9 x 5 Impression* in 1889, had their studios in the Gordon Buildings in 1890. This group of artists showcased their artworks in their studios for private viewers over a weekend before the Victorian Artists' Exhibition in 1890 (*Age* 14 March 1890:5; *Melbourne Punch* 20 March 1890:16). Richardson remained in his studio at the Gordon Buildings until c.1891-92 (S&Mc 1892). An Italian-born architect Luigi Boldini, and other artists, including Sara Southern, Alexander Colquhoun and A E Aldis, had their studios at the Gordon Building during the same period (S&Mc 1892-1893).

In 1890, the Gordon Building was advertised for sale and described as a

splendid four-story brick and cement edifice...containing 44 lofty and well-ventilated offices, all well-lighted, and fitted with modern conveniences, also a large and dry basement, the whole producing £1944 per annum (Argus 6 November 1890:2).

Although the building was primarily designed for office use, from the 1890s it became known as one of the 'city flats', with people, especially women, joining the crowd who lived in city apartments (*Critic Adelaide* 6 August 1898:28; *Australian Town and Country Journal* 4 May 1901:45). Until 1918, the upper storeys of the Gordon Building were used mostly for residences, with the tenants being mostly women (S&Mc 1896-1918). By 1923, however, the upper storeys had reverted to office use, and were occupied by agents and other businesses.

Refurbished in 2012-13 to house bars on the rooftop and in the basement, a new sign, 'A B Wine Tonic Stores', was installed under the top eave. The sign possibly refers to the wine and spirits trader, Arnold Bros, who once occupied offices on the ground floor in the 1920s (S&Mc 1920-25). It appears that the signage was originally located elsewhere on the building (Figure 1).



Figure 1. An aerial view of former Gordon Building (in red outline), shown in a section of Around Market Street, c.1945, by C D Pratt. (Source: SLV).

Frederick Williams, architect

Arriving in Australia in 1857, Frederick Williams became a councillor (1875-1886) and mayor (1880) of Sandridge Council (Port Melbourne). He commenced his career as an architect and surveyor in 1869 and was engaged in erecting numerous buildings in the city, suburbs and country. He designed many buildings in Port Melbourne including Excelsior Hall, the Holy Trinity Church Hall and Graham's Family Hotel. He also designed the extension to Swallow & Ariell's biscuit factory on the corner of Rouse and Stokes streets, Sandridge (Port Melbourne) as well as its office and counting house on the opposite side of Stokes Street (Gee 2010).

Williams was chosen as the Sandridge Council's representative on the Melbourne Tramways Trust and served in that capacity until 1886, when he retired from council. He was appointed architect to the

Modern Permanent Building Society in 1883. His offices were at 76 Collins Street west and his private residence was in Brighton (Gee 2010).

SITE DESCRIPTION

384-386 Flinders Lane is located on the northern side of Flinders Lane, (on the corner of Moylans Lane), between Queen Street and William Street. Originally built as two storeys (with half basement) in 1885, an additional two storeys were added in 1888. The addition was designed by the original architect and closely matches the original building in styling and scale. The completed building presents as an integrated four-storey rendered building in the Victorian 'Italianate' style. At all levels, consistent detailing runs across the Flinders Lane face and returns around a short section of the Moylans Lane facade.

At street level, a tall, wide, squared opening, with corner scrolls dominates the street frontage. An iron fence with double gates currently encloses the area. The face of the building is recessed behind this opening at the basement and first floor level, to provide basement access. Alterations have been made to the face of the basement and the first floor. Remaining details include the arched niches on the side walls and the segmented arched window openings to the first floor (although these have been extended to full height windows and windows and architraves have been replaced).

A separate arched entry foyer with no setback is located to one side of the wide opening. Non-original timber glazed doors have been installed with glazing bars to the door and highlight, arranged to provide decorative detail.

On the exterior of the building, a deep cornice marks the top two levels of the building, and a deep bracketed cornice demarcates the extent of the original building. Both cornices have matching scroll details at each end (one fronting Flinders Lane, the other end fronting Moylans Lane).

The upper three levels all have sets of arched window openings. The placement and dimensions of windows is consistent across all three level, but the detailing varies. On the second level (part of the original building), a row of identical rounded arched windows with key stones is intersected by a moulded string course at the spring point of the arches. Each opening is fitted with a timber framed sash window and has a bracketed sill. The third level has segmented arched openings with key stones and no cornice between the windows. The upper level has rounded arched openings with a deep cornice at springing point and a recessed rendered panel below each window.

The top of the building has a parapet with dentil cornice and flat name plate. Current lettering is not original.

INTEGRITY

The upper part of the building retains a high level of intactness. Openings at the street level are intact but alterations have been made to the basement and the windows of the first floor. The door and highlight window to the entry porch are of a high quality but not original. Lettering to the parapet is non-original.

COMPARATIVE ANALYSIS

Late Victorian buildings constructed during the 1880s contributed to shaping Melbourne into a commercial city. Often with multiple storeys, the use of these buildings varied, from housing walled office spaces to offering large workshop floors. Being influenced by the 1880s property boom, these

commercial buildings were popularly treated with Renaissance and Italianate styles, which are closely associated with Melbourne's Boom Style.

The subject building compares well with the following examples, drawn chiefly from the Central City Heritage Review 2011, being of a similar use, scale, location and creation date. The images are provided by CoM Maps unless stated otherwise.

Selected examples from the 1880s include:

Schuhkraft & Co Warehouse, 130-132 Flinders Street, 1885 (HO1036)

A five-storey cement rendered brick former warehouse. Designed by William Henry Ellerker in the Italian High Renaissance Revival style and built by Charles Butler in 1885 for the printers and stationers Schuhkraft & Co. Refurbished, converted and subdivided into residential units with ground level retail in 1995.



Figure 2. 130-132 Flinders Street constructed 1885.

George Robertson & Company Pty Ltd, 392-396 Little Collins Street, 1883 (HO1056)

A five-storey cement rendered brick former warehouse. The building was formerly one of a pair of warehouses (the other was at 384-390) built for George Robertson & Company Pty Ltd. This company was Melbourne's foremost book selling, publishing and stationery manufacturer. Mr Robertson, from Glasgow, commenced business in 1852 with a shop at 84 Russell Street. Authors associated with the company included Adam Lindsay Gordon, Henry Kendall, Marcus Clarke and Rolf Boldrewood.

Built on a base of Malmsbury bluestone it was designed by Twentymen & Askew in the Italian Renaissance style and completed in 1883. Refurbished, converted and subdivided into 31 residential and one ground level retail unit in 1995.

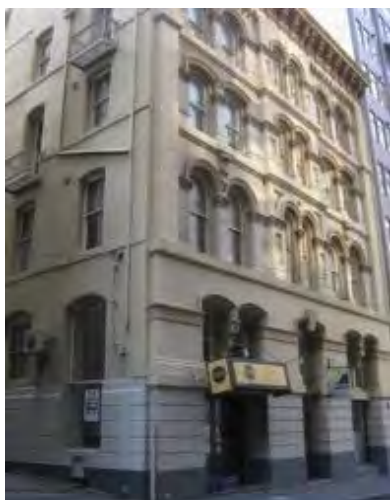


Figure 3. 392-396 Little Collins Street constructed 1882-3.

Edward Keep & Co Warehouse, 377-381 Lonsdale Street, 1889 (HO716)

A four-storey rendered brick warehouse. Designed by Twentyman & Askew and built for Edward Keep in 1889 by Waring & Rowden at a cost of £14,000. Mr Keep was the principal of the iron mongering firm Edward Keep & Co. This firm specialised in the importation of carriage materials and agricultural implements. In October 1899 the interior was destroyed by fire and stock with the value of £40,000 pounds was lost. It was rebuilt later that year. Refurbished and subdivided in 1987.



Figure 4. 377-381 Lonsdale Street constructed 1889.

Leicester House, 302-308 Flinders Lane, 1886 (HO646, Significant in HO502 Flinders Lane Precinct)

A six-storey brick and bluestone warehouse building. Designed by Thomas J Crouch and Nahum Barnet in a mix of styles, namely Renaissance with Gothic and Romanesque features. It was built by Page McCulloch in two stages in 1886 and 1909. It was subdivided into residential units and shops in 2000, 2004 and 2006.



Figure 5. 302-308 Flinders Lane constructed 1886.

384-386 Flinders Lane is a fine example of an Italianate style warehouse from the late Victorian era, comparable to former warehouses at 392-396 Little Collins HO1056) Street and 130-132 Flinders Street (HO1036) in terms of its scale and stylistic expression. It is an notable example of an early office/residential block type in the CBD.

ASSESSMENT AGAINST CRITERIA

✓	<p>CRITERION A Importance to the course or pattern of our cultural or natural history (historical significance).</p>
	<p>CRITERION B Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).</p>
	<p>CRITERION C Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).</p>
✓	<p>CRITERION D Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).</p>
✓	<p>CRITERION E Importance of exhibiting particular aesthetic characteristics (aesthetic significance).</p>
	<p>CRITERION F Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)</p>
	<p>CRITERION G Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).</p>
	<p>CRITERION H Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).</p>

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

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PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985** C

**Central City Heritage
Study 1993** C

**Review of Heritage
overlay listings in the
CBD 2002** Ungraded

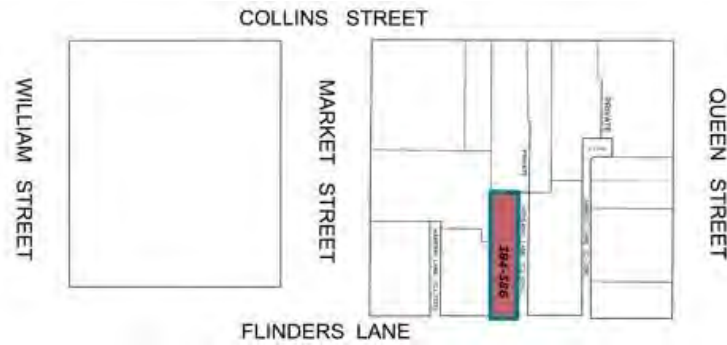
**Central City Heritage
Review 2011** Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Former Gordon Buildings



PS ref no: Interim HO1271



What is significant?

The former Gordon Building at 384-386 Flinders Lane, completed in 1885 (with additions completed in 1888) and designed by architect Frederick Williams.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing;
- The building's high level of integrity to its original design; and
- Consistent 'Italianate' style detailing to all levels across the Flinders Lane façade and short section of Moylans Lane, including the street level squared openings with corner scroll arched niches on side walls; major bracketed cornice and minor deep cornices both with scroll details at each end; all arched window openings to the upper levels including key stones, string courses, timber framed sash windows and bracketed sills and; parapet with dentil course and flat name plate.

Later changes to the basement and first floor windows, lettering to the parapet and the new entry door and highlight window to the entry porch are not significant.

How it is significant?

The former Gordon Building is of local historic, representative and aesthetic significance to the City of Melbourne.

Why it is significant?

The former Gordon Building at 384-386 Flinders Lane is historically significant for its association with office accommodation in the City of Melbourne. The building clearly demonstrates an association with the 1880s boom period, when the value of land in parts of central Melbourne was comparable with

London and there was a dramatic increase in the construction of opulent office buildings. Built by biscuit manufacturer, Swallow & Ariell, the Gordon Building was constructed in 1885 to house offices. The Gordon Building is historically significant for its association with prominent Australian Impressionist painters Arthur Streeton, Charles Conder and Charles Douglas Richardson, who had studios in the building and invited private viewings of their work prior to a major exhibition of their work in 1890. Artists Clara Southern and Luigi Boldini continued the painters' association with the Gordon Building by renting studios there until 1893. (Criterion A)

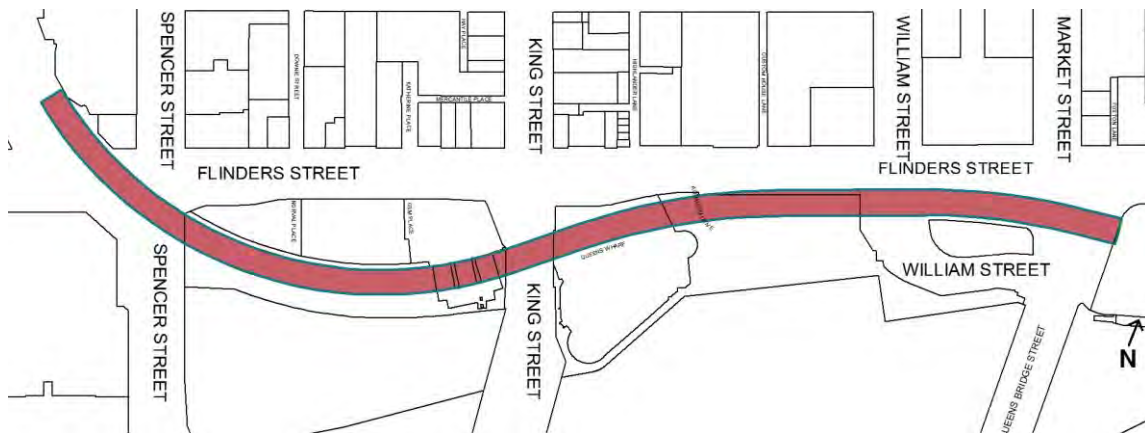
384-386 Flinders Lane is a fine example of an Italianate/Renaissance Revival style building from the late Victorian era, comparing well to former warehouses at 392-396 Little Collins (HO1056) Street and 130-132 Flinders Street (HO1036) in terms of its scale and stylistic expression. It is a notable and early example of an office/residential typology in the central city. (Criterion D)

The building is aesthetically significant for its integrated 'Italianate' façade resulting from an additional two levels designed by the original architect Frederick Williams, and its scholarly interpretation of elements such as the decorated parapet, the arched window openings, and the moulded cornices that also extend to the Moylans Lane façade. Aesthetic significance is demonstrated by the building's fine quality Italianate render work to the cornices, window mouldings and scrolls, and the unusual recessed ground floor with semi basement configuration and side stair. 384-386 is aesthetically significant for its high level of integrity. (Criterion E)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Flinders Street Railway Viaduct
STREET ADDRESS	Flinders Street Melbourne
PROPERTY ID	-



SURVEY DATE: October 2018

SURVEY BY: Context

HERITAGE INVENTORY	N/A	EXISTING HERITAGE OVERLAY	No
PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
		FORMER GRADE	Ungraded
DESIGNER / ARCHITECT / ARTIST:	William Henry Greene (1891), Frederick K Esling (1917)	BUILDER:	Mixer, Shaw & Dunlop and Robison Brothers, Campbell & Sloss Ltd
DEVELOPMENT PERIOD:	Victorian Period (1851-1901) Victorian Period (1851-1901)	DATE OF CREATION / MAJOR CONSTRUCTION:	1891, 1917

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Stage 2 Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here
HISTORIC THEMES	DOMINANT SUB-THEMES
6 Creating a functioning city	6.7 Transport

LAND USE

HISTORIC LAND USE	
Archaeological block no: -	Inventory no: Outside study area
THEMATIC MAPPING AND LAND USE	
1890s	Railway
1920s	Railway
1960s	Railway

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Considered likely to meet the threshold for State significance and recommended for nomination to the VHR.

Extent of overlay: Refer to map

SUMMARY

The Flinders Street Railway Viaduct is a key component of the Melbourne railway network. Constructed to connect Flinders Street Railway Station with Spencer Street Railway Station in 1888-91, the Viaduct was designed by William Henry Greene, chief engineer of the Victorian Railways and constructed by engineers Mixner, Shaw & Dunlop and Robison Brothers, Campbell & Sloss Ltd. It was expanded in 1911-17 by engineers Mephan Ferguson and Victorian Railways engineer, F K Esling, and again in the 1970s, to meet the increasing demands on Melbourne's railway network.

HISTORICAL CONTEXT

Creating a functioning city

Transport

In the 1850s, Melbourne was the gateway for people and goods bound for the prosperous Victorian goldfields. It became the focus of the government-owned Victorian Railways, with railway stations constructed near the wharves and the Customs House located on the Yarra River.

A suburban railway terminus was first established in the vicinity of today's Flinders Street Railway Station when the privately-owned Hobson's Bay Railway Co opened the first railway line in Australia between Flinders Street and Sandridge (Port Melbourne) in 1854. Today's Flinders Street Railway Station was constructed between 1901 and 1910 to a design by two Railways Department employees, architect James Fawcett and engineer H P C Ashworth (Gray 2008).

The Victorian Railways erected the first Spencer Street Railway Station, a timber and iron structure, in 1858, which was extended between 1860 and 1870 to include goods sheds, warehouses and yards. Railway lines were built from Spencer Street Station to suburbs in Melbourne's west and north and to country Victoria. The line to Geelong opened in 1857, to Ballarat via Geelong in 1862, to Bendigo in 1862, and to Wodonga in 1873. The arrival of the railway at Echuca via Bendigo in 1864 connected Melbourne to the riverboat trade along the Murray River, and a direct rail link between Melbourne and Sydney via Albury was completed in 1883. Spencer Street Station became the city terminal for Melbourne's country lines, and inter-colonial (and later its inter-state) rail services (Carroll 2008).

Like in Great Britain, the joint stock system was adopted to finance the railway development in the colony of Victoria, but it did not have enough investors interested in buying railway stock. As a consequence, Melbourne's suburban railway pattern remained static until the 1880s (Carroll 2008).

The government-owned Victorian Railways took over the privately-owned lines in 1878 and substantially extended the railway network in the 1880s and 1890s, an important factor in the city's infamous land boom of the late 1880s. Most of the railway building at this time was authorised by the *Railway Construction Act 1884* under the management of Thomas Bent, minister for railways. The Act, which authorised 66 separate lines, became known as the 'Octopus Act' (Carroll 2008). The greatest contributor to public expenditure in the 1880s was the Victorian Railways, which in the peak year of 1889 let £300 000 worth of contracts to Melbourne engineering firms. In 1888, the Victorian Railways opened its own workshops at Newport, where 548 steam locomotives were built between 1893 and 1951 (Churchward 2008).

Brian Carroll notes that

Important steps in the development of Melbourne's suburban network were the construction of a cutting under Swanston Street in 1865 to allow eastern-suburbs trains to run through to Flinders Street instead of terminating at Princes Bridge, and the construction of the viaduct between Flinders Street and Spencer Street stations, which passenger trains began to use in 1894...Major workshops for building and servicing locomotives and rolling stock developed first at Williamstown, then at Newport, where over 500 steam locomotives were built..At the height of their development, Newport Railway Workshops employed over 3000 people (Carroll 2008).

Melbourne was the first Australian city to electrify its suburban railway network. The first electrified service ran between Essendon and Sandringham on 28 May 1919, with electrification of the system continuing through to 1995 (Carroll 2008).

Plans for building an underground railway in Melbourne were discussed as early as 1929, but the proposed loop did not materialise until the end of the 1970s when work on the underground City Loop was well advanced. Trains began running on the Loop in 1981, when Museum (later renamed Melbourne Central) Station opened. The service improved with the opening of Parliament Station in 1983 and Flagstaff in 1985 (Carroll 2008).

In 1999 the Kennett Liberal Government contracted out the management of Melbourne's suburban train services to two private-enterprise companies: Connex and M>Train. In December 2002 M>Train walked away from its contract, and in April 2003 the Bracks Labor Government approved Connex as the single operator for the entire system (Carroll 2008).

In the early 2000s, Spencer Street Station was redeveloped as Southern Cross Station.

SITE HISTORY

Located near the swamp to the west of Batman's Hill, in 1837 the north bank of the Yarra River near the corner of Flinders and Spencer streets was reserved as 'drainage', and up until the late 1830s the land closest to the river was covered by native tea tree ('Town of Melbourne' c1840). By the mid-1850s, four gauging sheds, three wharves and a dock had been built on the north bank of the river ('Melbourne and its Suburbs' 1855). As noted above, in the 1850s Flinders Street Railway Station was built on the north bank of the Yarra River near Swanston Street, and Spencer Street Railway Station was built near the corner of Spencer Street and Collins Street, with good sheds and stores later constructed near the river.

By 1879, a single-rail track for goods trains at street level had been constructed to connect Flinders Street Railway Station and Spencer Street Railway Station (see **Error! Reference source not found.**). Classified as a tramway and measuring three-quarters of a mile in length, it was only used at night to avoid disrupting street traffic (Ferguson 1985:1).

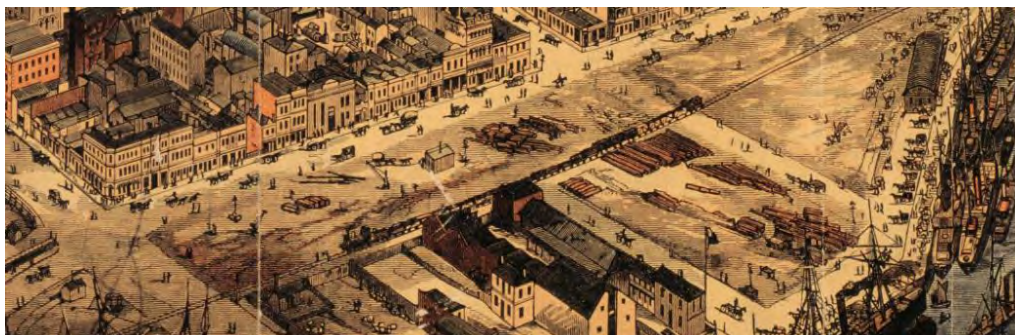


Figure 1. Extract of an 1882 painting of Melbourne, showing the single-line railway between Flinders Street and Spencer Street stations. (Source: 'Melbourne', 1882, SLV)

1888-1901: first construction phase

In September 1888, four years after the passing of the *Railway Construction Act* of 1884, the Victorian Railways announced plans for the building of a railway viaduct between Elizabeth Street and

Market Street to connect Spencer Street Railway Station and Flinders Street Railway Station (see **Error! Reference source not found.**). Designed by William Henry Greene, chief engineer of the Victorian Railways, the project was estimated to cost £73,000 (*Australasian* 15 September 1888:36; *Leader* 13 October 1888:32; May 2008). It was believed that the construction of the new viaduct would be 'immensely advantageous', as it would connect the south-east 'suburban' and north-west 'country' railway systems (*Leader* 13 October 1888:32).

The Flinders Street Railway Viaduct was constructed between 1888 and 1891 and carried two railway lines on plate girders. In September 1888, the *Age* newspaper described the viaduct structure, to be built between the corporation yards, near Flinders Street Station, and the back of the Victorian Railway offices in Spencer Street:

*From the former place to a point slightly to the west of William-street the viaduct will consist of an iron girder bridge supported by simple brick pillars inlaid with bluestone, there being 16 openings in all. Beyond that point 20 brick and bluestone arches of wide span and substantial workmanship will extend to the foot of Spencer-street, and from thence to the new railway offices the structure will be continued as in the first portion mentioned. The height of the viaduct will be about 20 feet. It is only intended at present to make it sufficiently wide to carry two lines of rails, but eventually it will be widened to carry four lines. The viaduct will follow about the same course as the existing railway along Flinders-street. A new track will be laid to the north of this line to accommodate the traffic whilst the work is in progress... whilst the viaduct itself will trend, on an average, about 60 feet south of the southern alignment of Flinders-street. Although the design of the whole work is plain, an ornamental iron parapet will surmount the superstructure and help to relieve the monotony of its appearance (*Age* 13 September 1888:8).*

The 'brick and bluestone arches' mentioned above are shown in **Error! Reference source not found.**

Tenders for the erection of brickwork piers and arches for the viaduct were advertised in 1888, with separate tenders invited in 1889 for steel and iron work for the girders and flooring of the viaduct. The approaches to the viaduct, both at Flinders and Spencer street stations, were the subject of a third contract (date unknown) (McNicoll 1988; *Age* 20 April 1889:6; *Australasian* 15 September 1888:36; *Leader* 6 January 1912:39).



Figure 2. A newspaper illustration published in 1888 shows an interpretation of the viaduct. (Source: *Leader* 13 October 1888:32)

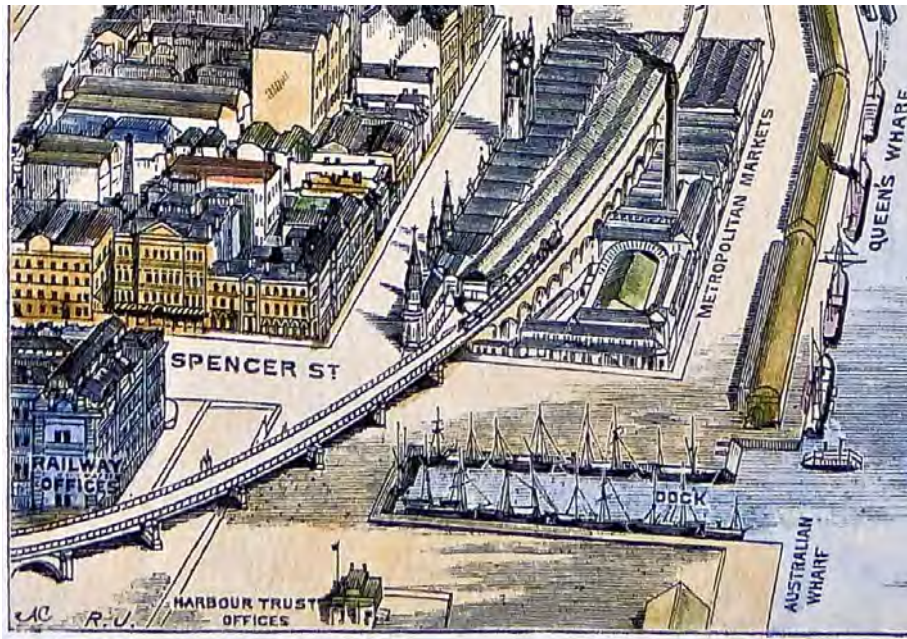


Figure 3. A section of c1906 lithograph showing the western section of the Flinders Street Railway Viaduct constructed as part of the first-phase building works. The arched section near the 'Metropolitan Markets' have been replaced with piers during the second-phase construction in the 1910s. (Source: Brighton Antique Prints and Maps 2019)

The first contract for the erection of the foundations, masonry and brickwork was issued in 1888 to engineers Mixner, Shaw and Dunlop for a sum of £37,662. In 1888 Shaw joined his brother-in-law G H Dunlop as an engineering contractor. Most of the young partners' work during the following six years was for the Railway Department, chiefly bridges and waterworks, the most significant being the Flinders Street railway viaduct (McNicoll 1988).

In 1889, engineers Robison Brothers, Campbell and Sloss Ltd were awarded the contract for the construction of the steel and ironwork girders and flooring for the viaduct for a sum of £32,834 (Ferguson 1985:1; *Age* 20 April 1889:6). The Robison brothers came from Leith in Scotland and established a large engineering business in Melbourne. Apart from structural work and cast iron features, they made locomotives, refrigeration plant and centrifugal pumps. In 1880-81 they amalgamated with Campbell, Sloss and McCann (Ferguson 1985:1).

The Flinders Street Railway Viaduct opened on 23 November 1891 to goods traffic with a speed limit of 15 miles per hour, and passenger trains were introduced in 1894. Although the viaduct was designed to carry four rail lines, this phase of construction included only two lines on the north side of the viaduct because the train traffic between Flinders and Spencer streets was comparably light (*Australasian* 15 September 1888:36; *Leader* 6 January 1912:39). The final construction cost for the railway viaduct was £139,000 (*Leader* 6 January 1912:39). The Flinders Street Railway Viaduct was part of what was named the 'railway extravagance' of the early 1890s, which led to a suspension of the Railway Commissioners in March 1892 (Kellaway 1975:1).

The Flinders Street end of the viaduct was once marked by the largest semaphore signals gantry in Victoria, opened in 1899 and closed by 1981, which controlled railway traffic over the viaduct. At the Spencer Street end, the Viaduct Junction signal box controlled the movement of trains out of the station area. It was opened in 1894 and shut down in 1978 (A Ward, pers comm, 25 January 2019).

The Flinders Street Railway Viaduct bordered the Western Market, which remained Melbourne's wholesale fruit and vegetable market until 1930 (see **Error! Reference source not found.**). Equipped with refrigeration and freezing chambers, the Fish Market, built in 1892 on the south side of Flinders Street between Market and Spencer streets, had direct railway access to the viaduct for transporting fish cargoes (Ruljancich 2008).

In 1892, the City of Melbourne, which owned the land under the viaduct, called for tenders for the construction of buildings at the Flinders Street railway; the tender of Smith and Crawford was accepted (*Argus* 26 April 1892:4). Known as the Viaduct Buildings (today partially surviving as Banana Alley Vaults), the vaults underneath the viaduct were constructed as commercial properties by the Railways Department, to provide the Department with potential rental income (*Argus* 7 July 1892:5). Its early tenants gave the viaduct vaults their colloquial name of Banana Alley (May 2008).

By 1896, a group of 20 warehousing and retail facilities known as the Viaduct Buildings were operating beneath the viaduct from premises addressed as 363-393 Flinders Street (seen in 1911 in **Error! Reference source not found.**, **Error! Reference source not found.** and **Error! Reference source not found.**) (S&Mc 1896). The Viaduct Buildings were sewered in 1907, and extensively renovated in the 1930s due to their dilapidated condition (*Age* 1 February 1907:6; *Age* 11 April 1936:13). In addition, by the early 1900s, a corner shop operated under the viaduct, near the Queen Street intersection (see **Error! Reference source not found.**).



Figure 4. Extract from a c1911 photograph showing the double-line viaduct with a steam locomotive running on it. The viaduct buildings can be seen on the right-hand side. (Source: 'Looking east along Flinders Street', c1911, SLV)



Figure 5. A close up of the viaduct buildings c1911. The buildings were removed and replaced during the 1930s, but some fabric remains, including brick and bluestone remnant walls. (Source: 'Looking east along Flinders Street', c1911, SLV)



Figure 6. Extract of an undated photograph showing the corner shop near the Queen Street intersection, across from the Banana Alley vaults. (Source: 'View south east across Flinders Street', c1891-1914, SLV)

1911-1917: second construction phase

With rapid suburban development in the northern areas of Melbourne during the first decade of the 1900s, suburban and city railway traffic increased by 42.8 per cent, and in 1911 Victorian Railways planned to introduce an additional two tracks to the Flinders Street Railway Viaduct. Construction started in 1911 to plans drawn up by Victorian Railways engineer, Frederick K Esling, who also was author of a technical paper which identified a puzzling problem related to the horizontal forces on the viaduct due to braking, in combination with side forces from wind-pressure (*Argus* 28 February 1911:7; *Leader* 6 January 1912:39; *RVIA Journal of Proceedings* 1913:59). The cost of the duplication of lines on the viaduct was estimated at £108,000 (not including the required strengthening of the superstructure), which aimed to increase the carrying capacity to 160 tons (*Age* 24 November 1911:8; *Leader* 6 January 1912:39).

As the ground of the north bank of the Yarra River was not stable, the foundations for some of the piers were constructed through extensive excavation, almost down to bedrock, with work commenced in December 1911 (*Age* 18 September 1911:7; *Age* 24 November 1911:8).

In May 1913, Mephan Ferguson was awarded the contract to duplicate the viaduct for £27,406 (Ferguson 1985:1). Mephan Ferguson was a manufacturer who arrived in Melbourne from Scotland as a teenager with his parents. After being indentured to blacksmith John Price in Ballarat, he returned to Melbourne to establish himself as an iron founder and railway contractor. The successful completion of one of his first large contracts, a bridge over the Yarra River, ensured him ongoing government work. As historian George Parsons notes,

[Ferguson] built twenty bridges on the north-eastern railway and eight on the Clifton Hill line; he manufactured and erected many footbridges, engine traverses and station verandahs, and he also fabricated the wrought-iron and cast-iron work, some 1300 tons in weight, for the Newport railway workshops (Parsons 1972).

Other contractors who worked on the viaduct during this phase of construction were Moreland Smelting Works Pty Ltd and A Callingsworth (*Age* 16 October 2012:14). Building works were anticipated to take about two years, however the work was delayed due to the outbreak of the World War One. Consequently, the program of duplication and the strengthening and renewal of the original rail lines was not completed until late 1917. When the viaduct opened, the 1889-91 section of the viaduct carried the south pair of lines and the 1911-17 section carried the north pair of lines (Ferguson 1985:1-2).

During the course of work, the fabric of the western section of the viaduct near Market Street was the most affected. Brick arches (in **Error! Reference source not found.**) near the Fish Market were removed and replaced with new bluestone piers and iron girders to provide increased stability (**Error! Reference source not found.** and **Error! Reference source not found.**) (*Herald* 5 April 1917:5; *Argus* 7 April 1917:18). Renewing this section of the viaduct was, 'from an engineering point of view, the most difficult section of the duplication, involving alterations to the existing girders while the traffic was still being carried over the viaduct' (*Age* 9 April 1915:9). The National Trust (Victoria) citation for the viaduct notes that when completed, there was no sign that the viaduct had been built in two stages, with the design of the girders and other ironwork, bluestone foundations and brick piers built to the same construction and design of the original (Ferguson 1985:1).

As a part of electrification of the suburban railway network from 1913, the electrification of all lines crossing the Flinders Street viaduct was planned by mid-1915 (*Argus* 7 January 1913:6). The current electric substation under the viaduct near the King Street corner may have been an addition at this time.

It is likely that the western end of the viaduct, near the western (rear) elevation of the former Railway Administration Building, was affected by the 1920s building works in the area. The 1920 endorsed plan for the re-arrangement of the Spencer Street Station Yards and a later c1927 photograph show that the terrain at the rear of the former Railway Administration Building was raised, with the highest point being level with the railway superstructure continuing to the Spencer Street Station (**Error! Reference source not found.**). It is most likely that at least part of the structure from the first construction phase was buried under ground in the 1920s, as the 1891 brick work remains partially visible above the sloped terrain.

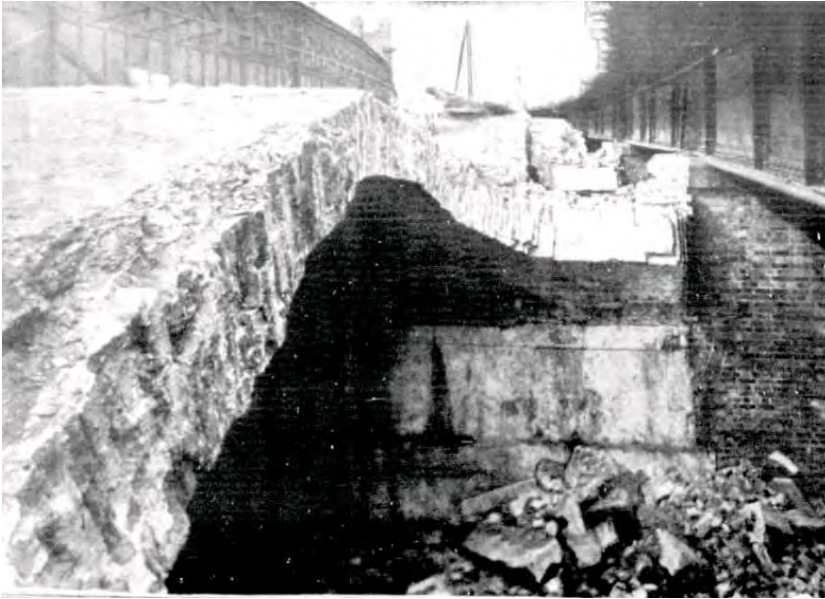


Figure 7. The arches near the Fish Market were demolished in 1916 and replaced with iron girders. (*Australasian* 23 September 1916:54)

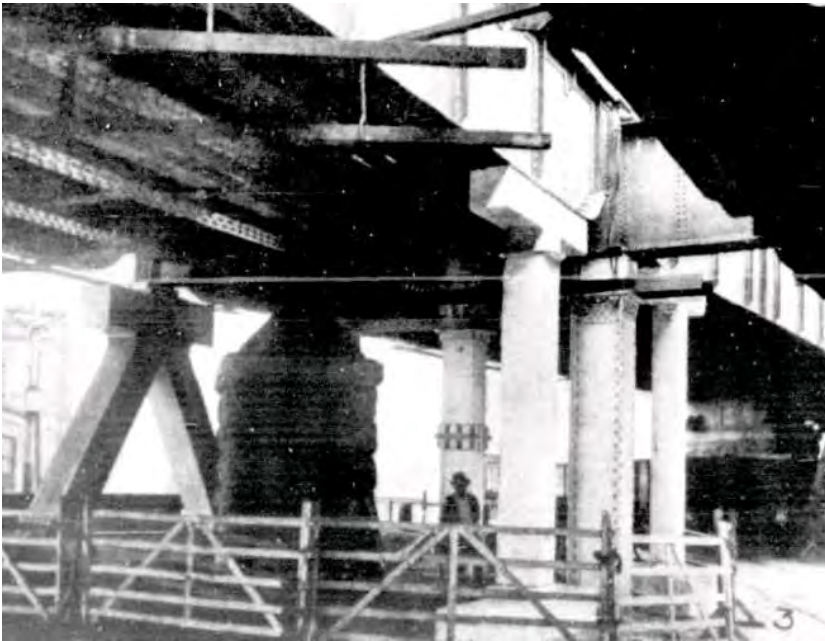


Figure 8. Construction near the corner of Flinders and Spencer streets in 1916. (*Australasian* 23 September 1916:54)



Figure 9. View of the Yarra River showing the Flinders Street Railway Viaduct and the Sandridge Rail Bridge crossing the river on an angle. The Yarra River turning basin can also be seen in the foreground. (Source: Airspy 1927-28, SLV)

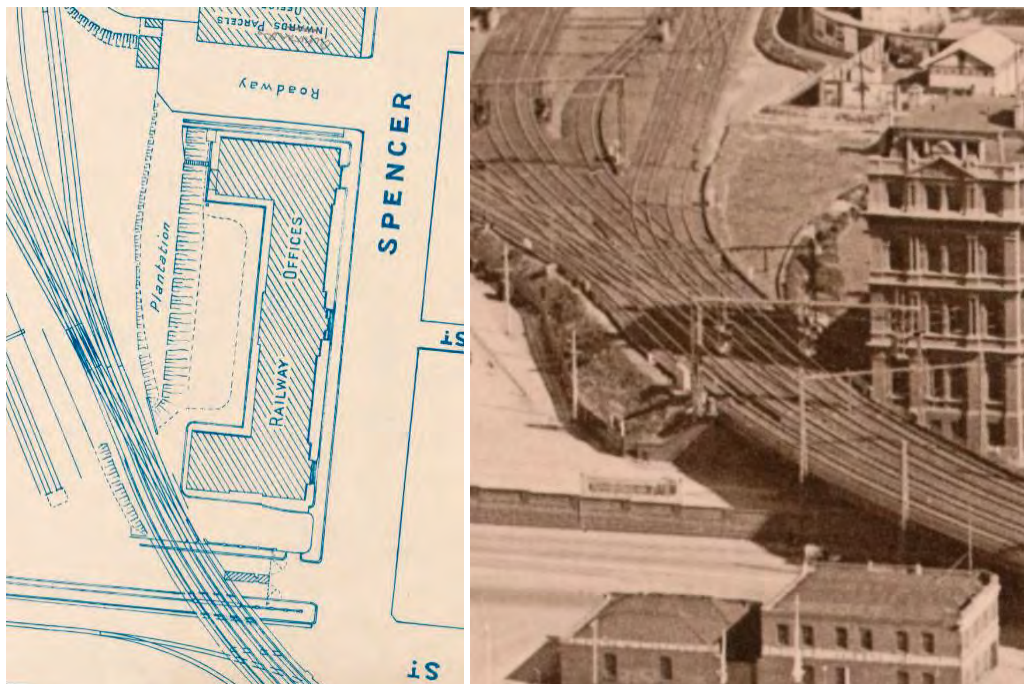


Figure 10. An extract of 1920 plan of the Spencer Street Station Yards (left-hand side) and an extract of 1927 photograph of same section, showing the raised terrain with plantation at the rear of the former Railway Administration Building. (Source: Victorian Railways 1920, SLV; Airspy c1927, SLV)

1959: demolition of the Fish Market and Viaduct Buildings

In 1959, upon the Fish Market's relocation to Footscray Road, West Melbourne, the old market buildings and the Viaduct Buildings were demolished. The site, valued at more than £1 million, was cleared and used as a car park by the City of Melbourne (Age 18 November 1959:23). Some of the nineteenth century load-bearing brick walls of the former Viaduct Buildings and the Fish Market were retained and can be seen today.

1978-2000s: third construction phase

As part of the City Loop railway construction undertaken in the 1970s, the viaduct was upgraded with a new precast concrete viaduct with box girders. This was constructed to the south of the existing structure, increasing the rail lines from four to six and leaving the 1891 and 1917 viaduct structures in situ. Completed in 1978, the total length of the new viaduct was 722 metres, with an average span of 30 metres. The new viaduct took a straighter line than the earlier structures as it did not have to avoid the turning basin on the Yarra River (a wide body of water that allowed ships to turn and reverse their direction of travel), which had been filled in (see **Error! Reference source not found.**).

In 1984 the state government committed \$1 million to the refurbishment of the vaulted stores beneath the railway line (May 2008).

Between 1998 and 2000, the Sea Life Melbourne Aquarium was built under the viaduct to a design by Peddle Thorp. The Flinders Street elevation of the new building incorporated some of the remnant load-bearing viaduct pillars between William and King streets.

In 2000, beams and timber decked sections of the viaduct, from near Spencer Street to near Market Street, were replaced, as seen in **Error! Reference source not found.** (VICSIG 2000; Age 10 April 1999:44).

In 2009, the former Fish Market site was developed with three high-rise mixed-use towers together with a car park under the viaduct. A new commercial space, Rebecca Walk, was constructed under the section of the viaduct near Batman Park (Rebecca Walk 2016).

Today the Flinders Street Railway Viaduct adjoins two urban parklands (Enterprise Park and Batman Park), and incorporates the Sea Life Melbourne Aquarium. Two tram stops operate under the viaduct, one near the Market Street intersection and the other near the Spencer Street intersection.

Comprising six tracks, the viaduct continues to play an important role in Melbourne's rail network by linking Flinders Street Station to Spencer Street Station (renamed in 2000s as Southern Cross Station) and forming the main link between the eastern and western parts of the Victorian rail network.



Figure 11. Re-decking of the viaduct was carried out in 2000. (Source: VICSIG 2010)

SITE DESCRIPTION

The Flinders Street Railway Viaduct is made up of six tracks of varying ages (each pair completed in 1891, 1917 and 1978), which links Flinders Street station to Southern Cross Station (the former Spencer Street Station) and forms the main link between the eastern and western parts of the Victorian rail network. Constructed along a curved path, the raised viaduct structure comprising superstructure and masonry substructure commences behind the former Victorian Railways headquarters at 67 Spencer Street, taking a sharp 90 degree turn east from Spencer Street, swinging southward around the back of the former Fish Market (now Northbank Place and Rebecca Walk) beside Batman Park, then north-east to avoid what was the original swinging basin on the Yarra River, then crossing over the Banana Alley Vaults before entering Flinders Street.

The brick viaduct dating from the first and second phases consists of riveted steel superstructure, of varying forms, supported on masonry substructure.

The first (1888-1891) and second (primarily 1911-17 but extending until 1959) construction phases were carried out to a fairly consistent design and palette of materials, although the detail of the earlier phase is somewhat more elaborate and decorative. Each pier is constructed of red face brickwork set on a bluestone plinth. The brickwork of the second phase piers appears to be consistent with the earlier piers, although lacking some of the detail such as end pediments and polychrome details to the brickwork. The latter-phase brickwork has slightly smoother surface (see **Error! Reference source not found.**). The ironwork of the balustrade on the either side of the superstructure is also similar.

There are nevertheless a number of different types of piers and substructures that were constructed at later stages to upgrade or strengthen the viaduct. From Market Street to near the Sealife Melbourne Aquarium, rows of five separate masonry piers support the superstructure. Three piers to the north are of earlier construction (1891) and the other two to the south are from 1917 (**Error! Reference source not found.**). In this section, the thicker block supports (**Error! Reference source not found.**) with two single courses of brown bricks and an arched pediment of sandstone that sits on top (between Market and King streets) may be additions from the second phase construction, as these are not seen in the historic photographs. This section adjoins the Custom Square, a small green square between Queens Bridge and the viaduct.



Figure 12. One of the earlier-constructed piers completed by 1891 (left-hand side) and one of the later piers completed by 1917 (right-hand side). Note more uneven and rough surface on the left-hand side example. (Source: Context 2019)



Figure 13. View towards west, near intersection of William and Flinders streets. Three piers on the left-hand side are from 1891 and one on the right-hand side is from 1917. (Source: Context 2019)



Figure 14. Brick structure with decorative sandstone end pediment (corner Market St). (Source: Context 2019)

West of the Sealife Melbourne Aquarium to King Street, the thick brick piers originally part of the Viaduct Buildings completed in 1891 (**Error! Reference source not found.**) (since demolished) are partially retained and have been incorporated into the Flinders Street elevation of the aquarium.

These piers sit on bluestone plinths and feature bluestone quoining at their northern ends (**Error! Reference source not found.**), while the southern sections are of plain face brickwork. To the immediate south of this section is the Enterprize Park, an urban park.



Figure 15. One of the piers partially retained, now incorporated into the shell of the aquarium. (Source: Context 2019)

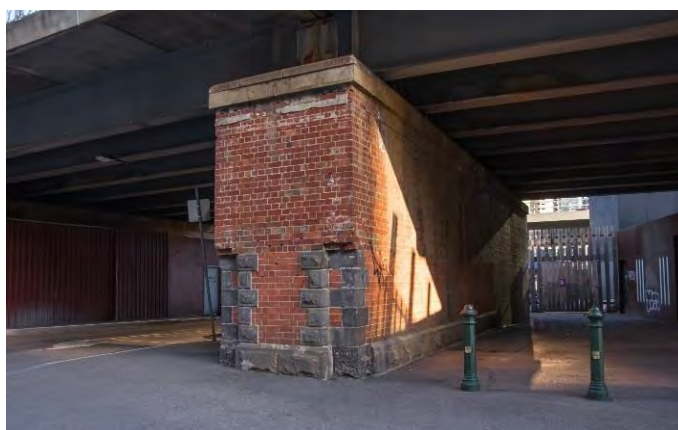


Figure 16. Bluestone foundation and quoining evident in one of the substructure. (Source: Context 2019)

Between King and Spencer streets, the original piers have a similar appearance to the above, with bluestone plinths and quoins only to their northern ends. The view of this section from the southern side is obscured by the recently developed Rebecca Walk shops and the 1978 concrete addition. There is an electricity substation near the Spencer Street intersection (Figure 15). The substation presumably dating from the 1910s is of the typical utilitarian design, characterised with simple brick masonry and the use of cement lintels. Adjacent to this substation is an undercroft (**Error! Reference source not found.**), or former storage, which has some decorative elements such as cross motif, renders and bluestone quoining. The design of this structure is similar to the former Viaduct Buildings, which suggests an early construction date in the late 1880s.

In the sections dating from the first and early second phase of construction, composite steel/iron superstructure that carries the rail lines continues the geometric and detail themes of the brick supports. These spans feature arched beams spanning the space between the piers, elegant curved beams and outrigger supports.



Figure 17. CitiPower substation (c1910s). (Source: Context 2019)



Figure 18. Close up of the undercroft (perhaps part of the 1890s construction). (Source: Context 2019)

At the intersection of the Spencer and Flinders streets, substantial bluestone piers (Figure 17) support the superstructure that curves onto Spencer Street and continues to the west of the former Railway Administration Building. Adjacent to the latter building, the original piers and undercroft, built in face brick masonry on a bluestone plinth with a spandrel and quoins in the same material, are extant. The undercroft (Figure 18) at the western boundary of the former Victorian Railways Administration Building appears to be more intact than the other example near the King Street intersection. The brick masonry with ornamental iron parapet terminates near the southwestern corner of the former Railways Administration Building, and the section of railway tracks between this point and the Southern Cross Station runs above the raised terrain (see **Error! Reference source not found.**). The 1891 brick work remains partially visible above the sloped terrain.



Figure 19. Spencer Street tram stop. Concrete piers dating from the 1970s, and the bluestone pier from 1917. (Source: Context 2019)



Figure 20. The former Vic Railway Administration Building (RHS) and the viaduct running behind it. (Source: Context 2019)

INTEGRITY

The Flinders Street Railway Viaduct has undergone a number of duplications and extensions since the opening of the first phase in 1891. Despite opening as a single track in November 1891 the line was duplicated one month later. The viaduct was duplicated again in 1911-15 to provide four tracks with a new bridge built to its southern side. The original bridge was closed and strengthened but reopened in 1917. In the 1970s, as part of the City Loop project, an additional bridge was built alongside the two earlier bridges opening in 1978. The existing older bridges underwent restoration and upgrading at this time.

The major section of the viaduct, from behind the southwestern corner of the former Victorian Railways headquarters at 67 Spencer Street to the Banana Alley Vaults, dating from the first and early part of the second construction phases is highly intact, with a substantial portion of the original substructure of red face brickwork set on bluestone plinths remaining. The viaduct retains the original form and scale, materials and stylistic details and early subsidiary structures such as the electric substation and former undercrofts.

Changes and additions include an additional precast concrete supports on the corner of Aquarium Drive (formerly Queens Wharf Road) and impact protection beams and supports added at both Queens Bridge Street entries and King Street. Also, a new third phase reinforced concrete viaduct was constructed in the 1970s running along its southern side.

However, the updates to the superstructure including the strengthening and replacement of old beams and girders do not affect the overall integrity and nature of the place. Overall, the Flinders Street Railway Viaduct has high integrity.

COMPARATIVE ANALYSIS

Due to the quality of its design and detail, scale, use and location, the Flinders Street Viaduct does not have any direct equivalents within the City of Melbourne or even in Victoria. Some other examples of the historical railway or road and tramway infrastructure in the vicinity of the Flinders Street Railway Station that connect central Melbourne to other areas are currently protected under the Heritage Overlay and Flinders Street Station is on the Victorian Heritage Register (VHR). The examples below are of some relevance in a comparative analysis with the Flinders Street Viaduct as examples of historical transport infrastructure. They are from the Victorian Heritage Database unless otherwise noted.

In the City of Melbourne, the historical transport infrastructure includes:

Sandridge Railway Line Bridge, 1886, 1888 (VHR H0994, HO994)

The Sandridge Railway Line Bridge was the third successive bridge at this location to carry the rail link from Flinders Street Station to Port Melbourne and St Kilda. The bridge is on the line of the original Hobson's Bay Railway Company line to Sandridge, the first passenger railway line in Australia in 1854. The bridge was designed by the Victorian Railways Department and the contract let to David Munro & Co in 1886. It is a metal girder bridge with five spans totalling 178m and with a maximum span of 36.9m. The four railway lines were opened for railway traffic in 1888. The Sandridge Railway Line Bridge is constructed from steel with hollow iron columns filled with concrete to support the plate girders and cross girders.

Sandridge Railway Bridge is of historical, architectural and technical significance to the State of Victoria.



Figure 21. Sandridge Railway Line Bridge, 1886.

Queens Bridge, 1890 (VHR H1448, HO791)

Queens Bridge which crosses the Yarra at the southern extension of Market Street, replaced an earlier timber footbridge erected in 1860, known as Falls Bridge. The present structure, named after Queen Victoria, was designed by Frederick M Hynes, the Chief Design Engineer for the "Harbour Jetties and Coast Works Department" of the Public Works Department. The chief contractor for its construction was David Munro, who also erected Princes Bridge, and the Sandridge Railway Bridge

over the Yarra River. The bridge was officially opened by the Governor, Lord Hopetoun, on 18 April 1890. Queens Bridge is built in a very flat arch, reflecting the minimal rise and fall of the Yarra River.

Queens Bridge is of historical, architectural and aesthetic significance to the State of Victoria.



Figure 22. Queens Bridge, 1890.

Princes Bridge, 1888 (VHR H1447, HO790)

Princes Bridge was designed by Jenkins, D'Ebro and Grainger and constructed in 1886-88 by David Munro. The bridge, completed in 1888, was the third bridge across the Yarra at that location. The first two bridges had been built in 1845 (timber) and 1850 (stone) in response to the need for a permanent river crossing into the city. The earlier bridge was named after the Prince of Wales, later Edward VII, and the name has survived through to the current bridge. Princes Bridge is a three-span curved iron plate girder bridge with coursed rock-face bluestone block-work piers, abutments and wing walls. The upper sections of these have dressed granite and sandstone details.

Princes Bridge is of historical, architectural and aesthetic significance to the State of Victoria.



Figure 23. Princes Bridge, 1888.

The Flinders Street Railway Viaduct is distinguished from all the examples above, for being larger in scale and continually used as a railway viaduct by high-volume rail traffic on a daily basis. The examples of public infrastructure connecting central Melbourne to the south bank of the Yarra River have only limited direct comparison with the Flinders Street Railway Viaduct. Only the Sandridge Railway Bridge carried railway traffic, while the Queens Bridge and Princes Bridge are mixed-use bridges shared by cars and trams. Their fundamental linear design and their function as bridges across the river do not feature the complex geometry of a railway viaduct that was required to thread

its way through the edge of central Melbourne. Thus, while these are highly significant examples of historical transport infrastructure that serve daily traffic into and from the central Melbourne, they essentially have different functions and purposes. Purpose-built as a railway viaduct connecting Melbourne's two earliest urban railway stations, and passing over one of the busiest parts of the central Melbourne area rather than over a river or creek. The Flinders Street Railway Viaduct is an uncommon example of its type in the City of Melbourne.

Railway heritage architect, Andrew Ward, notes that the spans of riveted steel superstructure that comprise the Flinders Street Railway Viaduct are a very early use of structural steel in bridge making. The Sandridge Railway Line Bridge, built across the Yarra River by David Munro & Co for the Victorian Railways and opened in 1888, is acknowledged as possibly the earliest example of the use of steel bridge girders on the Victorian railway system (see Figure 19) (VHD 2000). The use of steel in the girders of the Flinders Street Railway Viaduct followed soon after. In addition, the span over the Spencer Street-Flinders Street corner of the viaduct is something of an engineering feat because of a lack of a supporting pier. It is known in some engineering circles as the 'Great Melbourne Skyhook' (A Ward, pers comm, 25 January 2019).

Overall, the Flinders Street Railway Viaduct remains a significant and complex work of railway infrastructure in the Melbourne metropolitan network that remains in use.

ASSESSMENT AGAINST CRITERIA

✓ **CRITERION A**
Importance to the course or pattern of our cultural or natural history (historical significance).

✓ **CRITERION B**
Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).

CRITERION C
Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).

CRITERION D
Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).

✓ **CRITERION E**
Importance of exhibiting particular aesthetic characteristics (aesthetic significance).

✓ **CRITERION F**
Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)

CRITERION G
Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).

CRITERION H
Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Considered likely to meet the threshold for State significance and recommended for nomination to the VHR.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

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PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985** Ungraded

**Central City Heritage
Study 1993** Ungraded

**Review of Heritage
overlay listings in the
CBD 2002** Ungraded

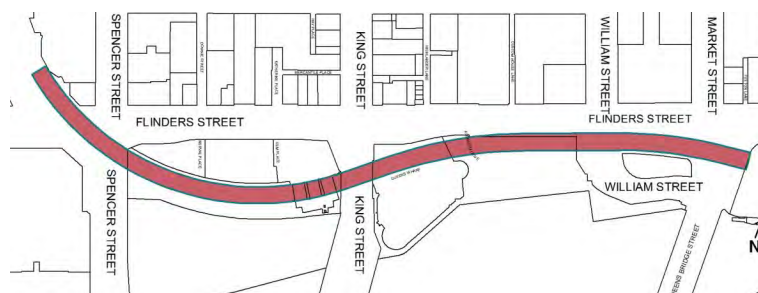
**Central City Heritage
Review 2011** Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Flinders Street Railway Viaduct



PS ref no: HOXXXX



What is significant?

The Flinders Street Railway Viaduct, expanded in three major stages completed in 1891, 1917 and 1978.

Elements that contribute to the significance of the place include (but are not limited to):

- The overall form and geometry of the viaduct;
- The main steel/iron riveted composite post and beam structure, balustrades etc;
- The face brick piers including bluestone and sandstone detailing such as plinths, end pediments with sandstone detailing, spandrels and quoins, and double-blind arches;
- The brick vaults and undercrofts; and
- The substation.

How it is significant?

The Flinders Street Railway Viaduct, Flinders Street, Melbourne is of local historic, rarity, aesthetic and technical significance to the City of Melbourne.

Why it is significant?

The Flinders Street Railway Viaduct is historically significant as a key component of the Melbourne railway network. Constructed to connect Flinders Street and Spencer Street railway stations in 1888-91. The Viaduct was constructed by engineers Mixner, Shaw & Dunlop, and Robison Brothers, Campbell & Sloss Ltd to a design by William Henry Greene, chief engineer of the Victorian Railways and carried two lines. It was a substantial structure for its time, spanning Flinders, Spencer and Market streets. The viaduct provides important evidence of the expansion of the rail network in the 1880s and 1890s under the management of Victorian Railways, and in 1911-17 by engineer Mephan Ferguson and Victorian Railways engineer, F K Esling as demands on Melbourne's railway system increased. Another two lines were added to the existing four lines of the viaduct in 1978 as part of the construction of Melbourne's underground City Loop railway project. The Viaduct is historically significant as a major work of public infrastructure constructed in central Melbourne in the late nineteenth century. Such works comprised the railway system, including stations such as Flinders Street and Spencer Street, and other elements such

as Princes Bridge. These projects not only provided well-engineered solutions to public transport needs, they utilised high quality designs and materials and demonstrated high levels of attention to detail. Despite the many, in some cases insensitive, alterations and upgrades that have occurred during the second half of the twentieth century, the viaduct continues to demonstrate these qualitative characteristics. (Criterion A)

The Flinders Street Railway Viaduct is significant as the only major-scale railway viaduct constructed in central Melbourne in the late nineteenth century. The complex geometry of the railway viaduct that was required to thread its way through the edge of central Melbourne is highly significant. Constructed in the similar time period, the Sandridge Railway Bridge (1888), Princes Bridge (1888) and Queens Bridge (1890) feature linear designs and serve different functions and purposes. The Flinders Street Railway Viaduct was purpose-built as a railway viaduct above the busy city streets connecting Melbourne's two earliest urban railway stations, whereas the other examples were built to cross water. (Criterion B)

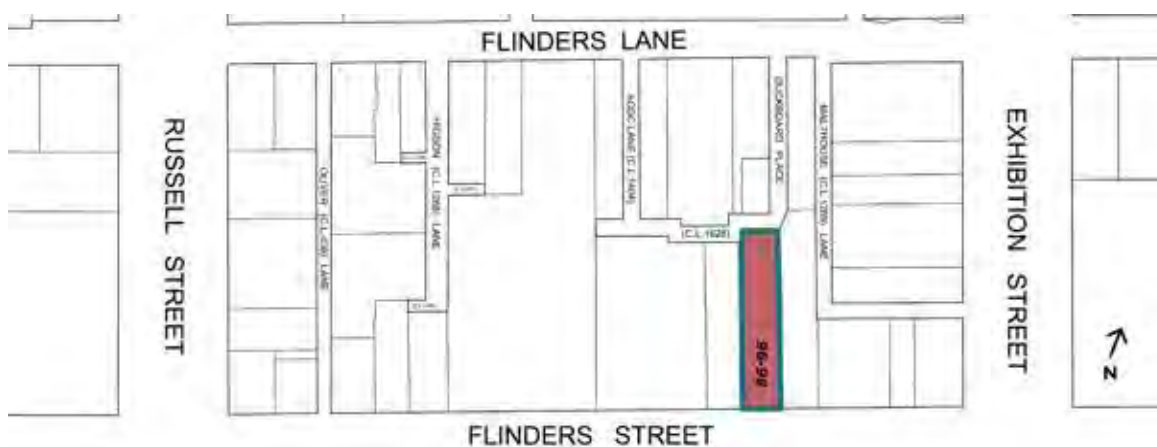
The Flinders Street Railway Viaduct is aesthetically significant for the application of high-quality design, attention to detail and use of materials to a major work of public infrastructure which forms a prominent element on the southern edge of central Melbourne. The brick piers in particular, dating from the first and early part of the second construction phases, are of high-quality orange face brickwork. They exhibit design features such as bluestone plinths, double blind arches, end pediments with sandstone detailing, spandrels and quoins in both bluestone and sandstone, and decorative details such as crosses picked out in contrasting coloured bricks. The composite steel/iron superstructure carrying the rail lines continues the geometric and detail themes of the brick supports, and features arched beams spanning the space between the piers and elegant curved beams and outrigger supports. While this attention to detail and use of high-quality materials was not unusual for major public works dating from the second half of the nineteenth century, the viaduct exhibits these characteristics to a high degree notwithstanding the extent of later insensitive alterations and upgrades. (Criterion E)

The Flinders Street Railway Viaduct is technically significant as an early example of the combination of traditional and 'modern' materials to provide a structure capable of carrying the significant loads imposed by what was at the time a modern railway system. Traditional construction methods and materials were not able to meet these requirements, so for the viaduct constructed during the first and early second phases, the use of an engineered steel/iron structure made up of riveted composite post and beam elements provided the carrying capacity of 160 tons. The spans of riveted steel superstructure that comprise the Flinders Street Railway Viaduct are a very early use of structural steel in bridge making. In addition, the span over the Spencer Street-Flinders Street corner of the viaduct is recognised for its accomplished engineering because of a lack of a supporting pier; known in engineering circles as the 'Great Melbourne Skyhook'. The supporting piers were 'dressed' with an external cladding of face brick with stone detailing to provide the aesthetic delicacy required to meet late Victorian and early Edwardian tastes. The steel/iron superstructure also incorporated some of these details, and features arched beams spanning the space between the piers and elegant curved beams and outrigger supports. (Criterion F)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Dreman Building
STREET ADDRESS	96-98 Flinders Street Melbourne
PROPERTY ID	104028



SURVEY DATE: May 2017

SURVEY BY: Context Pty Ltd

HERITAGE INVENTORY H7822-1940

EXISTING HERITAGE OVERLAY No

PLACE TYPE Individual Heritage Place

PROPOSED CATEGORY Significant

FORMER GRADE C

DESIGNER / ARCHITECT / ARTIST: Not known

BUILDER: Not known

DEVELOPMENT PERIOD: Federation/Edwardian Period (1902-c1918)

DATE OF CREATION / MAJOR CONSTRUCTION: 1915

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Stage 2 Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a commercial city	5.5 Building a manufacturing industry
	OTHER SUB-THEMES
3 Shaping the urban landscape	3.2 Expressing an architectural style

LAND USE

HISTORIC LAND USE	
Archaeological block no: 63	Inventory no: 940
Character of Occupation: Commercial	
Fourth land sale, Block 7 Allotment 7, G Sanderman.	
1866 Cox	Building on site.
1877 Dove	Two single-storey buildings; Felton Grimwade & Co., Chemists.
1880 Panorama	
1888 Mahlstedt	Single-storey building, two-storey building; Manufacturers Agency Co., Hitsler, Cabinetmaker.
1905/6 Mahlstedt	Single-storey building, no occupants listed
THEMATIC MAPPING AND LAND USE	
1890s	Factories and workshops
1920s	Not able to be determined
1960s	Retail

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

The Dreman Building, built in 1915, is a six-storey brick Edwardian/Federation era commercial/warehouse building. Built on a narrow city block, the building has a shopfront at ground level and a distinctive façade to the upper five levels. The building is associated with a number of commercial operators including the French Gaulois Tyre Company and Williams the Shoeman Pty Ltd.

HISTORICAL CONTEXT

Building a commercial city

Building a manufacturing capacity

As Melbourne developed through the nineteenth century, so did its manufacturing industry. Flinders Lane became an important area for clothing manufacturers, while Chinese cabinet makers were concentrated at the east end of town. Food-processing plants were established in North and West Melbourne. Factories tended to be small and specialised. Large factories, built in the later nineteenth century and early twentieth century tended to be built outside the City of Melbourne, where land was more easily obtainable (Context 2012:44).

Warehouses were also an important part of Melbourne's economic life. From the 1850s, the Yarra River and the docks west of Swanston Street were in essence the 'lifeline' of the city. Port facilities and large warehouses were built in this area to serve shipping interests (Context 2012:39-40). The area of Flinders Lane is described by the *Encyclopedia of Melbourne*:

By the 1860s, as [Flinders Lane's] swamps were filled in, and as its proximity to the wharf encouraged the construction of warehouses and showrooms, the street gained a reputation as a busy and important thoroughfare, the chosen location of mercantile houses, importers, brewers, timber yards and wholesalers (May 2008).

Shaping the urban landscape

Expressing an architectural style

In the central city, the American Romanesque style was adopted, often combined with Art Nouveau-influenced ornament. Red face brick with limited render accents were the preferred materials, and facades were articulated with large-scale round-arches, sometimes with window bays set into them. Examples of the Romanesque include the Tompkins Bros' Commercial Travellers Building in Flinders Street (1898) and Nahum Barnet's Auditorium Building in Collins Street (1913). The style was also used for more modest factories and warehouses along Flinders Lane (Context 2012:19).

SITE HISTORY

The subject site at 96-98 Flinders Street was part of the fourth Hoddle Grid land sale in 1839. By 1877, two single-storey buildings existed on the land. By 1888, a single-storey building, occupied by the Manufacturers Agency Company, and a two-storey building, occupied by a cabinetmaker named Hitsler, were in existence (Fels, Lavelle & Mider 1993).

In 1889, a fire occurred at 96 and 98 Flinders Street in the premises occupied by the Manufacturers Agency Company (*Argus* 1 February 1889:5). In 1900, ironmonger T McAlpine operated his business from 98 Flinders Street (*Weekly Times* 7 July 1900:2).

The 1915 Sands and McDougall directory notes that 96-98 Flinders Street was vacant in that year, but by 1916, the Dreman Building at 96 Flinders Street had been constructed (S&Mc 1915 and 1916). It appears that the Dreman Building was built in late 1915, as, in November of that year the French Gaulois Tyre Company moved from Post Office Place 'into larger and more central premises' at 96 Flinders Street (*Age* 1 November 1915:12).

In 1915, growing car ownership resulted in British tyre manufacturers 'securing considerable trade in Australia', with the 'solid tyre business...shared by two or three English firms and the Gaulois Tyre

Company' (*Leader* 10 April 1915:22). In 1916, Melbourne City Council accepted Gaulois Tyre Company's tender for the supply of 'certain motor tyres' (*Argus* 31 October 1916:9).

In 1918, the Bergougnan Tyre Company (formerly the Gaulois Tyre Company) operated from 96-98 Flinders Street (*Argus* 13 March 1918:7).

In March 1920, a 'modern six-story warehouse' with basement at 96 and 98 Flinders Street, known as the Dreman Building and occupied by the Rubber Trade Centre, was advertised for sale:

Land [approximately 33 feet by 160 feet]...to frontage of Flinders-street...to R.O.W. [right of way], together with the handsome 6-story brick warehouse factory building thereon, well fitted and finished with goods and passenger lifts, and electric light installed. Let to various tenants at a total rental of £1151 per annum, under leases expiring in July 1921. This is a sterling city freehold investment, occupying a convenient and prominent position in the centre of the motor and rubber trades, between Russell and Exhibition streets, where property is rapidly increasing in value (Age 13 March 1920:11).

On 26 March 1920 the building was sold at auction to Ballarat firm, Williams The Shoeman Pty Ltd, for £20,000 for use as a warehouse. The company purchased the building after discovering it was unable to procure the required quantity of bricks to construct a warehouse in Richmond (*Argus* 27 March 1920:20; *Ballarat Star* 29 March 1920:4).

The Dreman Building was damaged by fire in 1921. The top floor, occupied by the Federal Manufacturing Company, was fire damaged, and stock across all five floors was saturated with water (*Australasian* 7 May 1921:34).

The building was repaired (Figure 1), and in 1933 Williams The Shoeman noted its head office as 96-98 Flinders Street. The building was sold in 1954 for £50,000 (*Age* 1 December 1954:10).

Refurbishment of the building was undertaken in 2008 and 2012. Today the Dreman Building houses businesses and retail outlets.

Williams The Shoeman

Williams The Shoeman was established by Englishman John Williams, who arrived in Victoria in 1860. In the same year, Williams rented a small shop in Ballarat to sell shoes, naming his business 'Williams The Shoeman'. In 1895, sons, Frank and Frederick Williams, took over the business and established shoe stores in Victorian regional towns. By 1902, Williams The Shoeman had 12 branches at Ballarat, Geelong, Stawell, Bendigo and Eaglehawk. By 1914, 17 stores were in operation and, in this year, the business registered as a company under the name Williams The Shoeman Pty Ltd. By 1937, 44 stores had opened (*Bendigo Independent* 12 February 1902:1; *Riverine Herald* 2 December 1937:3).

In 1969, Woolworths acquired Williams The Shoeman, in which year the shoe company operated 460 stores. The stores continued to operate as Williams The Shoeman, and by 2000, clothing retailer, Colorado, had taken over ownership of the company. Colorado went into receivership in 2011.

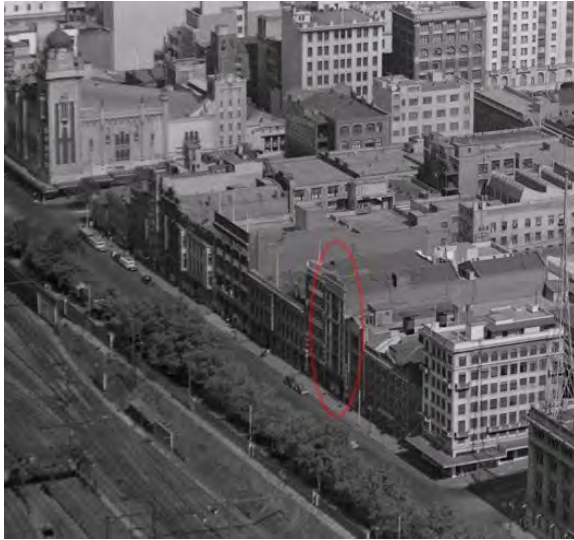


Figure 1. An aerial showing 96-98 Flinders Street, an extract from Aerial View of Melbourne, 1928, by Victorian Railways. (Source: SLV)

SITE DESCRIPTION

This six-storey building is located between Exhibition Street and Russell Street, at the southern end of the city grid. The brick warehouse building is built on a narrow city block, and built at the same time as the adjacent building at 100-102 Flinders St. The building height and the rhythm of the façade is consistent between the two buildings.

The façade is comprised of engaged pilasters with simple capitals that run the full height of the building and intersect with the decorated parapet to form a rectangular block with a strong vertical emphasis. A simple pediment with scrolls to either side sits centrally over the parapet. A deep cornice with thick brackets runs along the base of the parapet. The words 'Dreman Building' are inscribed on the frieze.

The four engaged pilasters are spaced symmetrically but not equally across the façade determining the dimensions of the window openings. A slightly recessed double window opening is located on each level at the centre of the building and a single opening is located at each edge of the building. Thin horizontal bands run below the window openings with a thicker band detailed with a small vertical marking evident between the fourth and fifth floors. Metal framed plate glass windows are non-original.

The ground level of the building has a higher ceiling height than the floors above. The façade has been extensively altered, although an early stone edge wall is visible on the western boundary. This wall has a base section, is chamfered on the inside edge, and retains a round spiral motif at the top edge.

INTEGRITY

The building is reasonably intact with the parapet detailing, the engaged pilasters and the original rhythm of openings still evident. Windows have been replaced and the building has been painted in a dark grey. Extensive alterations have occurred at ground level. Refurbishment of the building was undertaken in 2008 and 2012.

COMPARATIVE ANALYSIS

During the Edwardian era, mid-rise brick warehouse/commercial buildings were frequently built in Melbourne's central city. While two- or three-storey warehouses were still common, some examples of unreinforced brick structure comprise five- to seven-storeys, utilising the narrow urban allotments.

The subject building compares well with the following examples, drawn chiefly from the Central City Heritage Review 2011, being of a similar use, scale, location and creation date. The below images and descriptions are provided by CoM Maps unless stated otherwise.

Selected examples of Edwardian brick warehouse include:

Sunday School Union of Victoria, 100-102 Flinders Street (Interim HO1273 – recommended as significant in the Hoddle Grid Heritage Review)

A six-storey warehouse building, with shopfront at ground level and a distinctive and consistent façade at the upper five levels. Brick piers run the full height of the building and combine with a decorative parapet to form a rectangular façade with a strong vertical emphasis. Horizontal bands of windows and spandrels run between the piers and determine the rhythm and pattern of the façade.



Figure 2. 100-102 Flinders Street constructed 1904. (Source: Context 2017)

Doery Tilley & Co, 333 Flinders Lane (HO647, Significant in HO506 Flinders Lane Precinct)

A five-storey brick former warehouse with basement parking. Designed by H W & F B Tompkins and built in 1912 by John Carter for Edward Doery and William Tilley, principals of the boot warehouseman Doery Tilley & Co. The company held the property until 1969. In January 1921 fire severely damaged the top storey. It was refurbished and subdivided into offices in 1987.

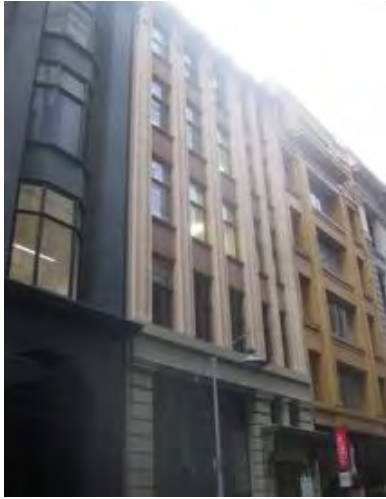


Figure 3. 333 Flinders Lane constructed 1912.

Herbert and Harold Higson by Bade & Co, 125-127 Flinders Lane (HO1032)

A five-storey brick former warehouse with a basement and a mezzanine. Designed by Billing Peck & Kemter in the American Romanesque Revival style and built for the saddlers and ironmongers Herbert and Harold Higson by Bade & Co in 1913. Refurbished into lower level retail and upper levels office in 1989.



Figure 4. 125-127 Flinders Lane constructed 1913.

Desto House, 65 Elizabeth Street (HO615)

Six-storey brick office building with basement & ground retail. Designed by Inskip & Kemp in the Neo Baroque Edwardian style, it was built by Clement Langford in 1911. The upper floors were converted & sub-divided into residential units in 2001.



Figure 5. 65 Elizabeth Street constructed 1912.

Manchester House, 30-44 Manchester Lane (HO641, Significant in HO506 Flinders Lane Precinct)

Eight-storey brick building (originally built as seven storey) of offices, residential apartments and retail spaces. Designed by Bates, Peebles & Smart in the Edwardian Neo-Baroque style it was built by JR Taylor & R McDonald in 1912. Sub-divided in 2000.



Figure 6. 30-44 Manchester Lane constructed 1912.

96-98 Flinders Lane is comparable with 30-44 Manchester Lane (HO641) and 333 Flinders Lane (HO647). As a six-storey brick warehouse, the subject building reflects the earlier stages in the development from low-rise to mid- and high-rise city buildings in Melbourne's central city.

ASSESSMENT AGAINST CRITERIA

✓ **CRITERION A**
Importance to the course or pattern of our cultural or natural history (historical significance).

CRITERION B
Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).

CRITERION C
Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).

✓ **CRITERION D**
Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).

CRITERION E
Importance of exhibiting particular aesthetic characteristics (aesthetic significance).

CRITERION F
Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)

CRITERION G
Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).

✓ **CRITERION H**
Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

REFERENCES

Age, as cited.

Argus, as cited.

Australasian, as cited.

Ballarat Star, as cited.

Bendigo Independent, as cited.

Context Pty Ltd 2012, *Thematic History: A History of the City of Melbourne's Urban Environment*, prepared for the City of Melbourne.

Dingle, Tony 2008, 'Manufacturing' in *eMelbourne*, School of Historical and Philosophical Studies, University of Melbourne, <http://www.emelbourne.net.au/biogs/EM00896b.htm>, accessed 13 June 2017.

Fels, M, Lavelle S, and Mider, D 1993, 'Archaeological Management Plan', prepared for the City of Melbourne.

Leader, as cited.

May, Andrew (2008), 'Flinders Lane' in *eMelbourne*, School of Historical & Philosophical Studies, The University of Melbourne, <http://www.emelbourne.net.au/biogs/EM00586b.htm>, accessed 13 June 2017.

Riverine Herald, as cited.

Sands and McDougall's Directory (S&Mc), as cited.

Victorian Railways 1928, 'Aerial View of Melbourne', State Library of Victoria (SLV) Victorian Railways collection. Scenic negatives, accessed 22 June 2017.

Weekly Times, as cited.

PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985** D

**Central City Heritage
Study 1993** C

**Review of Heritage
overlay listings in the
CBD 2002** Ungraded

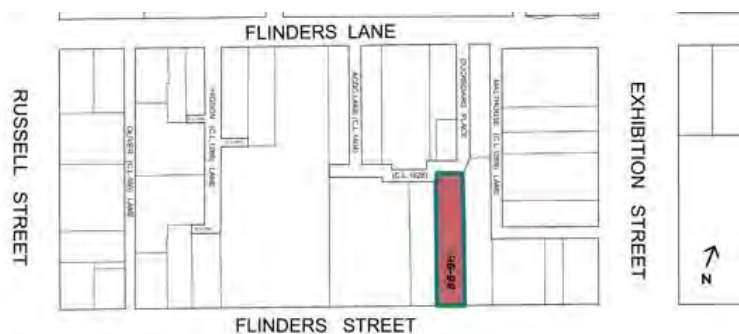
**Central City Heritage
Review 2011** Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Dreman Building



PS ref no: Interim HO1272



What is significant?

The Dreman Building at 96-98 Flinders St, built in 1915.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing;
- The building's original façade detailing including engaged pilasters, simple capitals, parapet with pediment and scroll details, major cornice with brackets and name plate with 'Dreman Building' inscribed;
- Original pattern and size of fenestrations; and
- Remnant stone wall at western end of ground level.

Later alterations including those made to the street level façade are not significant.

How it is significant?

The Dreman Building is of local historic, representative and associative significance to the City of Melbourne.

Why it is significant?

The Dreman Building, built in 1915 at 96-98 Flinders Street is historically significant for its occupation by the French Gaulois Tyre Company and Rubber Trade Centre from 1915-1920, and from 1920-1954 by Williams the Shoeman. One of several international firms entrusted with providing rubber tyres to the developing motor car industry, Gaulois secured contracts with Melbourne City Council. The use by the prominent Victorian shoe retailer Williams the Shoeman is significant for its 30-year duration. (Criterion A)

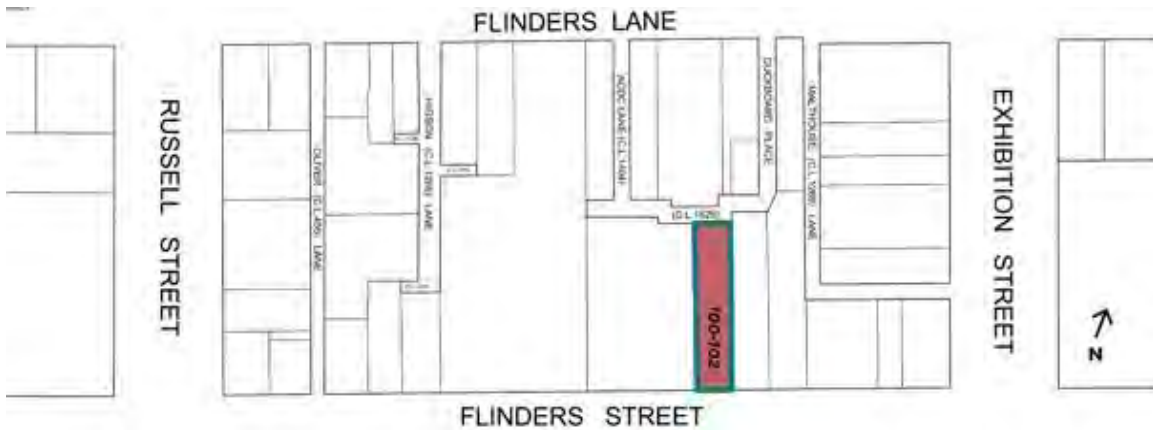
The Dreman Building at 96-98 Flinders Street is significant as part of the warehouse typology that is representative of the city's evolution from low-rise buildings up to four storeys, to a mid-rise city. As one of several Flinders Street buildings, including 100-102 Flinders Street and Epstein House at 134-136 Flinders Street, Dreman House is part of a group that form an impressive edge to the city. While not as intact as some other examples of this type, it remains legible through its scale, form and façade composition including expressed framing and a bracketed parapet with original lettering. (Criterion D)

The Dreman Building at 96-98 Flinders Street is significant for its association with Williams The Shoeman Pty Ltd, a shoe retailing company established by John Williams in Ballarat in 1860. Williams The Shoeman purchased the Dreman Building in 1920, using the building as the headquarters and warehouse for its state-wide branch operations until 1954. (Criterion H)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Former Sunday School Union of Victoria
STREET ADDRESS	100-102 Flinders Street Melbourne
PROPERTY ID	104027



SURVEY DATE: May 2017		SURVEY BY: Context Pty Ltd	
HERITAGE INVENTORY	H7822-1941	EXISTING HERITAGE OVERLAY	No
PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
DESIGNER / ARCHITECT / ARTIST:	Not known	FORMER GRADE	C
		BUILDER:	Not known
DEVELOPMENT PERIOD:	Federation/Edwardian Period (1902-c.1918)	DATE OF CREATION / MAJOR CONSTRUCTION:	1921

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Stage 2 Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here
HISTORIC THEMES	DOMINANT SUB-THEMES
10 Shaping cultural life	10.2 Belonging to a religious denomination
	OTHER SUB-THEMES
5 Building a commercial city	5.5 Building a manufacturing industry
3 Shaping the urban landscape	3.2 Expressing an architectural style

LAND USE

HISTORIC LAND USE	
Archaeological block no: 63	Inventory no: 941
Character of Occupation: Commercial	
Fourth land sale, Block 7 Allotment 6, Phillip Oakden.	
1866 Cox	Building on site
1877 Dove	Single-storey house, yard, outbuildings
1880 Panorama	
1888 Mahlstedt	Same
1905/6 Mahlstedt	Six-storey building, two-storey mill, R Edward & Co
THEMATIC MAPPING AND LAND USE	
1890s	Residential
1920s	Commercial, Warehouse
1960s	Not able to be determined

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

This six-storey brick Edwardian/Federation era commercial/warehouse building was built for the Sunday School Union of Victoria in 1921. Located on a narrow city block, the building has a shopfront at ground level and a distinctive façade to the upper storeys.

HISTORICAL CONTEXT

Shaping cultural life

Belonging to a religious denomination

Melbourne's churches have played an influential role in society since the beginnings of settlement. They have helped shape the city's social fabric as well as providing rich architectural interest in the urban landscape. The principal Christian churches established were Anglican (Episcopalian), Catholic, Presbyterian, Methodist, and Baptist (Context 2012:75).

Building on Christian principles, Sunday schools were created in response to the need to educate poor children. The Sunday School Union, established on 13 July 1803 in England, was an ecumenical organisation devoted to promoting Sunday schools in Britain and abroad (*Curiosmith* 2017). The *Encyclopaedia of Melbourne* writes that in Australia:

In 1871 lay people from various churches formed the Victorian Sunday School Union and began a wide program of religious education. A Children's Church was erected in Collingwood for the 'neglected poor' in 1876 and operated until 1932. A Teacher Training College from its inception in 1886 until 1943 had 3411 students graduate after completing a two-year course. The union book depot and lending library serviced all Protestant denominations and the 126 city schools established by 1903. Schools were encouraged to use the American International Uniform Lessons, a curriculum with one lesson for all classes and schools. Changes in educational theory replaced uniform lessons with Australian-prepared graded lessons...To overcome inadequate accommodation the union recommended a [building] model that was used for Independent schools in Prahran and Hawthorn, and adapted elsewhere...In the 1970s attendances declined sharply and churches focused on recruitment and new forms of children's ministry. Their quest for a comprehensive replacement of the traditional Sunday school continues (O'Connor 2008).

Sunday school unions were formed in both metropolitan and regional Victoria.

Building a commercial city

Building a manufacturing capacity

As Melbourne developed through the nineteenth century, so did its manufacturing industry. Flinders Lane became an important area for clothing manufacturers, while Chinese cabinet makers were concentrated at the east end of town. Food-processing plants were established in North and West Melbourne. Factories tended to be small and specialised. Large factories, built in the later nineteenth century and early twentieth century tended to be built outside the City of Melbourne, where land was more easily obtainable (Context 2012:44).

Warehouses and offices were also an important part of Melbourne's economic life. From the 1850s, the Yarra River and the docks west of Swanston Street were, in essence, the 'lifeline' of the city. Port facilities and large warehouses were built in this area to serve shipping interests (Context 2012:39-40). The area of Flinders Lane is described by the *Encyclopedia of Melbourne*:

By the 1860s, as [Flinders Lane's] swamps were filled in, and as its proximity to the wharf encouraged the construction of warehouses and showrooms, the street gained a reputation

as a busy and important thoroughfare, the chosen location of mercantile houses, importers, brewers, timber yards and wholesalers (May 2008).

From the 1930s, like the rest of Australia, an increasing proportion of the city's workforce took up jobs in manufacturing, an industry that led Australia's recovery from the economic depression of the late 1920s-early 1930s, when, the *Encyclopedia of Melbourne* notes, a

steep rise in tariffs, devaluation of the Australian pound, falling wages and electricity costs all made local producers far more competitive internationally. Textiles benefited first, then the metals industries and engineering took over as pacemakers (Dingle 2008).

Shaping the urban landscape

Expressing an architectural style

In the central city, the Romanesque revival style was adopted, often combined with Art Nouveau-influenced ornament. Red face brick with limited render accents were the preferred materials, and facades were articulated with large-scale round-arches, sometimes with window bays set into them. Examples of the Romanesque revival include the Tompkins Bros' Commercial Travellers Building in Flinders Street (1898) and Nahum Barnett's Auditorium Building in Collins Street (1913). The style was also used for more modest factories and warehouses along Flinders Lane (Context 2012:19).

While the Romanesque was favoured for commercial buildings, a classical influence prevailed for public buildings. In line with the less regimented designs of the early twentieth century, this was the Edwardian Baroque style. It was characterised by mannered classical facades with deep cornices. Again, red face brick with render dressings were preferred. Landmark examples include Flinders Street Station (1901-11, Fawcett and Ashworth) and the City Baths (1903, J.J. & E.J. Clark) (Context, 2012:15).

SITE HISTORY

The land on which the building at 100-102 Flinders Street stands has been used for commercial and residential purposes since 1866. In the period 1877-88, a residence existed on the block. By 1905, a six-storey building and two-storey mill had been built on the land, occupied by R Edwards and Co (Fels, Lavelle & Mider 1993).

In 1904, a five-storey building was erected at 100 Flinders Street for Edwards Bros tea and coffee merchants. They occupied the building until 1919 when it was acquired by the Sunday School Union of Victoria. From this year, Edwards and Co continued to occupy the ground, fourth and fifth floors; the Sunday School Union the first floor; Aussie Trading Company (furniture salesmen) the second floor; and H McHenry and Co (linen indentors), the third (*Age* 2 May 1921:5; *Australasian* 7 May 1921:34).

The Sunday School Union of Victoria purchased the premises at 100 Flinders Street in 1919, from which time it was known as the Union Building. The Union owned the building until at least the early 1950s. In May 1921, a fire destroyed the building, leaving only parts of the external brick walls standing. The damage to buildings and stock was extensive and estimated at approximately £40,000 (*Australasian* 7 May 1921:34).

A new building was constructed, with the Sunday School Union of Victoria advertising offices and a showroom available for lease in September 1921 (*Argus* 3 September 1921:1).

In January 1922, woollen fabric warehousemen, Frederick Houghton and Co, informed customers that they had moved its warehouse from 'The Lane' to 'new, brighter and more commodious premises' at 'the recently erected Union Buildings' at 100 Flinders Street (*Argus* 31 January 1922:10).

The building continued to be owned by the Sunday School Union, who also used the building to house the offices of the Sunday School Union Bush Mission. Other tenants at the time included the United Agency Company (*Weekly Times* 26 August 1922:8).

The textiles industry continued its association with the Union Building when the Bernstein coat factory opened in the building in 1935 (*Age* 3 April 1935:5).

By 1939, the State Rivers and Water Supply Commission's Mechanical Branch had leased the fourth floor of the Union Building (*Age* 1 February 1939:4). In the same year, the Sunday School Union advertised 900 feet of 'bomb proof' factory or warehouse space for lease in the building (*Argus* 3 March 1941:8).

A newspaper article in 1952 informed readers that the Sunday School Union's policy had undergone a complete revision, including the adoption of a new set of Articles of Association that allowed all seven denominations to become members of the union council. All seven denominations were thus engaged in Sunday school and Christian youth work, and teacher and leadership training (*Age* 13 September 1952:16).

The same article noted that the union's 'fine headquarters' at 100 Flinders Street consisted of two buildings, one with six and the other with five floors. The ground floor suite of administration offices had recently been remodelled and redecorated (*Age* 13 September 1952:16). This is the first reference to the fact that the Sunday School Union of Victoria occupied two buildings in Flinders Street and may indicate that the Union had taken over the next-door five-storey Dreman Building at 96-98 Flinders Street by this year.

The Union Building at 100-102 Flinders Street has continued to be used for a number of industrial and commercial uses over the years (Figure 1).

The building was refurbished and subdivided into a mix of residential and commercial units in 1996.



Figure 1. An aerial showing 100-102 Flinders Street, an extract from *Aerial View of Melbourne, 1928*, by Victorian Railways. (Source: SLV)

SITE DESCRIPTION

This six-storey brick commercial/warehouse building is located between Exhibition Street and Russell Street, on the southern edge of the city grid. Built around the same time as the adjacent building at 96-98 Flinders Street, the building height and the rhythm of the façade is consistent with the two buildings.

Heavy stone construction at ground level provides a base for the red brick construction of the upper five levels. Brick piers are located at each side of the building, and combine with a rendered parapet to form a rectangular façade with a strong vertical emphasis.

The upper façade is comprised of horizontal bands of windows and spandrels that run between the red brick piers, at each level. Each band has three pairs of timber framed sash windows, separated by a brick pilaster with rendered bases and capitals and a rendered spandrel below. Detailing to the spandrel varies between the levels. Spandrels between levels three and five have cornices and rendered inset panels, which contrast with the flat rendered finish to alternating levels. A deep bracketed cornice runs across the top of the building, at the base of the simple rendered parapet.

At ground level, the rusticated piers have heavy base blocks with stylised curved detailing carved into their face, smooth banding to the centre, and stylised splayed capitals which support a band of smooth stone across the top of the facade. Double entry doors sit to one side of a shopfront, surrounded by smooth stone framing. Shop front details have likely been altered. A band of timber framed, small paned windows runs across the full width of this floor level, which has a higher floor to ceiling ratio than the levels above.

INTEGRITY

Generally, the upper façade of the building retains a high level of intactness. At ground level, the shop front has been altered. This may have occurred when the building was refurbished and subdivided into a mix of residential and commercial units in 1996.

COMPARATIVE ANALYSIS

During the Edwardian era, mid-rise brick warehouse/commercial buildings were frequently built in Melbourne's CBD. While two- or three-storey warehouses were still common, some examples of unreinforced brick structures comprise five- to seven-storeys, utilising the narrow urban allotments.

The subject building is comparable with the following examples, drawn chiefly from the Central City Heritage Review 2011 and Commaps, being of a similar use, scale, location and creation date. The images are provided by CoM Maps unless stated otherwise.

Selected examples of Edwardian brick warehouse include:

Dreman Building, 96-98 Flinders Street (Interim HO1272 – recommended as significant in the Hoddle Grid Heritage Review)

A six-storey warehouse building, with shopfront at ground level and a distinctive and consistent façade to the upper five levels. Rendered engaged pilasters run the full height of the building and combine with a decorative parapet to form a rectangular façade with a strong vertical emphasis. Window openings are defined by the intersection vertical and horizontal bands that run across the façade and determine the rhythm and pattern of the façade.



Figure 2. 96-98 Flinders Street constructed 1904.

Doery Tilley & Co, 333 Flinders Lane (HO647, Significant in HO506 Flinders Lane Precinct)

A five-storey brick former warehouse with basement parking. Designed by HW & FB Tompkins and built in 1912 by John Carter for Edward Doery and William Tilley principals of the boot warehouseman Doery Tilley & Co. The company held the property until 1969. In January 1921 fire severely damaged the top storey. It was refurbished and subdivided into offices in 1987.

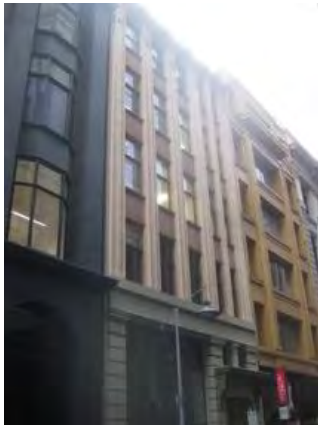


Figure 3. 333 Flinders Lane constructed 1912.

Gollin & Co Building, 561-563 Bourke Street (HO549)

A five-storey brick office building designed in the Queen Anne Revival style by Charles D'Ebro and built in 1902.



Figure 4. 561-563 Bourke Street constructed 1902.

Desto House, 65 Elizabeth Street (HO615)

A six-storey brick office building with basement & ground retail. Designed by Inskip & Kemp in the Neo-Baroque Edwardian style it was built by Clement Langford in 1911. The upper floors were converted & sub-divided into residential units in 2001.



Figure 5. 65 Elizabeth Street constructed 1912.

Rocke & Tomsitt Pty Ltd, 296 Flinders Street (HO658, Significant in HO505 Flinders Gate Precinct)

A six-storey rendered brick former warehouse and office building with a basement. Designed with ornate Renaissance and Baroque detailing. Built for Herbert Rocke and Henry Thomas Tomsitt wholesale druggists and principals of Rocke & Tomsitt Pty Ltd in 1908. Refurbished in 1986 and converted and subdivided into residential units with ground level and basement retail in 2000.



Figure 6. 296 Flinders Street constructed 1908.

Although modest in size when compared to 65 Elizabeth Street (HO615) or 296 Flinders Street (HO658), 100-102 Flinders Street is a fine example of an Edwardian brick warehouse that represents the commercial development of Melbourne during the early twentieth century. It compares well with the adjoining building at 96-98 Flinders Street, in terms of its height and the rhythm of the façade.

ASSESSMENT AGAINST CRITERIA

✓	<p>CRITERION A Importance to the course or pattern of our cultural or natural history (historical significance).</p>
	<p>CRITERION B Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).</p>
	<p>CRITERION C Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).</p>
✓	<p>CRITERION D Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).</p>
✓	<p>CRITERION E Importance of exhibiting particular aesthetic characteristics (aesthetic significance).</p>
	<p>CRITERION F Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)</p>
	<p>CRITERION G Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).</p>
✓	<p>CRITERION H Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).</p>

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

REFERENCES

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Argus, as cited.

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Banner, as cited.

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Dingle, Tony 2008, 'Manufacturing' in *eMelbourne*, School of Historical and Philosophical Studies, University of Melbourne, <http://www.emelbourne.net.au/biogs/EM00896b.htm>, accessed 13 June 2017.

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O'Connor, T Maxwell 2008, 'Sunday Schools' in *eMelbourne*, School of Historical and Philosophical Studies, University of Melbourne, <http://www.emelbourne.net.au/biogs/EM01447b.htm>, accessed 5 June 2017.

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Weekly Times, as cited.

PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985**

D

**Central City Heritage
Study 1993**

C

**Review of Heritage
overlay listings in the
CBD 2002**

Ungraded

**Central City Heritage
Review 2011**

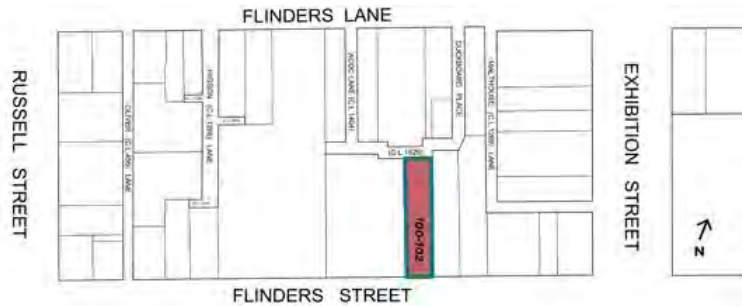
Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Former Sunday School Union of Victoria



PS ref no: Interim HO1273



What is significant?

The Union Building at 100-102 Flinders Street, built for the Sunday School Union of Victoria in 1921.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing;
- The building's high level of integrity to its original design;
- Unpainted red brick walls at the upper levels with contrasting rendered detailing;
- Decorative elements including the rendered parapet, red brick piers at the building's edges, pilasters between timber frame sash windows and spandrel panels, deep bracketed major cornice and minor cornices; and
- Stone construction at ground level including rusticated piers with heavy base blocks, stylised capitals and smooth stone banding.

Later alterations made to the street level façade are not significant.

How it is significant?

The Union Building at 100-102 Flinders Street is of local historic, representative, aesthetic and associative significance to the City of Melbourne.

Why it is significant?

The Union Building at 100-102 Flinders Street is historically significant for its demonstration of a mixed use commercial premises. Built by and for the Sunday School Union of Victoria in 1921, following a fire

in a previous building on the site, 100-102 Flinders Street was occupied by a range of businesses including fabric retailers, clothing manufacturers, and furniture retailers. (Criterion A)

The Union Building at 100-102 Flinders Street is a fine example of a Romanesque revival warehouse, built during the early twentieth century commercial development of Melbourne. It is a notable example of a warehouse typology that demonstrates the city's evolution from a low-rise to mid-rise city. It is significant as one of several Flinders Street buildings of the same era and scale that form an impressive edge to the city, including the Dreman Building at 96-98 Flinders Street and Epstein House at 134-136 Flinders Street. (Criterion D)

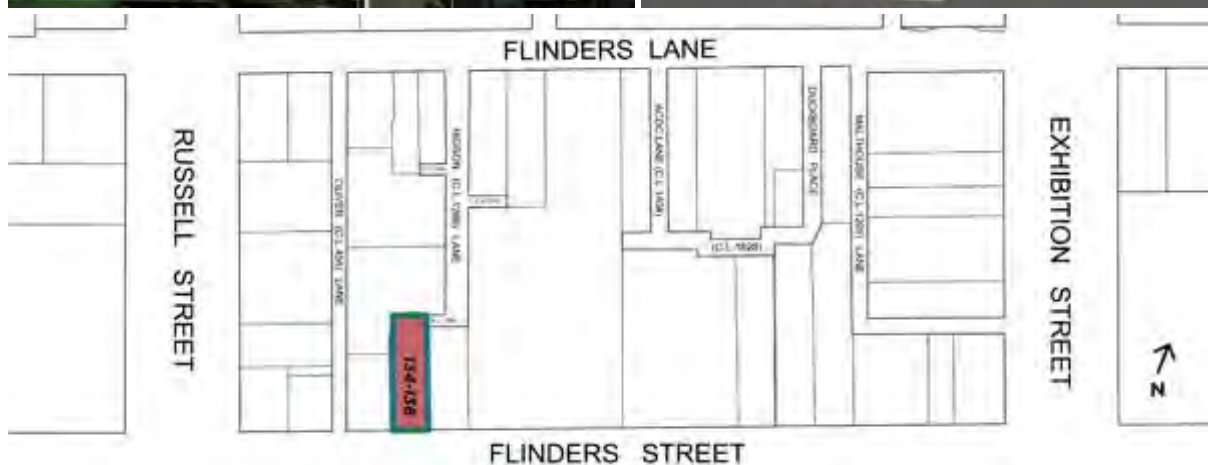
The Union Building at 100-102 Flinders Street is aesthetically significant for its façade of red brick with bands of render detailing forming spandrels and contrasting elements to the vertical brick piers. The ground floor is highly distinctive for its massive stone piers in stylised sculptural form and the higher floor to ceiling indicated by a row of clerestorey windows. The composition of the façade is enhanced by the decorative cornice and original window frames that contribute to its integrity. (Criterion E)

The Union Building at 100-102 Flinders Street is significant for its enduring association with the Sunday School Union of Victoria which was established in 1871 and moved to a building at 100 Flinders Street in 1919. The Union instigated a wide program of religious education, including the establishment of a Children's Church in Collingwood for the 'neglected poor' (1876-1932); a Teacher Training College (1886 -1943), a union book depot and lending library established by 1903, and the formation of Sunday school unions in both metropolitan Melbourne and regional Victoria. The current building at 100-102 Flinders Street housed the headquarters of the Sunday School Union of Victoria from 1921 to the early 1950s. (Criterion H)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Epstein House
STREET ADDRESS	134-136 Flinders Street Melbourne
PROPERTY ID	104023



SURVEY DATE: May 2017

SURVEY BY: Context Pty Ltd

HERITAGE INVENTORY H7822-1944

EXISTING HERITAGE OVERLAY No

PLACE TYPE Individual Heritage Place

PROPOSED CATEGORY Significant

FORMER GRADE C

DESIGNER / ARCHITECT / ARTIST: James A Wood

BUILDER: Not known

DEVELOPMENT PERIOD: Interwar Period (c1919-c1940)

DATE OF CREATION / MAJOR CONSTRUCTION: 1926

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Stage 2 Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a commercial city	5.5 Building a manufacturing industry
	OTHER SUB-THEMES
9 Working in the city	9.2 Women's work
3 Shaping the urban environment	3.2 Expressing an architectural style

LAND USE

HISTORIC LAND USE	
Archaeological block no: 63	Inventory no: 944
Character of Occupation: Governmental, Commercial, Residential	
Fourth land sale. Block 7 Allotment 2, Thomas Gore.	
1866 Cox	Building on site.
1877 Dove	Three-storey building; Bramwell & Grant, boot manufacturer.
1880 Panorama	
1888 Mahlstedt	Two-storey building.
1905/6 Mahlstedt	Civil Service Store.
THEMATIC MAPPING AND LAND USE	
1890s	Manufacturing
1920s	Manufacturing, Commercial
1960s	Retail

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

Epstein House was built in 1926 for the Epstein family. It is associated with Louis Epstein who established himself as a tailor and went on to develop a successful clothing manufacturing business. The six-storey building has a distinctive glazed bay to its upper façade and two shopfronts at street level.

HISTORICAL CONTEXT

Building a commercial city

Building a manufacturing capacity

As Melbourne developed through the nineteenth century, so did its manufacturing industry. Flinders Lane became an important area for clothing manufacturers, while Chinese cabinet makers were concentrated at the east end of town. Food-processing plants were established in north and west Melbourne. Factories tended to be small and specialised. Large factories, built in the later nineteenth century and early twentieth century tended to be built outside the City of Melbourne, where land was more easily obtainable (Context 2012:44).

The textile industry formed an important sector of Melbourne central's economy. In Flinders Lane, from Spring to Queen streets, 'clothing warehouses, manufacturers, mill suppliers, button-and belt-makers, and clothes designers made the lane the centre of fashion, an industry pioneered by Jewish immigrant families such as Slutzkin, Blashki, Merkel, Haskin, Mollard and Trevaskis.' Crowding and a lack of parking forced the rag trade into decline from the 1960s (May 2008).

Working in the city

Women's work

Women were restricted in terms of the paid work that was available to them. Single women found employment as domestic servants and nursemaids in private homes, although these positions had a high turnover — this situation was disparaged by employers as 'the servant problem'. Women also worked as schoolteachers and nurses, and as 'shop girls', waitresses and publicans. Large numbers of women found employment as machinists in the clothing and footwear factories that emerged in the late nineteenth and early twentieth centuries (Context 2012:72).

Shaping the urban landscape

Expressing an architectural style

Commercial buildings in Melbourne's central city in the 1920s were mainly of the commercial palazzo style, as exemplified by Harry Norris's Nicholas Building in Swanston Street (1925). The style was an early attempt at creating a style suitable for the tall building. It was divided into a base, shaft and cornice, much like a Renaissance palazzo. The scale, however, was greatly enlarged, with the shaft stretching up to 10 storeys. By the 1930s, the soaring height of the new office towers was embraced and the vertical thrust emphasised in the Commercial Gothic style and the jazz moderne. Landmark examples include, respectively, Marcus Barlow's Manchester Unity Building (1929-32) and the Tompkins Bros' Myer Emporium in Bourke Street (1933) (Context 2012:19).

SITE HISTORY

134-136 Flinders Street has been occupied by a number of businesses over the years. A building was on site in 1866, and in 1877, boot manufacturer Bramwell and Grant operated from a three-storey building. In 1888, a two-storey building stood on the land, and by 1905, the Civil Service Store was operating from the site (Fels, Lavelle & Mider 1993).

Butler House, which housed J H Butler and Co and Leroy and Co, both undergarment and blouse makers, preceded the subject building (Butler 1984).

In 1926, architect James A Wood of Temple Court, Melbourne, submitted plans to build a reinforced concrete building at 134-136 Flinders Street for tailor Louis Epstein, who had established a tailoring business in Melbourne in 1905. In the first plans, a three-storey elevation was proposed, with only stair access between floors, toilets on the roof slab and two roof lanterns to light, presumably, a work area below (Butler 1984).

A second set of plans added a lift (front and back) and three floor levels to the previous design, with an allocation of two water closets per floor, and a large 'Women's Lavatory' on the roof. One of the roof lanterns was eliminated in this plan. At ground level, two shops with a common recessed entry, plus an entry to the upper levels, were provided. Each of these upper floors possessed a four-light bay overhanging Flinders Street and over the rear yard, a regulation successive setback to provide light angles (Butler 1984).

The six-storey style reinforced concrete Epstein House opened in 1926. Architect James A Wood called for contractors to advertise on the walls and roof of the building in September of that year (*Age* 23 September 1926:1). M Glynn, also housed in Epstein House, advertised for machinists for the making of ladies' robes and coats in November 1926 (*Age* 9 November 1926:15). It is highly likely that these positions were filled by women.

In 1930, Epstein House housed, on the ground floor, Louis Epstein and Co, tailors; Mrs E M Alynn, mantle maker; and V Laby, who managed a newsagency and billiard saloon. Businesses on the upper floors comprised a motor tyre dealer, Leo Figg; and machinery agents, W C Sackson and Co (Butler 1984).

Similar tenants were in residence in 1940: Perfit and the Costume Co made mantles; Lady Mackay ran a florist shop; and the Young Australia League rented space (Butler 1984). Epstein House is shown in 1972 (Figure 1).

Louis Epstein died in 1954, leaving behind his wife and ten children. An obituary in the *Age* noted that Epstein had been a prominent tailor in Flinders Street for 30 years and had made most of the uniforms for the Victorian Police Force. His sons, Keith, Phillip and Garth, joined the tailoring business, Louis Epstein and Co, which continued to operate from Epstein House until 1994. The Epsteins gained a reputation as bespoke tailors and uniform and equestrian clothing manufacturers and were the first importers and retailers of Levi Strauss jeans in Australia. After their retirement, various elements of the business were sold to others, including the equestrian wear. The Louis Epstein chain of fashion stores was established in the 1990s. (*Age* 29 June 1954:15; Epstein 2017).

After the closure of Louis Epstein and Co at 134-136 Flinders Street in 1994, Epstein House was refurbished in 1995 and subdivided into strata offices with retail established on the ground level. Today the property comprises residential and business use.



Figure 1. The east elevation of 134-146 Flinders Street shown in a section of Flinders Street north between Hosier Lane and Russell Street, Melbourne, Vic, c.1972, by K J Halla. (Source: SLV)

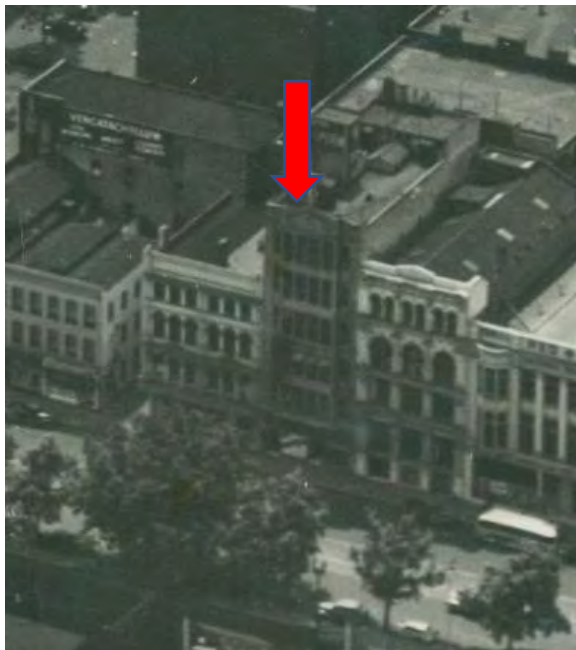


Figure 2. 134-136 Flinders Street with its original parapet shown in a section of Aerial view of the central business district of Melbourne from Flinders Street railyards looking north-west, c.1950-c.1960, by C D Pratt. (Source: SLV)

SITE DESCRIPTION

This six-storey building is located between Exhibition Street and Russell Street, on the southern edge of the city grid. Built of reinforced concrete with a rendered finish, the building was designed to have two shop fronts at ground level and a distinctive façade to the upper five floors.

Designed in the classical revival style, engaged pilasters run up the outer edges of the building and combine with a simple parapet to form a rectangular façade with a strong vertical emphasis. A glazed bay runs the full height of the upper façade, projecting out over the street level. Each floor has a band of four windows at the edge of the bay. Timber glazing bars are arranged in vertical and diamond patterning to give a distinctive character to the façade. Central hopper windows are integrated to the arrangement on the fourth level. The glazing pattern has been altered at the top level, with the typical

arrangement replaced by plate glass panels. A concrete spandrel runs below each set of windows. The words 'Epstein' and 'House' are inscribed on the spandrels at the fourth and fifth levels.

At the top of the building, stylised rendered decoration is notable to the parapet. A narrow band runs down each side of the building. The patterning and dimension of windows in this band is consistent with windows in the central projecting section.

INTEGRITY

The building is reasonably intact with the parapet detailing, the engaged pilasters, projecting bay and much of the window glazing patterning remaining. Alterations include plain glass to the upper floor windows and extensive alterations to the shopfront. Epstein House was refurbished and subdivided into strata offices with ground level retail in 1995. At street level, shop fronts have been altered and part of the parapet removed.

COMPARATIVE ANALYSIS

Structural steel and reinforced concrete framing became popular building materials in interwar Melbourne. Many 1920s examples adopted architecture styles with strengthened vertical lines to emphasise the tall height of buildings.

The subject building compares well with the following examples, drawn chiefly from the Central City Heritage Review 2011 and Guildford and Hardware Laneways Heritage Study 2017, being of a similar use, scale, location and creation date. The below images and descriptions are provided by CoM Maps unless stated otherwise.

Selected examples of interwar city buildings include:

Capitol Arcade, 115 Swanston Street (VHR H0471; HO747, Significant in HO502 The Block Precinct)

An 11-storey concrete building with a ground floor arcade and a basement. Designed by Walter Burley Griffin and his wife Marion Mahony in association with Peck & Kempter in the Chicago-esque style. Built by John Monash's Reinforced Concrete and Monier Pipe Construction Company in 1924. Of special note is the auditorium/theatre with its Art Deco lighting and decor. Subdivided in stages from 1999 and concluding with the residential units in 2003.



Figure 3. Capitol Arcade, 115 Swanston Street constructed 1924.

Francis House, 107 Collins Street (HO573, Significant in HO504 Collins East Precinct)

Francis House is a six-storey reinforced concrete office building with a basement. Designed by William Arthur Mordey Blackett and William Blackett Forster in the Neo Renaissance style. Built by Scott & Sorrell and completed in 1927. Noted for being the inaugural winner of the RVIA award for street architecture in 1929.



Figure 4. Francis House, 107 Collins Street constructed 1927.

Evans House, 415 Bourke Street (HO1004)

Originally known as Evans House. A six-storey concrete office building with a ground floor shop and a basement. An early example of the Moderne style in Melbourne it is finished with sandstone and cement stucco and features terracotta ornamentation. Designed by Hare Alder Peck & Lacey and built by George Prentice Pty Ltd for Thomas Evans Pty Ltd in 1930. Thomas Evans was a manufacturer and retailer of canvas goods. Fully refurbished in the mid-1990s, subdivided in 1999 and further in 2002.



Figure 5. Evans House, 415 Bourke Street constructed 1930.

Druids House, 407-409 Swanston Street (HO1083)

A seven-storey reinforced concrete office building with a basement and ground level retail. Designed by Gibbs, Finlay, Morsby & Coates in the Greek Revival style and built by EA Watts for The Druids Friendly Society in 1927. It was opened by the Lord Mayor, SJ Morell, on 4th April 1927. Refurbished and subdivided into two retail and six office units in 1989.



Figure 6. Druids House, 407-409 Swanston Street constructed 1927.

Pellegrini & Co (former), 388 Bourke Street (HO1206)

A nine-storey brick office building with ground level retail. Designed by AA Fritsch in the classical revival style and built in 1930.



Figure 7. 388 Bourke Street constructed 1930.

Epstein House is a notable example a commercial mid-rise building from the 1920s and is unusual for its generously glazed façade. It is comparable with 388 Bourke Street (recommended for inclusion in HO) and Druid House at 407-9 Swanston Street (HO1083) in terms of its scale and stylistic expressions. Epstein House is an example of a group of taller commercial building that were constructed on small sites in the 1920s.

ASSESSMENT AGAINST CRITERIA

- | | |
|---|--|
| ✓ | <p>CRITERION A
Importance to the course or pattern of our cultural or natural history (historical significance).</p> |
| | <p>CRITERION B
Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).</p> |
| | <p>CRITERION C
Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).</p> |
| ✓ | <p>CRITERION D
Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).</p> |
| ✓ | <p>CRITERION E
Importance of exhibiting particular aesthetic characteristics (aesthetic significance).</p> |
| | <p>CRITERION F
Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)</p> |
| | <p>CRITERION G
Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).</p> |
| ✓ | <p>CRITERION H
Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).</p> |
-

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

REFERENCES

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PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985** C

**Central City Heritage
Study 1993** C

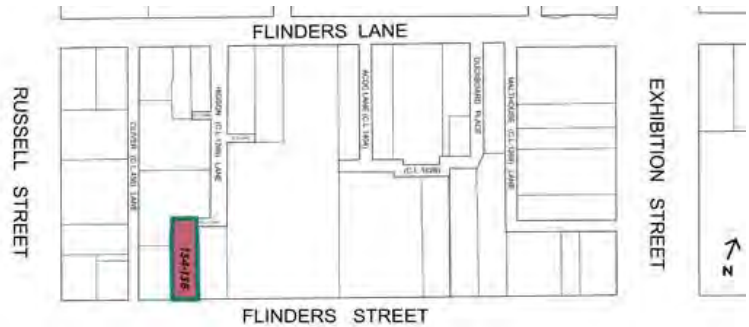
**Review of Heritage
overlay listings in the
CBD 2002** Ungraded

**Central City Heritage
Review 2011** Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Epstein House

PS ref no: Interim HO1274



What is significant?

Epstein House at 134-136 Flinders Street built for clothing manufacturers the Epstein family in 1926, and designed by architect James A Wood.

Elements that contribute to the significance include (but are not limited to):

- The building's original external form, materials and detailing;
- The buildings relatively high level of integrity to its original design;
- The original proportions and patterns of fenestration;
- The engaged pilasters, parapet, rendered ornament, spandrels; and
- Decoratively arranged timber mullions and raised lettering 'Epstein House'.

Later alterations at ground level and glazed panels at upper level are not significant.

How it is significant?

Epstein House at 134-136 Flinders Street is of local historic, representative, aesthetic and associative significance to the City of Melbourne.

Why it is significant?

Epstein House at 134-136 Flinders Street is historically significant for its association with the textile industry in the City of Melbourne that was strongly represented in the Flinders Lane area. Epstein House is also significant for its association with the Epstein family of tailors. (Criterion A)

Epstein House at 134-136 Flinders Street is a fine example of mid-rise commercial building designed in the interwar classical revival style. (Criterion D)

Epstein House at 134-136 Flinders Street is aesthetically significant for its elaborate façade design including decorative rendered piers and a central projecting glazed bay running the full height of the upper façade. This is complemented by generous glazing comprising a band of four windows across the projecting bay at each level, with glazing bars arranged in vertical and diamond patterning.

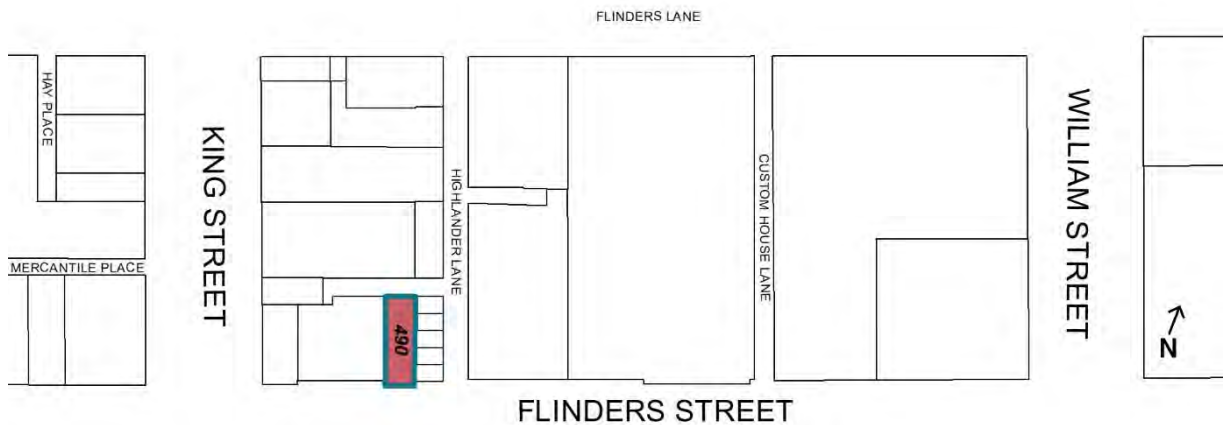
It is also aesthetically significant as one of several Flinders Street buildings of the same era and scale including 100-102 Flinders Street and 96-98 Flinders Street, that form an impressive edge to the city. (Criterion E)

Epstein House at 134-136 Flinders Street is significant for its association with the Epstein family. Louis Epstein established himself as a tailor in Melbourne in 1905 and opened Epstein House in 1926 to house his growing clothing manufacturing business, Louis Epstein and Co., which his sons, Keith, Phillip and Garth, also joined. The business gained a reputation as bespoke tailors and uniform and equestrian clothing manufacturers, making most of the uniforms for the Victorian Police Force. (Criterion H)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Willis' Buildings
STREET ADDRESS	490 Flinders Street Melbourne
PROPERTY ID	103996



SURVEY DATE: January 2019

SURVEY BY: Context

HERITAGE INVENTORY H7822-1863

EXISTING HERITAGE OVERLAY No

PLACE TYPE Individual Heritage Place

PROPOSED CATEGORY Significant

FORMER GRADE C

DESIGNER / ARCHITECT / ARTIST: George Willis (likely)

BUILDER: George Willis

DEVELOPMENT PERIOD: Victorian Period (1851-1901)

DATE OF CREATION / MAJOR CONSTRUCTION: 1869-70

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here.
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a Commercial City	5.4 Building a retail centre

LAND USE

HISTORIC LAND USE	
Archaeological block no: 58	Inventory no: 863
Character of Occupation: Commercial, Residential	
Block 2, Crown Allotment 1, purchased by J P Fawkner in the third land sale, 1838.	
1839 Williamson	
1837 & 1840 Hoddle	Subdivisions, lanes and building by 1840
1855 Kearney	
1866 Cox	
1877 Dove	Three two-storey buildings: Grocer, Producer, Fruiterer
1880 Panorama	
1888 Mahlstedt	As above
1905/6 Mahlstedt	As above, occupants not listed
THEMATIC MAPPING AND LAND USE	
1890s	Retail and residential
1920s	Retail and residential
1960s	Retail

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

Willis' Buildings, 490 Flinders Street, Melbourne, are a pair of two-storey shop buildings, constructed in the pre-boom period in 1869-70 in the Victorian Italianate style. The buildings were originally constructed as a row of three shop and residences for and by builder George Willis. Until the 1920s, the ground floor spaces operated as shops and the shopkeepers lived in the residences above. The third shop was demolished in c1973. Willis' Buildings have been continuously occupied by a number of retail and service businesses, including, for the first 50 years, a grocery, general store and tailoring business.

HISTORICAL CONTEXT

Building a commercial city

Developing a retail centre

Even before the early 1850s, Melbourne had established the foundational infrastructure for international trade and commerce, including retail markets, shipping agents, and industry and finance houses - the beginnings of an entrepreneurial global city (Context 2012:2).

Distinctive land use precincts had emerged within the city centre by the early 1840s. As Melbourne's population increased, retail activity moved east to the central zone, close to both supplies provided at the port and to demand from residential areas to the north and east. The central area provided an even grade, particularly suitable for high volumes of pedestrians (MPS:86).

By the early 1840s, Elizabeth and Swanston streets, from the Town Hall in the south-east to the General Post Office to the north-west, had become the focus of retail activity, influenced also by the location of the Western Market in the west of the city which operated as the city's premier wholesale fruit and vegetable market until 1930 (May 2016:176). The Eastern Market opened in 1847 as a fruit and vegetable market on the corner of Stephen Street (later Exhibition Street) and Bourke Street and drew retail further east.

With the economic boom of the 1880s, the 1880s–1890s was a decade of significant expansion in Melbourne. Investment funds poured in from Britain, imposing buildings were constructed and speculation reached fever pitch in land, houses, offices and shops (Marsden 2000:28). As historian Graeme Davison states, commercial Melbourne extravagantly asserted 'her wealth in stucco and stone' (cited in Marsden 2000:28).

Suburban retailing increased towards the end of the 1880s as greater Melbourne's population approached 280,000 and tramlines transported shoppers to suburban shops, and conversely, from the suburbs to the city (Young and Spearritt 2008).

Development slowed during the economic depression of the 1890s, only recovering with the revival of immigration in the first decades of the twentieth century. Although affected by World War One in the period 1914-18, by the end of the 1920s, Melbourne's population had reached one million people. In the first decades of the twentieth century, the last residents moved out of the city to the new suburbs, with the retail and manufacturing sectors rapidly taking up city properties (Marsden 2000:29-30).

Retail premises in the nineteenth century and the early twentieth century generally included upper-level accommodation for families involved in the business. Multi-storey shop and dwelling type buildings housing ground-level shop with rooms above were constructed across the retail strips of Melbourne, and three- or more storied commercial and retail buildings began to proliferate between Bourke and Lonsdale streets from the late 1880s (Lovell Chen 2017:220).

SITE HISTORY

The site at 490 Flinders Street is part of the Crown Allotment 1 of Block 2, purchased by John Pascoe Fawcner in 1838. By 1840, a building had been constructed on the site (Fels, Laver and Mider 1993, Inventory no 863).

The terrace pair at 490 Flinders Street, known as Willis' Buildings and originally built as three two-storey shop buildings, was constructed in 1869-70 by and for George Willis (MCC registration no 3344 as cited in AAI, record no 75807; RB 1870). The third terrace building was demolished c1973 to

form part of the Centre City Flats, built c1975 (*Age* 5 December 1974:23; S&Mc 1974). Figure 1, Figure 2, Figure 3, Figure 4 and Figure 6 show the early configuration of the buildings as a terraced row of three.

The subject site was addressed 105 and 107 Flinders Street from 1870; 488 and 490 from 1890; 488-492 in 1915; and 490 and 490A from c1940s (S&Mc 1870 and 1890; MMBW Detail Plan no 739, 1895; S&Mc 1945).

From 1871 to the 1920s, the ground floor shops were used for retail business, including a grocery store and a general store, with the upper floors used as residences. In 1871, the year after construction was complete, the subject buildings were occupied by Thomas Auld, grocer (number 488), and William Cherrington, who ran a general store until c1885 (number 490) (RB 1871; S&Mc 1871). Auld remained an occupant until c1890 (S&Mc 1890). Cherrington shared occupancy of number 490 with F Roche, importer of colonial produce, from 1875 (S&Mc 1875). From 1875-90 tenants at number 490 included Roche, George Bale, clothing importer, from 1885; and Francis Longmore, chemist, in 1890 (S&Mc 1875, 1885; 1890, 1900; MCC registration no 3344 as cited in AAI, record no 75807).

Ownership changed after the death of George Willis in 1903, and the executors of George Willis' estate held title over the Flinders Street buildings for some years, using the rent paid to the Estate to keep the buildings in repair. In 1907, Herbert Shaws was listed as owner. Adolf Leibner was the owner in 1915 (RB 1907, 1915). Retail tenants continued to lease the property at that time, with tenants including Walter D Spencer, grocer (number 490) and Waller Rickets, tailor (number 488) (S&Mc 1915).

By the 1920s, the upper level residences were turned into retail spaces, and between 1925 and c1950, various retailers occupied the Willis' Building. Operated by different individuals, the upper level of 490 Flinders Street was occupied by hairdressers between 1925 and 1942, while the ground level was used as tea rooms and a spirit store (S&Mc 19250-1945).

By 1948, the two buildings had been joined internally and a single-storey workshop was added to the rear of the land (see Figure 5). From 1950 the use of the building changed, taking on manufacturing association when Newell & Co Irrigation Machinery Manufacturers occupied the buildings in the 1950s and 1960s (S&Mc 1950, 1960). Other retail uses from 1960 included a sandwich bar and hairdresser until 1970 (S&Mc 1950-1974). Entwistle tattoo artist operated from the premises from 1970 (S&Mc 1974).

The westernmost terrace, number 492 Flinders Street (demolished c1973), was long used by tailors Solomon Bros, tenants for more than forty years from the late 1920s until c1970, as seen in Figure 7 (S&Mc 1927-1970). After the demolition of number 492, new openings, awnings and an open staircase were installed at the surviving building pair in 1986 (MBAI 1986). The surviving pair of buildings at 490 Flinders Street is presently being used as a restaurant (CoMMaps).

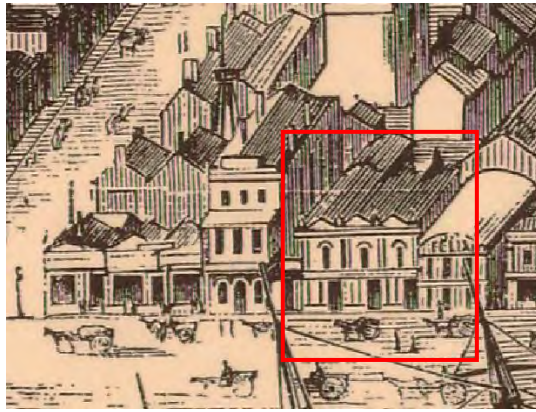


Figure 1. Extract from a lithograph showing Willis' buildings in 1880. (Source: Calvert 1880, NLA)

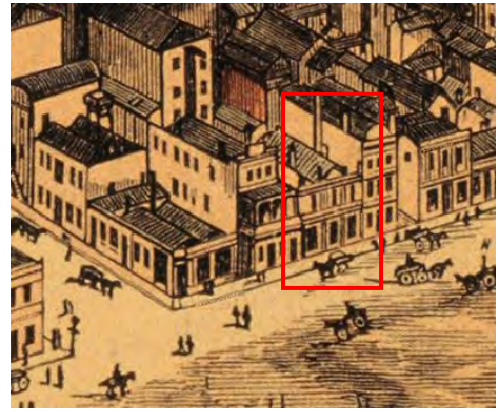


Figure 2. Extract from a lithograph showing Willis' Buildings in 1882. (Source: Cooke 1882, SLV)

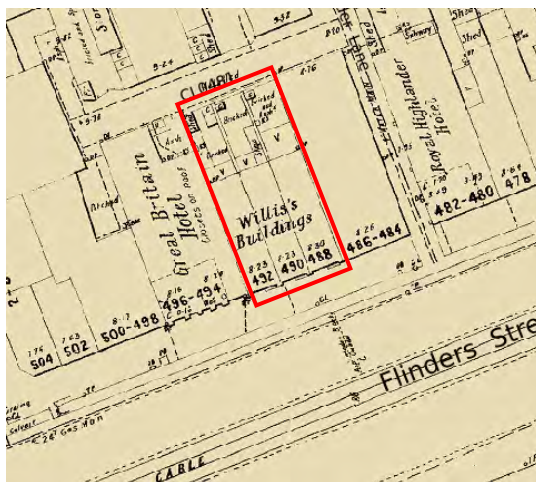


Figure 3. Extract from a MMBW Detail Plan showing the subject site in 1895. (Source: MMBW Detail Plan no 739 1895)

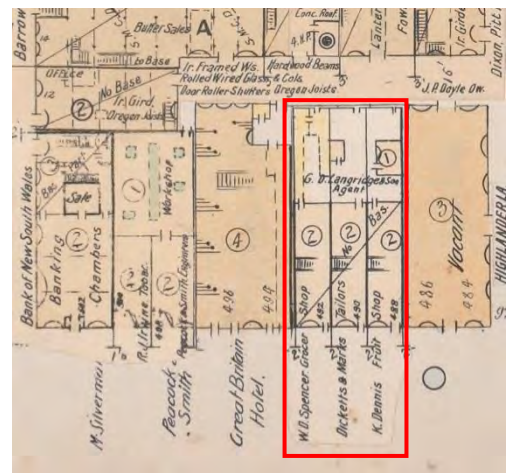


Figure 4. Extract from Mahstedt map showing the three terraces that formed Willis' Buildings in 1910. (Source: Mahstedt Map Section 1 no 21 1910)

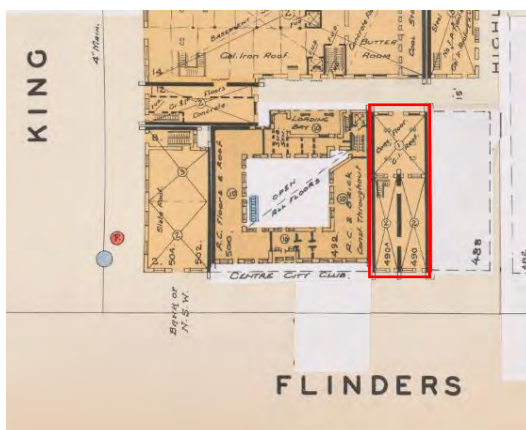


Figure 5. In 1948, the two surviving buildings were connected internally and a single storey workshop added at the rear. The extract from a Mahstedt map, amended after 1948, showing 490 Flinders Street shows the two buildings after the demolition of the third terrace. (Source: Mahstedt Map Sect 1, no 21, 1948, SLV)

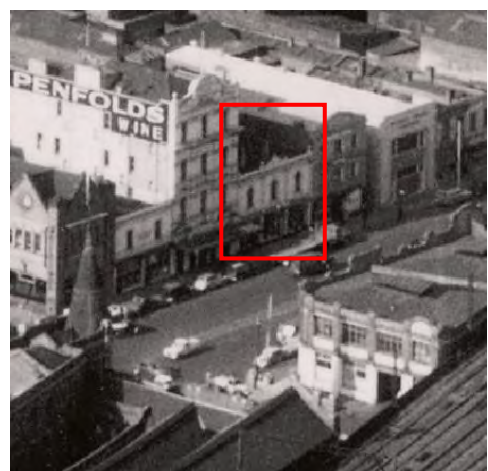


Figure 6. Extract from a 1950s aerial photograph of Melbourne looking northeast showing Willis' Buildings prior to the demolition of the third terrace. (Source: Pratt c1950, SLV copyright)



Figure 7. Photograph showing all three buildings that comprised Willis' Buildings in 1966. The buildings had been joined since 1948; the building on the left (with signage of long-time occupants, Solomon Bros) was demolished c1973. (Source: Halla 1966, SLV [copyright](#))

George Willis, builder

George Willis was the owner and builder of the row of shop residences at 490 Flinders Street. Not much is known about his practice as a builder. Willis and his wife Ellen were the owner-occupants of a four-roomed brick cottage on the corner of Bridge and Nott Streets in Sandridge (*Age* 7 October 1871:2; ER 1873). At the time of his death in 1877 Willis owned the Sandridge property, a four-roomed wattle and daub house in Moorooduc on the Mornington Peninsula, and the subject buildings (PROV VPRS unit 187, item 15/1000). The probate of his will was granted at £4,220 (*Herald* 23 May 1877:3). It appears that Willis was a successful builder with several properties in Victoria (PROV VPRS unit 187, item 15/1000).

SITE DESCRIPTION

Located on the northern side of Flinders Street between William and King streets, near the southwestern corner of Hoddle Grid, the row of two (originally three) two-storey shops and residences at 490 Flinders Street, Melbourne was constructed in the pre-boom period in 1869-70, with shops at ground floor and residences above. The pair of attached buildings is in the Victorian Italianate style, and has a modestly decorated painted render façade with some classical detailing, typically seen in other small-scale examples of the type in central Melbourne. Originally built as a row of three shops, the westernmost shop was demolished c1973.

At the first-floor level there is a simple moulded cornice that terminates in an expressed block with a square pyramid motif at each party wall, supported on an acanthus leaf bracket. The first-floor façade is of flush painted render, with rusticated pilasters denoting the party walls, terminating in a cornice and low parapet, also supported by pressed cement acanthus leaf brackets. The surviving westernmost building (originally the central module) has a small triangular pediment with moulded lettering stating 'Willis' Building' surmounted with modestly decorated triangular pediment. The window

openings at the first-floor level have projecting moulded sills and architraves with a semicircular arch with a keystone, all of which is typical mid-Victorian detailing. The windows are simple timber frame double hung sashes, which are either original or of a similar pattern.

One original cement rendered chimney is intact, located in the middle of the two remaining shops.

The ground level shopfronts have been substantially altered from their original configuration, although the base masonry sections clad in green glazed tiles are probably early twentieth century. The pilasters denoting the party walls are expressed at street level as simple painted render elements sitting on plinths. A lightweight cantilevered awning has been added at the first-floor level.

To the rear of the buildings, there is a single-storey gabled brick addition built during the interwar period. It has a cement rendered lintel above a multi-paned industrial window and a roller gate. The lintel had signage 'Newell & Co', which is still evident.

INTEGRITY

The former 'Willis' Buildings' at 490 Flinders Street, Melbourne is largely intact with some changes visible to the original or early elements of the building. Changes include the demolition of the western shop and alterations to the original shopfront at street level. The building retains its original scale; painted render principle façade at the first floor with pilasters, cornices, pediment and masonry window surrounds, as well as the original cement rendered chimney. It substantially retains its original fenestration, pattern of openings and timber frame windows. The integrity of the building is diminished by alterations on the ground floor including the replacement of the original shopfronts. The early twentieth century configuration with base masonry sections clad in green glazed tiles dates from the early-twentieth century modifications and remains extant. The street-level awnings are an unsympathetic addition. Overall, the building is of high integrity.

COMPARATIVE ANALYSIS

The former 'Willis' Buildings' at 490 Flinders Street is a largely intact example of a pair of modest two-storey shops and residences, constructed in the pre-boom period in 1869-70, in the Victorian Italianate style, in close proximity to the port and bustling fish market. It has a modestly decorated painted render façade with some classical detailing, typically seen in other small-scale examples of the type in central Melbourne.

Erected to serve as daily retail points, the small number of surviving shops can be found in both main streets and smaller laneways in precincts peripheral to the city centre. Whilst the upper storeys have come to be used for storage or other uses rather than residential, the ground floors of these examples continue to operate as commercial outlets.

The subject building is comparable with the following examples, being of a similar use, scale, location or creation date. The images and descriptions are adapted from CoM Maps unless stated otherwise, with images dated c2000 or later.

Clarke's Shop & Dwellings, 203-205 Queen Street, 1869 (HO1070)

A two-storey rendered brick retail building with a basement, two ground level shops and an upper level office. Designed in the Italian Renaissance style by George Browne of the firm Browne & Howitz and built for the grazier William John Turner Clarke by Charles Brown in 1869.



Figure 8. Clarke's Shops & Dwellings, 203-205 Queen Street, built in 1869-70 (Source: Butler 2011).

470-472 Little Lonsdale Street, 1872 (Interim HO1281 – Recommended as significant in the Hoddle Grid Heritage Review)

A pair of early shops with simple detailing, typical of the mid-Victorian period, which is mostly intact on the upper façade of this pair of shops.



Figure 9. 470-472 Little Lonsdale Street, built in 1872. (Source Context 2017)

171 Bourke Street, 1867 (Interim HO1237 – Recommended as significant in the Hoddle Grid Heritage Review)

An early two-storey shop/dwelling dating from 1867. Simple detailing to the upper façade is typical of mid-Victorian era. Distinctive brass framed highlight leadlight windows (c.1910) are intact to the street façade. The building operated as a pharmacy for more than 100 years. Motifs in the leadlight reflect this use.



Figure 10. 171 Bourke Street, built in 1867.

189-195 Exhibition Street, 1882 (HO630, Significant in HO507 Little Bourke Precinct)

A row of two-storey brick shops with residences above and a basement. Built in 1882 in the Renaissance Revival style.



Figure 11. 189-195 Exhibition Street, built in 1882. (Source: Butler 2011)

201-207 Bourke Street, 1874 (Interim HO1239 – Recommended as significant in the Hoddle Grid Heritage Review)

A row of four three-storey shops with residences above. Built by investors F B Clapp and W G Sprigg in 1874.



Figure 12. 146-150 Bourke Street, built in 1874. (Source: City of Melbourne 2018)

Bourke Street East Post Office, 35-37 Bourke Street, 1872 (HO527, Significant in HO500 Bourke Hill Precinct)

Two storey rendered brick shop. Designed in the Renaissance Revival style and built 1872 for J M Langley, a glass and china importer. From 1892 and 1969 it was used as a post office.



Figure 13. 35-37 Bourke Street, built in 1872.

The former 'Willis' Buildings' at 490 Flinders Street is a substantially intact example of two-storey shops and residences constructed in the pre-boom period in 1869-70 in the Victorian Italianate style. Originally built as three two-storey shop residences, one shop was demolished c1974, leaving the extant pair. The building has a modestly decorated painted render façade with some classical detailing, typically seen in other small-scale examples of the type in central Melbourne. More substantial examples of the style, including town halls, post offices and large houses, utilised a more elaborate palette of decorative elements to emphasise its classical references.

Many of these modest Victorian shops and residences are found along Bourke Street, which formed part of the early manufacturing and retail area, whereas Flinders Street during the mid-Victorian period thrived with port-related activities. These examples are becoming increasingly rare, especially on the primary street frontages of the Hoddle Grid, where more recent large-scale developments are in evidence.

490 Flinders Street is comparable with a number of other HO listed examples of the type, including the Bourke Street East Post Office at 35-37 Bourke Street, constructed in 1872. The buildings are of a similar scale and degree of Victorian Italianate detail retained. The building at 35-37 Bourke Street is located within a much more intact context of low scale Victorian shop residences than 490 Flinders Street.

ASSESSMENT AGAINST CRITERIA

✓	<p>CRITERION A Importance to the course or pattern of our cultural or natural history (historical significance).</p>
	<p>CRITERION B Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).</p>
	<p>CRITERION C Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).</p>
✓	<p>CRITERION D Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).</p>
	<p>CRITERION E Importance of exhibiting particular aesthetic characteristics (aesthetic significance).</p>
	<p>CRITERION F Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)</p>
	<p>CRITERION G Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).</p>
	<p>CRITERION H Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).</p>

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

REFERENCES

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PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985**

D

**Central City Heritage
Study 1993**

C

**Review of Heritage
overlay listings in the
CBD 2002**

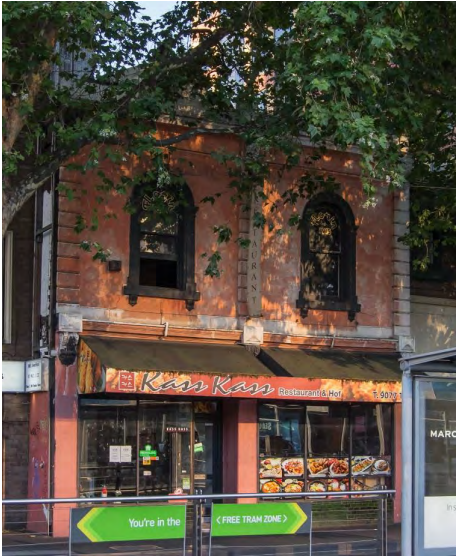
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**Central City Heritage
Review 2011**

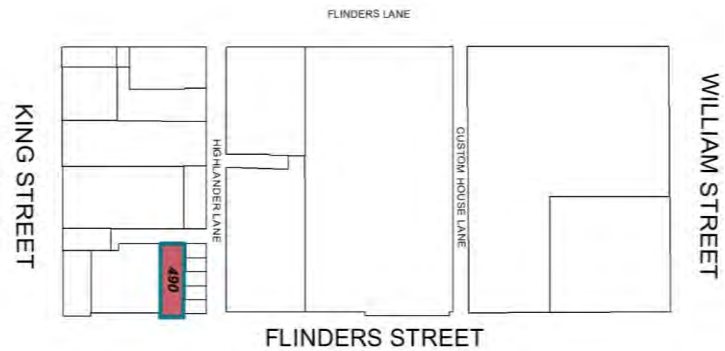
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STATEMENT OF SIGNIFICANCE

Heritage Place: Willis' Buildings



PS ref no: HOXXXX



What is significant?

Willis' Buildings at 490 Flinders Street, Melbourne, a pair of two-storey shop and residence buildings, built in 1869-70.

Elements that contribute to the significance of the place include (but are not limited to):

- The original building form and scale;
- The original painted render and face brick walls and pattern of fenestration including rusticated pilasters, cornice, parapet and pediment with moulded lettering and window openings at the above ground levels with projecting moulded sills and architraves with a semicircular arch with a keystone;
- The cement rendered chimney and shopfront base masonry sections clad in green glazed tiles; and
- The original timber double hung windows.

The later alterations made to the street level facades, such as the awnings and plate glass shopfronts, are not significant.

How it is significant?

Willis' Buildings at 490 Flinders Street, Melbourne is of local historic and representative significance to the City of Melbourne.

Why it is significant?

The pair of two-storey shop buildings at 490 Flinders Street, Melbourne, originally three two-storey shop residences, constructed in 1869-70 for and by builder George Willis, is historically significant for the evidence the building provides of the need for and provision of daily retail points with associated residences in a part of the city that, during the mid-Victorian period, thrived with port-related activities. The buildings have been continuously occupied by a number of retail and service businesses through to

the present day, including grocery, general store and tailoring businesses for the first 50 years after the building was completed, and used as combined shop residences until the c1920s . (Criterion A)

The former 'Willis' Buildings' at 490 Flinders Street is significant as largely intact two-storey shops and residences constructed in the pre-boom period in 1869-70 in the Victorian Italianate style. Increasingly rare in terms of their use and building typology in this part of the city, they are otherwise typical of retail buildings of the Victorian era where the ground floor operated as a shop and the shopkeeper and their family lived in the residence above. The building is also typical of the modestly scaled and fine-grained retail expansion in central Melbourne until development slowed during the economic depression of the 1890s. The building has the classical detailing often applied to small scale examples of this type in central Melbourne. Elements characteristic of the classical style include its rusticated pilasters, cornice, parapet and pediment with moulded lettering and projecting moulded sills and architraves with a semicircular arch with a keystone on the first level window openings. The building also retains components of its early twentieth century shopfront. (Criterion D)

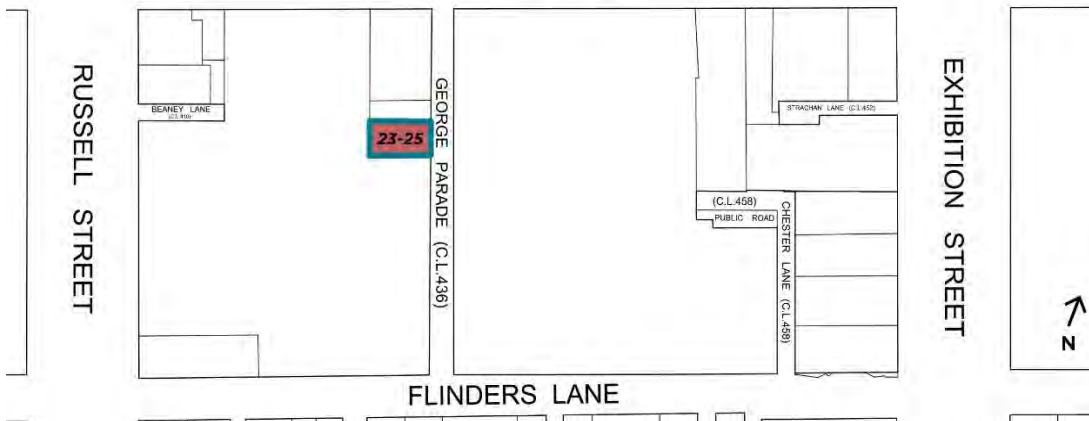
Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	CitiPower (formerly Melbourne City Council Substation)
STREET ADDRESS	23-25 George Parade Melbourne
PROPERTY ID	104215



COLLINS STREET



SURVEY DATE: October 2017

SURVEY BY: Context

HERITAGE INVENTORY	H7822-1828	EXISTING HERITAGE OVERLAY	No
PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
		FORMER GRADE	Ungraded
DESIGNER / ARCHITECT / ARTIST:	Not confirmed, but likely to be the architects' office at Melbourne City Council	BUILDER:	James Anderson
DEVELOPMENT PERIOD:	Interwar Period (c1919-c1940)	DATE OF CREATION / MAJOR CONSTRUCTION:	c1938

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Stage 2 Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here
HISTORIC THEMES	DOMINANT SUB-THEMES
6 Creating a functioning city	6.7 Transport
	OTHER SUB-THEMES
	6.3 Providing essential services

LAND USE

HISTORIC LAND USE	
Archaeological block no: 55	Inventory no: 828
Character of Occupation: Commercial, Services/Infrastructure	
Fourth land sale 1838, Block 7 Allotment 16, Archibald Walker. Subdivisions, lanes by 1840.	
1840 Russell	
1866 Cox	
1880 Panorama	
1888 Mahlstedt	Single-storey building; Veterinary Shoeing Forge.
1905/6 Mahlstedt	Single-storey building.
THEMATIC MAPPING AND LAND USE	
1890s	Not able to be determined.
1920s	Power.
1960s	Power.

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

23-25 George Parade is one of several small-scale electrical substations built in the interwar period as part of the expansion of electricity supply and distribution. It operated for over 60 years as part of the Melbourne City Council's Electricity Supply Department. It continues to operate as a substation.

HISTORICAL CONTEXT

Creating a functioning city

Transport

The *Encyclopedia of Melbourne* contains the following information about transportation in early Melbourne:

Melbourne's first horses came in the mid-1830s with overstraiters from Tasmania and then overland from Sydney. With bullocks, which they eventually superseded in urbanising areas, horses provided the source of motive power on which the city was built, industry, agriculture and transport depended, and the economy was ultimately founded...Horse-drawn omnibuses were the backbone of the public transport system until the 1870s. As a means of private transport, horses were slowly displaced, initially by bicycles and from the early 20th century by the motor car. Until then hansom cabs served the expanding central city area and coaching companies such as Cobb & Co. provided services to regional areas, while a great variety of private horse-drawn vehicles plied the streets of city and suburbs (May 2008).

Motor vehicles transformed the city. David Wixted writes,

Motor car numbers rose from around 30 vehicles in 1903 to 1590 in 1910. The Victorian Petroleum Act 1912 introduced regulated petrol storage, resulting in an increase in motor garages selling petrol...By 1923 pumps were permitted at those city motor businesses concentrated in Elizabeth Street, though barred from many other central streets...These stations required safe underground storage and pumping facilities to participate in the bulk-price discount schemes. Growing municipal concern over the safety of kerbside pumps was a factor in the development of drive-in service stations, the first of which were constructed in Malvern and Prahran in 1926 (Wixted 2008).

Providing essential services

Melbourne was one of the first major cities in the world, along with London and New York, to have a public electricity supply where electricity was distributed from a central generating station for use by paying private customers and for public street lighting. The nascent electricity supply enterprises adapted quickly to a new public utility technology that had its origins in the UK, USA and Europe but 'which enabled local ingenuity and entrepreneurial spirit to flourish'. In addition, Melbourne's early public electricity supply development encompassed most of the evolutionary technical and structural facets of the industry (Pierce 2009:8). The Melbourne City Council was the first metropolitan council to establish its own electricity supply and distribution network in 1894.

By 1903 the Melbourne City Council Electricity Supply Department (MCCESD) was one of four electricity supply companies in Victoria and supplied 53.6 per cent of total generating capacity. Electric trams relied on this power supply when they commenced operation in Melbourne in 1906. The Melbourne Electricity Supply Co (MES Co.) formed in 1907, when the Electric Light & Traction Company changed its name (Pierce 2009:5-6).

Demand for electricity grew rapidly in the early decades of the twentieth century. The bulk of the Melbourne metropolitan area was supplied by just two companies, the aforementioned MCESD and MES Co who obtained their supply from the Spencer Street Power Station until the Newport A Power station was built at the mouth of the Yarra River between 1913 and 1918 (Edwards 1969:27-29).

The State Electricity Commission of Victoria (SECV) was established in 1921 under the chairmanship of Sir John Monash. The first SECV projects were the construction of the first brown coal power plant at Newport B (adjacent to the Victorian Railways Newport A traction power station), which came on line in 1923, and Yallourn A (the first Latrobe Valley power station), which opened in stages from 1924. Meanwhile, the SECV began to establish and develop its supply and distribution network. The first stage involved the construction of substations at key locations. In 1930, the MES Co. was formally acquired by the SECV (Pierce 2009:8). The Spencer Street Power Station supplied the inner city of Melbourne with electricity until the 1960s.

In 1994, the Kennett government launched an extensive reform of the Victorian electricity industry, resulting in the creation of five electricity distribution companies based on geographic regions that took over the responsibilities of the SECV and the 11 Municipal Electricity Undertakings in inner Melbourne.

SITE HISTORY

23-25 George Parade (known as Latrobe Parade until 1925) was originally purchased as part of Block 7, Allotment 16, by Archibald Walker in the fourth Crown Land Sale in 1839. The allotment was subdivided the following year, and a lane created between lots 15 and 16, establishing Latrobe Parade. In c1924 the lane's name was changed to George Parade, after the club headquarters of political theorist Henry George was established there (RHSV 2018).

By 1856 a brick building occupied the subject site, addressed then as 3 and 5 Latrobe Parade, with most of the lane comprising brick residences, boarding houses, the Melbourne City Court and General Christian Mission Office (*Age* 21 January 1858:1; *Argus* 28 October 1859:1; PROV VPRS 8168/P3 unit 46). In the 1890s the changes in street numbering throughout the city saw the property readdressed as 25 Latrobe Parade. In 1887 a single-storey brick building was built by James Anderson of 124 Flinders Lane East for farrier and veterinary surgeon William Hunter, for use as a veterinary shoeing forge (MCC registration no 3006, as cited in AAI, record no 74619). Hunter operated his business, Hunter and Son, from the property with his eldest child George, until his death in 1894. Between c1917 and 1920, another farrier, William Hamill, occupied the forge.

Records show that a motor car garage, to service the motor cars and buses that were quickly replacing horse-drawn vehicles, operated from the property from 1921. The property changed hands in 1929 when it was purchased by gentlemen Abraham Howgate and Joseph Redapple (RB 1930). By August of the same year a petrol pump had been installed by Shell Co of Australia, and tenants Bermingham and Doyle operated the garage until 1931 (MBAI 11695; RB 1930 & 1930; S&Mc 1929). Following this brief tenancy, the property, still owned by Howgate and Redapple, lay vacant until 1938 (RB 1931-1938).

The earlier building was replaced with the current building in 1937. In August 1937, the City of Melbourne advertised tenders for the 'erection and completion of electric supply substation' in George Parade (*Age* 21 August 1937:5). It is assumed that these works replaced the nineteenth-century

building. By 1948 the Mahlstedt map shows the building as a substation, occupying the allotment in its entirety (Figure 1 and Figure 2).

The electric substation operated under Melbourne City Council until the privatisation of the electricity industry saw it transferred to CitiPower Ltd in 1995.

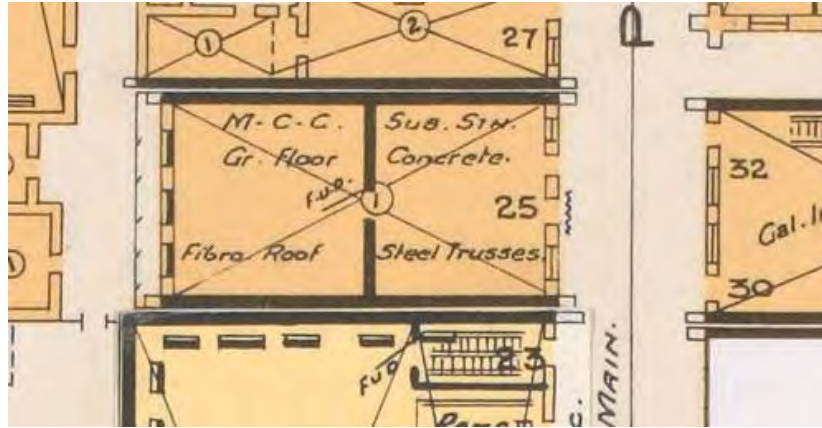


Figure 1. Detail from 1948 Mahlstedt plan shows rebuilding to the subject property. (Source: Mahlstedt Map Section 1, no 6, 1948)



Figure 2. Photograph of George Parade west c.1972, showing the subject property (outlined in red) with former 'M C C' signage above eave. (Source: Halla c1972, SLV).

SITE DESCRIPTION

The electricity substation at 23-25 George Parade is located in a laneway between Flinders Lane and Collins Street.

The building is a single-storey red brick substation with a hipped cement sheet roof concealed by a façade parapet. It is assumed that the current building replaced the previous building and was

completed in the interwar period. It has typical characteristics of the industrial buildings constructed in the city's laneways in the twentieth century, as well as moderne and art deco design features.

A stepped parapet skyline is offset by decorative brickwork to the façade. Further down, a parallel horizontal line motif formed with raised lines of dark brown manganese bricks intersects with a central vertical stepped fin rising above the parapet. The curvilinear concrete cantilevered eave emphasises horizontality and shelters two asymmetrically set recessed doorways: one, a wide metal roller door and the other a narrower six-pane windowed metal door. Either side of the entrance are two recessed rectangular steel framed windows with small paned upper sashes and louvred lower sashes, soldier brick lintels and curved brick sills. The brickwork 'running bond' changes to 'English bond' one row above the eave.

INTEGRITY

23-25 George Parade exhibits a high degree of integrity. It retains its form and façade detail from the 1930s redevelopment of the site. The laneway character is enhanced by the side elevation of the Austral Buildings at 115 Collins Street (HO575) and the two storey Victorian shop and residence at 27 George Parade (HO504 Collins Street East Precinct). The interior has not been investigated and it is not known whether any of the machinery and equipment remains. The building still retains its original use as a substation.

COMPARATIVE ANALYSIS

The earliest substations were small scaled buildings with their importance not necessarily reflected in their design. The expansion of electricity supply in the interwar period reflected the importance of this new type of industrial building and efforts were made to produce designs that reflected their location and the importance of their function. Substations benefited from the philosophy that saw industrial uses as worthy recipients of design inspiration as a way of celebrating the new development of electricity. Electrical substations across Melbourne show a variety of architectural styles, generally reflecting the civic and urban design concerns of the municipal electricity supply departments, the earlier electric companies and the role of the SEC. Pavilion styles proliferate in parkland areas of the Domain and the Fitzroy Gardens. Substations in urban streetscapes tend to exhibit more austere modernist features or simply adhere to a functional industrial aesthetic or a simple gable roofed 'shed'. Even in the more austere examples there is generally brickwork detail and care taken in their massing and composition (Biosis,2007:19-25).

A large portion of the first power station erected by Melbourne City Council at 651-669 Lonsdale Street is included on the Heritage Overlay (HO737). This complex comprises the surviving remnants of the power station erected in 1894 to power electric lighting in the streets. Several other buildings used as substations are within existing or proposed precinct HOs.

The following examples are comparable with the subject building, being of a similar style, scale and construction date, although their original uses vary. The images and descriptions are provided by CoM Maps unless stated otherwise, with images dated c2000 or later.

Substation, 651-669 Lonsdale Street, 1915 (HO737)

It is a three-storey brick substation with two basement levels, built in 1915.



Figure 3. Substation at 651-669 Lonsdale Street constructed 1915.

Substation, 1-3 Evans Lane, 1913 (Contributory in interim HO1297 Little Lonsdale Street Precinct)

Built in 1913 by builders Reynolds Bros to designs by architect W Rain, this warehouse was converted to an electrical substation in 1928, as part of a program by the City of Melbourne to supply new substations in the 1920s. It continues to operate as a substation today.



Figure 4. 1-3 Evans Lane, constructed in 1913.

28 Crossley Street, build date unknown (Contributory in HO500 Bourke Hill Precinct)

A single-storey substation in Crossley Street, off Bourke Street.



Figure 5. 28 Crossley Street, construction date unknown.

12-14 Guildford Lane, 1920s (Contributory in HO1205 Guildford & Hardware Laneways Precinct)

It is a single-storey brick electricity substation built in the 1920s.



Figure 6. 12-14 Guildford Lane, constructed c 1920.

21 Market Lane, build date unknown (Contributory in HO507 Little Bourke Street Precinct)

A single-storey brick substation in Market Lane, off Bourke Street.



Figure 7. 21 Market Lane, construction date unknown.

10-14 Park Street, 1928 (Interim HO1257 – recommended as significant in the Hoddle Grid Heritage Review)

10-14 Park Street is one of several small-scale electrical substations built in the interwar period as part of the expansion of electricity supply and distribution.



Figure 8. Substation, 10-14 Park Street constructed 1928. (Source: Context 2017)

23-25 George Parade is one of several smaller substations within the City of Melbourne, including 28 Crossley Street, 21 Market Lane and 12-14 Guildford Lane. These substations share a common history in the development of electricity supply in the City of Melbourne and share an industrial aesthetic that contributes to the richness of building form and scale in the Hoddle Grid. 23-25 George Parade is of later construction than these examples and demonstrates an art deco aesthetic. The building remains legible and has a high level of integrity in both form and use.

ASSESSMENT AGAINST CRITERIA

✓	<p>CRITERION A Importance to the course or pattern of our cultural or natural history (historical significance).</p>
	<p>CRITERION B Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).</p>
	<p>CRITERION C Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).</p>
✓	<p>CRITERION D Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).</p>
	<p>CRITERION E Importance of exhibiting particular aesthetic characteristics (aesthetic significance).</p>
	<p>CRITERION F Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)</p>
	<p>CRITERION G Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).</p>
	<p>CRITERION H Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).</p>

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

REFERENCES

Age, as cited.

Argus, as cited.

Australian Architectural Index (AAI), as cited. Copyright Miles Lewis.

Building permit 5655 for 25 Latrobe Parade, Melbourne, dated 10 October 1923 (MBAI).

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PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985** Ungraded

**Central City Heritage
Study 1993** Ungraded

**Review of Heritage
overlay listings in the
CBD 2002** Ungraded

**Central City Heritage
Review 2011** Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: CitiPower (formerly Melbourne City Council Substation)

PS ref no: Interim HO1248



What is significant?

The electrical substation at 23-25 George Parade Melbourne, built in 1928 for the Melbourne City Council Electricity Supply Department.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form;
- The building's external materials and façade detail from the 1930s substation conversion;
- The building's high level of integrity to its 1930s design;
- The building's moderne and art deco design features including the stepped parapet, decorative brickwork to the façade, central vertical stepped fin rising above the parapet, curvilinear concrete cantilevered eave;
- Recessed rectangular steel framed windows with small paned upper sashes and louvred lower sashes, soldier brick lintels and curved brick sills; and
- Recessed doorways: one, a wide metal roller door and the other a narrower six-pane windowed metal door.

Later alterations are not significant.

How it is significant?

23-25 George Parade is of local historic and representative significance to the City of Melbourne.

Why it is significant?

23-25 George Parade is historically significant for its association with the development of services provided to Melbourne's evolving private transport system. Constructed in 1887, the building operated as a shoeing forge to service horse transport from that year until 1920; in 1921 and 1923 the premises were altered to accommodate a garage and petrol station, which operated from the building until 1931.

The electrical substation at 23-25 George Parade is also historically significant for its association with the development of Melbourne's electricity supply network established in 1894. In this year, the Melbourne City Council was the first metropolitan council to establish its own electricity supply and distribution network, which in turn facilitated the residential, commercial and industrial expansion of the city. The former substation is of historic significance as a substantial remnant of the 1930s infrastructure built by the Melbourne City Council as part of Melbourne's expanding electricity network. (Criterion A)

23-25 George Parade is one of several interwar substations, including 28 Crossley Street, 21 Market Lane and 12-14 Guildford Lane. These buildings share an industrial aesthetic that contributes to the richness of building form and small scale within the Hoddle Grid, sharing this scale with 27 George Parade. 23-25 George Parade is distinguished by its art deco aesthetic as a result of its later date of construction compared with the above examples. Its attributes include red brick walls and stucco mouldings above the door openings, a carefully composed pattern of openings across the façade, a decorative stepped parapet with a dark brick motif in moulded brickwork. The substation is enhanced by a high level of integrity and is legible as a modest industrial building in a laneway landscape. (Criterion D)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Former Zander's No 2 Store
STREET ADDRESS	11 Highlander Lane Melbourne
PROPERTY ID	104823



SURVEY DATE: May 2017		SURVEY BY: Context Pty Ltd	
HERITAGE INVENTORY	H7822-1852	EXISTING HERITAGE OVERLAY	No
PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
DESIGNER / ARCHITECT / ARTIST:	Not known	FORMER GRADE	C
		BUILDER:	Taylor Southward & Co
DEVELOPMENT PERIOD:	Victorian Period (1851-1901)	DATE OF CREATION / MAJOR CONSTRUCTION:	1854

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Stage 2 Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a Commercial City	5.2 Melbourne as a trading port

LAND USE

HISTORIC LAND USE	
Archaeological block no: 58	Inventory no: 853
Character of Occupation: Commercial	
Third land sale 1836, Block 2 Allotment 20, J H Wedge.	
1839 Williamson	Buildings on site.
1837 & 1843 Hoddle	
1855 Kearney	1854 – warehouse built on site.
1866 Cox	Building shown.
1877 Dove	Zanders No. 2 Bond Store, Three-storey; yard & laneway
1880 Panorama	
1888 Mahlstedt	Rear of two buildings (no 487-497 Flinders Lane) & three-storey bond store.
1905/6 Mahlstedt	Same.
THEMATIC MAPPING AND LAND USE	
1890s	Warehouses
1920s	Warehouses
1960s	Warehouses

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

This early (1854) bluestone warehouse was built as a warehouse/bonded store facility for local merchants, the Zander family, and forms part of a distinctive warehouse streetscape in Highlander Lane.

HISTORICAL CONTEXT

Building a commercial city

Melbourne as a trading port

In the first years of settlement boats and ships were moored on the Yarra River between Queen Street and William Street. This became known as Queen's Wharf. Bluestone warehouses and bonded stores (a warehouse in which dutiable goods were deposited until duty was paid or the goods cleared for export) were erected close by, as well as a customs house (1841) and market square (1847). Other ports were established further afield at Williamstown and Sandridge (Port Melbourne). Shipping news was relayed at Flagstaff Hill, as a rise on the western side of the township that commanded a fine view of the bay. Although sited some distance from the open sea, Melbourne was connected to major shipping routes, and hence to world markets, via the short access route provided by the Yarra River. By the 1850s, the Yarra River and the docks west of Swanston Street were in essence the 'lifeline' of the city (Context 2012:39-40).

The ports carried large quantities of primary produce for shipment to Britain, principally fine wool but also frozen meat (after a local refrigeration process was patented in 1860). Large warehouses and bonded stores were built, often of bluestone, to serve shipping interests; several of these buildings survive off Flinders Lane at its western end (Context 2012:39).

This area of Flinders Lane is described by the *Encyclopedia of Melbourne*:

By the 1860s, as...swamps were filled in, and as its proximity to the wharf encouraged the construction of warehouses and showrooms, the street gained a reputation as a busy and important thoroughfare, the chosen location of mercantile houses, importers, brewers, timber yards and wholesalers (May 2008).

By the 1880s, Melbourne had grown from being a small settlement serving pastoral interests to a major international port (Context 2012:39).

SITE HISTORY

The site at 11 Highlander Lane was part of the third Crown land sales in 1836 (Block 2, Allotment 20). By 1839, buildings had been constructed on the site.

The former Zander's No 2 Warehouse, the current façade of 11 Highlander Lane, was commissioned by W H Mortimer and erected by builders Taylor Southward and Co in 1854, on land that Mortimer had purchased in 1853.

According to Graeme Butler,

H. W. Mortimer & Co. were early Melbourne auctioneers, Mortimer having arrived at Port Phillip in 1840 and set up initially as a butcher in Collins Street West (later site of Bank of N.S.W.). He eventually owned many Melbourne sites, including property on Queen's Wharf. He died in July 1887 (Butler 1995).

The warehouse was located opposite Queens Wharf, Melbourne's first wharf, and in later years, close to Spencer Street Railway Station when the station opened in 1859. The city block bounded by Flinders Street, King Street, Flinders Lane and Custom House Lane comprised multiple produce stores and large-scale bonded stores, including Zander's Bonded Stores and Coles Bonded Stores

(Mahlstedt 1888). Highlander Lane serviced the rear of these stores, and the warehouse at the subject site was without any street number, as were the other warehouses located in the lane.

The subject warehouse was occupied by Zander's Bonded Stores from 1855. Zander also occupied the next-door bluestone warehouse, Zander's No 1 Store (Butler 1995).

J C Zander commenced his warehousing business in La Trobe Street in 1852. Cecilia Zander inherited her husband's business in 1858, expanding the enterprise to a point where she was able to purchase the subject building from the bank in 1867 and build a new warehouse, No 3 Store, in King Street in 1873. By 1887 she owned storage capacity equal to 21,000 tons of merchandise. Cecilia Zander leased out the subject warehouse in the mid-1890s (Butler 1995).

At the time of Cecilia Zander's death in 1896, Zander's Bonded Stores had grown to a complex that occupied most of the northern half of the block between Highlander Lane and King Street. The complex comprised six substantial warehouses numbered one to six in order of occupancy (Mahlstedt Map no 2, 1910; (Figure 1) and a strip of yard (now 11A Highlander Lane) to the south of No 1 Store.

A 1903 sale notice for the warehouses advertised a 'very valuable, centrally situated, well-known, and old-established business premises, known as Zander's Bonded Warehouse' at 22, 24, 26, 28, 30 and 32 King Street. Numbers 22 and 24 King Street were described as 'massive and substantial three-storied bluestone stores, having a frontage...to King Street...through to Highlander Lane.' At this time, the subject site was considered part of 22-24 King Street, being connected to No 1 Store. The advertisement continued:

The above premises, from their central position in the heart of mercantile Melbourne, and convenience of access from river and rail, have for many years commanded a splendid business connection...In addition to the warehouses...there is a strip of land fronting Highlander lane...This is at present occupied as a storage yard...and would be useful as an adjunct of the warehouse (Argus 24 October 1903:2).

Patrick John Doyle became the new owner-occupier of the entire Zander complex. Doyle purchased the property for £23,500 as an investment in 1903, soon after buying another major store, Coles Bonded Stores in Flinders Street (*Table Talk* 10 December 1903:5).

The current building at 11 Highlander Lane extends to the boundary of 26 King Street, covering the extent of the former Zander's No 6 Store (No 2 and No 6 Stores were amalgamated in the 1950s) and part of what was previously known as Stubbs Lane. As a blind alley surrounded Zander's warehouses and other commercial buildings, Stubbs Lane was used as rear access and loading zone.

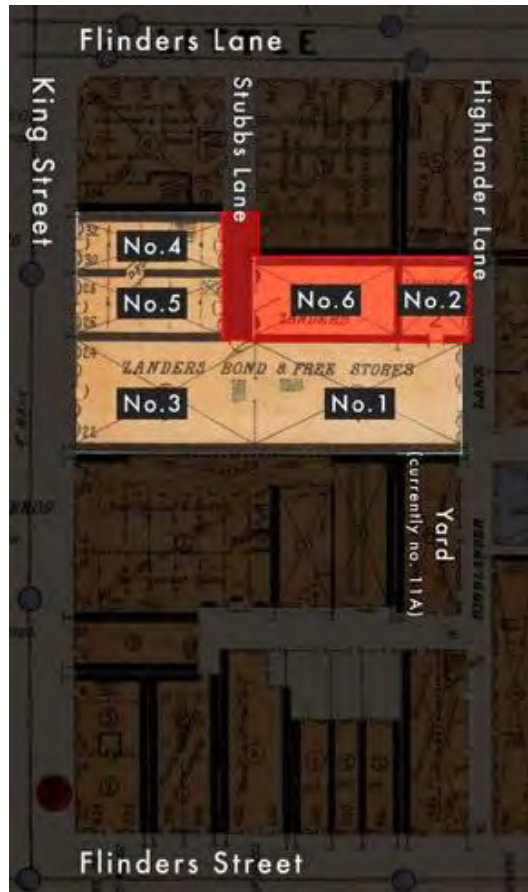


Figure 1. The extent of current subject site (in red outline) marked in a section of Map no. 21, City of Melbourne detail fire survey Section 1 by Mahlstedt's Pty Ltd (Source: SLV).

The height of the former Zander's No 1 Store was reduced to two storeys in the 1950s- 60s (see Figure 3), but the subject building, the former No 2 and No 6 Stores, remained as three storeys (Figure 2, Figure 3, Figure 4). By 1984 it appears that the land that the interconnected complex of stores (Nos 1, 2, 3 and 6) stood on was subdivided in two (Kin Chan Wai 1984). During the 1980s, after being separated from 22-24 King Street, the subject building became addressed as 6-8 Highlander Lane, then readdressed as 11 Highlander Lane in the 1990s.

The loading gates on each level of the 11 Highlander Lane façade were converted to windows with balustrades some time between 1977 and 1985. Now known as Rutherglen House, 11 Highlander Lane was converted to a private residence and social club in the 1980s, with more storeys added to create today's six-storey building (CoMMaps; Age 5 March 2013).



Figure 2. Melbourne. Warehouse (1854) Highlander Lane, off Flinders Lane, 1977, by John T Collins (Source: SLV).



Figure 3. 11 Highlander Lane (in red circle) shown in a section of Melbourne. Warehouses. Highlander Lane, off Flinders Lane, 1977, by John T Collins (Source: SLV).



Figure 4. 11 Highlander (Source: Graeme Butler and Associates 1985).

SITE DESCRIPTION

This bluestone warehouse is located on the western side of Highlander Lane, close to the north-western corner of the city grid. The three-storey bluestone building at number 11 Highlander Lane sits adjacent to a two-storey bluestone warehouse (the rear of 22-24 King St). The King Street property is not included in this citation and has its own Heritage Overlay (HO670).

The three-storey warehouse building is constructed to the property boundary with walls of face bluestone. It is symmetrical in form with a rendered parapet. The building is typical of the warehouse type, with the simplicity of form and detail indicative of the utilitarian function of the building.

Identical squared window openings with bluestone sills are located to either side of a central access point on the upper levels. At street level, openings are in the same locations as the levels above, however they vary slightly in appearance and function. The opening at the southern end of the building runs to ground level and functions as an entry point. The central opening has been bricked up from ground level and now functions as a window opening.

INTEGRITY

The building has a high level of integrity with alterations notable to window and door openings. On the upper floor, a Juliet-style balcony has been added to the central opening. Metal grills have been

added to other openings and electrical cabling is notable on the front façade of the building. Additional storeys have been added to the building, in parts one level and other parts two levels.

COMPARATIVE ANALYSIS

Bluestone warehouses were an important building type in early Victorian Melbourne. Bluestone became a popular construction material for commercial buildings and warehouses in the west end of the central city, with unlimited local supply and the quality far better than contemporary local bricks (Context, 2012:16). Whilst these early warehouses were engaged with port activities, the particular building type is increasingly rare in the central city.

The subject building compares well with the following examples, drawn chiefly from the Central City Heritage Review 2011, being of a similar use, scale, location and creation date. The below images and descriptions are provided by CoM Maps unless stated otherwise.

Selected examples of early Victorian bluestone warehouses include:

Hoffman's Flour Stores, 104 A'Beckett Street, 1853 (HO993)

A two-storey brick and bluestone building. What were formerly two stone flour mills designed by HDG Russell and built for the merchant and land speculator William Hoffman in 1853. Around 1904 the buildings were substantially refurbished to a design by W Knight. The rear section was retained in its original 1850's form but the section fronting A'Beckett Street was remodelled. Part of the bluestone façade was kept and was infilled with red brick and a new parapet was added. The carriage maker C McLennan and later Henry Box & Son occupied the front of the building and the wire mattress and bedding manufacturer Rust Bros occupied the rear. The Melbourne City Council purchased the property in 1929 and an electricity sub-station was built to the rear. It was refurbished and converted to a childcare facility in 1987.



Figure 5. Hoffman's Flour Stores, 104 A'Beckett Street constructed 1851.

Central Bonding Warehouses, 15-19 McKillop Street, 1860 (HO724)

Three-storey bluestone warehouse with basement. Designed by JJ Turner and built by Robert Tuckson around 1860.



Figure 6. 15-19 McKillop Street constructed 1860.

Victorian Spiritualists' Union, 71-73 A'Beckett Street, 1853-54 (HO516)

A two-storey bluestone former warehouse, built in 1853-54 for the entrepreneur Hugh Glass, and originally used by McClure Valentine and Company, wine and spirit merchants. It is one of the earliest remaining warehouses in the city and more architecturally refined than many examples from the early Victorian period.



Figure 7. 71-73 A'Beckett Street (façade view), constructed 1854.



Figure 8. 71-73 A'Beckett Street (façade view) constructed 1854. (Source: Google 2019)

Heape Court Warehouse, Rear of 361 Little Lonsdale, 1854 (HO709, Significant in HO1204 Elizabeth Street West Precinct)

To the rear facing Heape Court is a section of an early bluestone warehouse built in 1854. The façade facing the lane is substantial but has undergone changes to windows and other openings.



Figure 9. Rear of 361 Little Lonsdale constructed 1854.

St Vincent De Paul Building, 585 Little Collins Street, 1856 (HO706)

Two co-joined former warehouse buildings. To Little Collins Street, it comprises a single-storey bluestone building constructed in 1865. To the rear facing Francis Street, it comprises a three-storey brick building with basement parking built in the 1920s.



Figure 10. 585 Little Collins Street constructed 1865.

Although largely altered, the former warehouse at 11 Highlander Lane is an important example of an early Victorian warehouse, comparable to the above examples that are already included in Heritage Overlays. It is much earlier than the example at 585 Little Collins Street (HO706), and is substantially more intact to its original face stone exterior than examples at 71-73 A'Beckett Street (HO516) or 104 A'Beckett Street (HO993).

ASSESSMENT AGAINST CRITERIA

✓	<p>CRITERION A Importance to the course or pattern of our cultural or natural history (historical significance).</p>
✓	<p>CRITERION B Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).</p>
	<p>CRITERION C Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).</p>
✓	<p>CRITERION D Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).</p>
	<p>CRITERION E Importance of exhibiting particular aesthetic characteristics (aesthetic significance).</p>
	<p>CRITERION F Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)</p>
	<p>CRITERION G Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).</p>
	<p>CRITERION H Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).</p>

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

REFERENCES

Age, as cited.

Butler, Graeme and Associates 1995, 'Melbourne central activities district conservation study building citations 1985-87', prepared for the City of Melbourne.

City of Melbourne Maps (CoMMaps) 2017, <http://maps.melbourne.vic.gov.au/>, accessed 7 June 2017.

Collins, John T 1977, 'Melbourne. Warehouse (1854) Highlander Lane, off Flinders Lane', State Library of Victoria (SLV) J.T. Collins collection. Photographs, accessed 22 June 2017.

Collins, John T 1977, 'Melbourne. Warehouses. Highlander Lane, off Flinders Lane', State Library of Victoria (SLV) J.T. Collins collection. Photographs, accessed 22 June 2017.

City of Melbourne Maps (CoMMaps) 2017, <http://maps.melbourne.vic.gov.au/>, accessed 7 June 2017.

Context Pty Ltd 2012, *Thematic History: A History of the City of Melbourne's Urban Environment*, prepared for the City of Melbourne.

Fels, M, Lavelle S, and Mider D 1993, 'Archaeological Management Plan', prepared for the City of Melbourne.

Mahlstedt and Gee 1888, *Standard plans of the city of Melbourne*, Mahlstedt and Gee, Melbourne.

May, Andrew 2008, 'Flinders Lane' in *eMelbourne*, School of Historical and Philosophical Studies, The University of Melbourne, <http://www.emelbourne.net.au/biogs/EM00586b.htm>, accessed 13 June 2017.

Table Talk, as cited.

PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985** C (as 6-8 Highlander Lane)

**Central City Heritage
Study 1993** C (as 6-8 Highlander Lane)

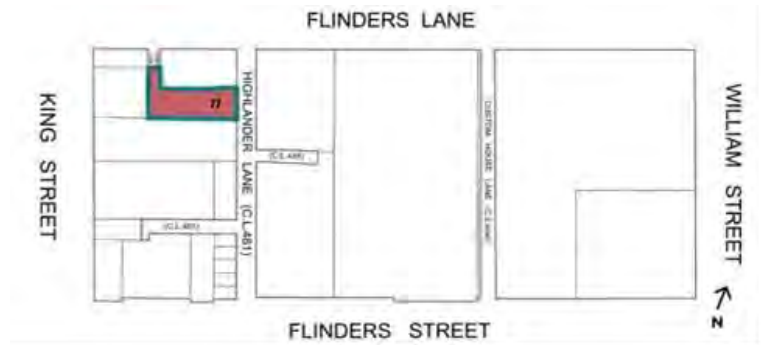
**Review of Heritage
overlay listings in the
CBD 2002** Ungraded

**Central City Heritage
Review 2011** Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Former Zander's No 2 Store

PS ref no: Interim HO1268



What is significant?

11 Highlander Lane, a bluestone warehouse built in 1854.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing;
- The building's high level of integrity to its original design;
- Pattern and size of original fenestration, and bluestone sills;
- Continuous concrete lintel and a string course, forming a semi-circular arch over the doorway entrances; and
- Pilasters and angled corbel detailing.

Upper level additions and later alterations, including those undertaken at ground level and upper level openings, are not significant.

How it is significant?

11 Highlander Lane is of local historic, rarity and representative significance to the City of Melbourne.

Why it is significant?

The former warehouse building at 11 Highlander Lane is historically significant for its association with shipping and warehousing in the City of Melbourne. It demonstrates the former use of the area as Melbourne's first port and links the city with its maritime past. The warehouse was built as part of what was to become an extensive store complex located adjacent to Melbourne's first port and near Spencer Street Railway Station when it first opened in 1859. (Criterion A)

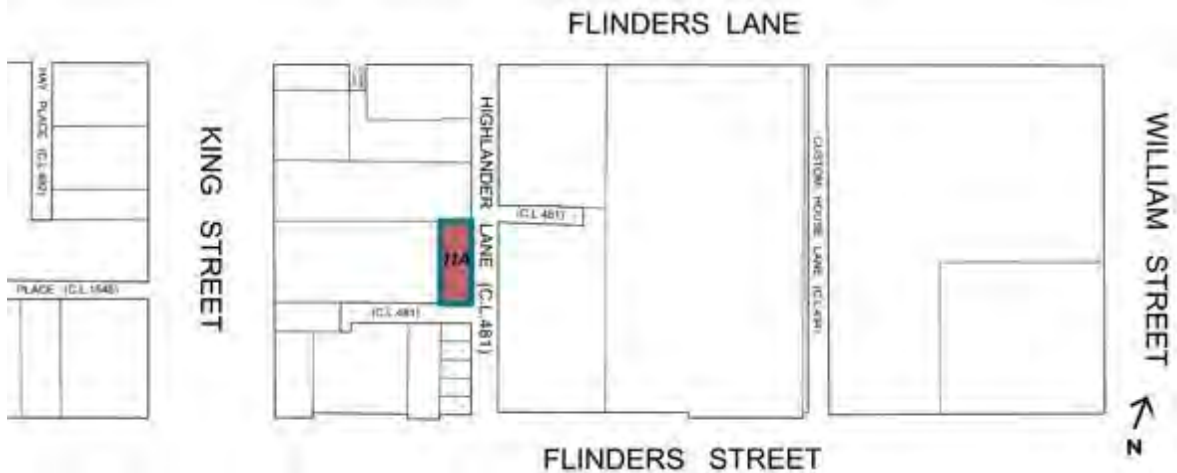
The former warehouse building at 11 Highlander Lane is a rare surviving example of an early bluestone warehouse that provides an opportunity to understand the relationship between the early warehouses in the city and the first port of Melbourne. These buildings were once more common around Highlander and Stubbs Lane during the late nineteenth and the early twentieth century, but are now rare. (Criterion B)

11 Highlander Lane is a fine example of an early warehouse within the City of Melbourne, The building strongly reflects the characteristics of early Victorian-era warehouses, including its bluestone construction and simplicity of form and detail, which is indicative of its once utilitarian function. (Criterion D)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Warehouse
STREET ADDRESS	11A Highlander Lane Melbourne
PROPERTY ID	104824



SURVEY DATE: May 2017

SURVEY BY: Context Pty Ltd

HERITAGE INVENTORY H7822-1852 (as 11-17 Highlander Lane)

EXISTING HERITAGE OVERLAY No

PROPOSED GRADE Significant

PLACE TYPE Building

FORMER GRADE C

DESIGNER / ARCHITECT / ARTIST: Not known

BUILDER: Not known

DEVELOPMENT PERIOD: Victorian Period (1851-1901)

DATE OF CREATION / MAJOR CONSTRUCTION: c1910s

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Stage 2 Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a commercial city	5.5 Building a manufacturing capacity

LAND USE

HISTORIC LAND USE	
Archaeological block no: 58	Inventory no: 852
Character of Occupation: Commercial	
Third land sale 1836, Block 2 Allotment 1, J P Fawkner, Subdivisions, lanes by 1840	
1839 Williamson	
1837 & 1843 Hoddle	
1852 Proeschel	
1855 Kearney	
1866 Cox	
1877 Dove	Shed. McClalland.
1880 Panorama	
1888 Mahlstedt	Box factory.
1905/6 Mahlstedt	Yard.
THEMATIC MAPPING AND LAND USE	
1890s	Yards
1920s	Warehouse and Storeyard
1960s	Warehouses

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an individually significant place.

Extent of overlay: Refer to map

SUMMARY

This early twentieth century brick warehouse, built between 1903 and 1910, was built for local merchants, the Zander family. It forms part of a distinctive warehouse streetscape in Highlander Lane.

HISTORICAL CONTEXT

Building a commercial city

Building a manufacturing industry

As Melbourne developed through the nineteenth century, so did its manufacturing industry. Flinders Lane became an important area for clothing manufacturers, while Chinese cabinet makers were concentrated at the east end of town. Food-processing plants were established in north and west Melbourne. Factories tended to be small and specialised. Large factories, built in the later nineteenth century and early twentieth century tended to be built outside the City of Melbourne, where land was more easily obtainable (Context 2012:44).

The growth of manufacturing was accompanied by the construction of warehouses and stores. From the 1850s, the Yarra River and the docks west of Swanston Street were in essence the 'lifeline' of the city. Port facilities and large warehouses were built in this area to serve shipping interests (Context 2012:39-40). Some of these warehouse facilities were later used by manufacturers.

SITE HISTORY

The land on which 11A Highlander Lane is situated was sold to J P Fawkner at the third Crown land sale in 1836. Subdivisions and lanes had been established by 1840. In 1877, a shed stood on the land (Fels, Lavelle & Mider 1993).

The site was originally purchased as part of Crown Allotment 2 of section 2, City of Melbourne, with a 67 feet frontage to Highlander Lane and a depth of 25 feet. The site was located opposite Queens Wharf, Melbourne's first wharf, and close to Spencer Street Railway Station when the station opened in 1859. The city block bounded by Flinders Street, King Street, Flinders Lane and Custom House Lane comprised multiple produce stores and large-scale bonded stores, including Zander's Bonded Stores and Coles Bonded Stores (Mahlstedt 1888). Highlander Lane serviced the rear of a number of warehouses and stores.

The *Standard Plans of the City of Melbourne* published in 1888 show that a box factory, with an iron-*façade* and wooden rear wall, operated on the subject site in that year (Mahlstedt Map no 2, 1888). The factory appears to have been replaced with two smaller-sized structures by 1895 (MMBW Detail Plan no 739, 1895).

In 1896, the subject site was owned by Cecilia Zander, who ran Zander's Bonded Stores company. J C Zander commenced his warehousing business in La Trobe Street in 1852. Cecilia Zander inherited her husband's business in 1858, expanding the enterprise to a point where she was able to purchase the subject building from the bank in 1867 and build a new warehouse, No 3 Store, in King Street in 1873. By 1887 she owned storage capacity equal to 21,000 tons of merchandise (Butler 1995).

In 1896 the subject site was used as a storage yard in association with Zander's Bonded Warehouse. Zander's stores occupied most of the west side of Highlander Lane; Stores No 1, 2, 3 and 6 still survive in Highlander Lane and King Street (for more information see the 11 Highlander Lane heritage citation or HO670).

In 1903, the site was still a yard, as reported in a sale notice for Zander's stores at 22, 24, 26, 28, 30 and 32 King Street. The advertisement described 'massive and substantial three-storied bluestone

stores, having a frontage...to King Street...through to Highlander Lane' known as Zander's Bonded Warehouse. The advertisement continued:

The above premises, from their central position in the heart of mercantile Melbourne, and convenience of access from river and rail, have for many years commanded a splendid business connection...In addition to the warehouses...there is a strip of land fronting Highlander lane [the subject site]. This is at present occupied as a storage yard...and would be useful as an adjunct of the warehouse (Argus 24 October 1903:2).

Patrick John Doyle became the new owner-occupier of the entire Zander complex in 1903, which included the subject site (*Table Talk* 10 December 1903:5).

A three-storey brick building (Figure 1) was first shown in the City of Melbourne Fire Plan surveyed in 1910, which indicates that the subject building was constructed between 1903 and 1910, likely for Doyle (Mahlstedt Map no 21, 1910). Later occupiers of the site included Pitt P Dixon, sack merchant, in 1925 and Gippsland and Northern Co-operative Co Ltd in 1927 (Mahlstedt Map no 21, 1925, S&Mc 1927).

Adjoining 11A Highlander Lane, at the rear of 12-20 King Street (HO1046), is the former Barrow Brothers complex with two two-storey brick stores, warehouse and basement established in stages from 1917 to 1928. Although a heritage citation for 12-20 King Street states that the subject site was part of this complex (Butler 2011:364), this is not supported by research undertaken as part of this report.

The former warehouse at 11A Highlander Lane was refurbished and converted to a nightclub in 1997 (CoMMaps 2017).



Figure 1. Subject site in 1977, Melbourne. Warehouses. Highlander Lane, off Flinders Lane, 1977, by John T Collins (Source: SLV).

SITE DESCRIPTION

This three-storey brick warehouse is located on the western side of Highlander Lane, close to the north-western edge of the city grid. Constructed to the property boundary, the solid brick walls of the warehouse enclose a three-storey volume. The roof form is a combination of gabled and hipped and butted against a parapet. The street façade is a symmetrical composition with window openings and doors consistently arrayed across the three levels. The lack of decorative detail is indicative of the utilitarian nature of the building. The design of doors and windows varies across the façade and the central access door at the middle level has been bricked in.

The southern facade of the building is visible from a small laneway at the southern end of the building. Some windows have been bricked over, a double timber door remains at ground level, and the timber pulley beam has been replaced over an upper level access door.

INTEGRITY

The building is largely intact but with some alterations to the Highlander Lane façade including the replacement of some windows and doors, insertion of metal window grilles to the upper level, the addition of timber shutters at ground level, a cantilevered verandah and modern signage. The southern facade of the building has a lower integrity with some window openings bricked in and the addition of metal gates.

COMPARATIVE ANALYSIS

Warehouses and industrial buildings in Melbourne are an important building type, representative of the nineteenth century and early twentieth century urban landscape of Melbourne. Many of these early storage or manufacturing facilities are no longer operational, often adapted to accommodate businesses or offices. Face brick warehouses constructed in the Edwardian period are often located at the rear of retail or industrial complexes or in laneways.

The below examples are drawn from the Guildford and Hardware Laneways Heritage Study 2017..

Examples of brick warehouses include:

25-31 Sutherland Street, c 1900 (Contributory in HO1205 Guildford & Hardware Laneways Precinct)

A two/three storey warehouse renovated and converted for office use in 1990.



Figure 2. 25-31 Sutherland Street constructed c1900.

17 Somerset Place, c1907-8 (Significant in HO1204 Elizabeth Street West Precinct).

Three-storey brick warehouse built for Joseph Kennedy by contractors Peters & Hetherington of King Street.



Figure 3. 17 Somerset Place constructed c1907-8.

32-34 Guildford Lane, 1908, 1920 (Significant in HO1205 Guildford and Hardware Laneways Precinct).

A single storey Edwardian bluestone workshop with interwar brick addition above.



Figure 4. 32-34 Guildford Lane constructed 1908, with first floor added c1920.

Rear of 369 -371 Lonsdale Street, 1888 (HO1212)

The two-storey brick warehouse exhibits an unusual angled form, which was dictated historically by the allotment's location at the northern termination of Whitehart Lane. The laneway at its northern end has a Y-shape alignment, which is evident as early as the mid-1850s.



Figure 5. Rear of 369-71 Lonsdale Street constructed 1888.

While the subject building at 11A Highlander Lane is comparable with the above examples, in terms of its built form and use of material, the former warehouse is part of a distinctive warehouse streetscape in Highlander Lane. It is a representative example of a brick warehouse, once more commonly observed around Highlander and Stubbs Lanes during the late nineteenth and the early twentieth century.

ASSESSMENT AGAINST CRITERIA

✓	<p>CRITERION A Importance to the course or pattern of our cultural or natural history (historical significance).</p>
	<p>CRITERION B Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).</p>
	<p>CRITERION C Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).</p>
✓	<p>CRITERION D Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).</p>
	<p>CRITERION E Importance of exhibiting particular aesthetic characteristics (aesthetic significance).</p>
	<p>CRITERION F Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)</p>
	<p>CRITERION G Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).</p>
	<p>CRITERION H Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).</p>

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an individually significant place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

REFERENCES

Border Morning Mail and Riverina Times, as cited.

Butler, Graeme 2011, 'Central City Heritage Review 2011-Heritage Assessments,' prepared for the City of Melbourne.

Collins, John T 1977, 'Melbourne. Warehouses. Highlander Lane, off Flinders Lane', State Library of Victoria (SLV) J.T. Collins collection. Photographs, accessed 22 June 2017.

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Fels, M, Lavelle S, and Mider, D 1993, 'Archaeological Management Plan', prepared for the City of Melbourne.

Lovell Chen 2017, 'Melbourne Planning Scheme Amendments C271 and C301 – Guildford and Hardware Laneways Heritage', prepared for the City of Melbourne.

Mahlstedt and Gee 1888, *Standard plans of the city of Melbourne*, Mahlstedt and Gee, Melbourne.

Mahlstedt, G 1910, *Index to City of Melbourne detail fire survey*, Mahlstedt, Melbourne.

Melbourne Metropolitan Board of Works (MMBW) Detail Plan, as cited, State Library of Victoria.

Mahlstedt's Pty Ltd 1925 *City of Melbourne detail fire survey. Section 1*, Mahlstedt Pty Ltd, Melbourne.

May, Andrew 2008, 'Flinders Lane' in *eMelbourne*, School of Historical and Philosophical Studies, The University of Melbourne, <http://www.emelbourne.net.au/biogs/EM00586b.htm>, accessed 13 June 2017.

Sands and McDougall, Melbourne and Suburban Directories (S&Mc), as cited.

PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985**D (as 10-14 Highlander Lane)

**Central City Heritage
Study Review 1993**C (as 10-14 Highlander Lane)

**Review of Heritage
overlay listings in the
CBD 2002**Ungraded

**Central City Heritage
Review 2011**Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Warehouse

PS ref no: Interim HO1269



What is significant?

11A Highlander Lane, a brick warehouse built between 1903 and 1910.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original external form, materials and detailing;
- Loadbearing face brickwork; and
- Pattern and size of original fenestration and original projecting sills (Highlander Lane elevation).

Later alterations including replacement windows and doors, metal window grilles, timber shutters at ground level and cantilevered verandah are not significant.

How it is significant?

11A Highlander Lane is of local historic and representative significance to the City of Melbourne.

Why it is significant?

The warehouse building at 11A Highlander Lane is historically significant for its association with warehousing in the City of Melbourne. The former warehouse, located near Melbourne's wharf trade and formerly part of Zander's Bonded Stores, was built between 1903 and 1910 on land owned by Patrick John Doyle. (Criterion A)

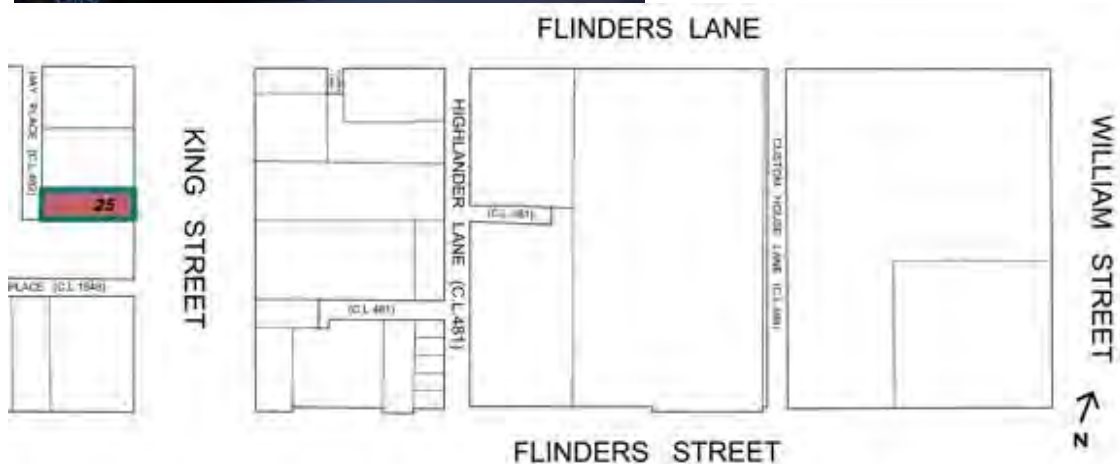
11A Highlander Lane is part of a distinctive warehouse streetscape in Highlander Lane. It is a representative example of a utilitarian brick warehouse, once more common around Highlander Lane and Stubbs Lane during the nineteenth and the early twentieth century. Despite some alterations to window and door openings it remains legible as a warehouse as a result of its building form, face brick

walls and window arrangement, including the narrow vertical loading opening with projecting beam.
(Criterion D)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Former Melbourne Shipping Exchange
STREET ADDRESS	25 King Street Melbourne
PROPERTY ID	105293



SURVEY DATE: October 2017		SURVEY BY: Context	
HERITAGE INVENTORY	H7822-1848	EXISTING HERITAGE OVERLAY	No
PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
DESIGNER / ARCHITECT / ARTIST:	Frederick Williams	FORMER GRADE	C
DEVELOPMENT PERIOD:	Victorian Period (1851-1901)	BUILDER:	Not known
		DATE OF CREATION / MAJOR CONSTRUCTION:	1889

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Stage 2 Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a Commercial City	5.2 Melbourne as a trading port
	OTHER SUB-THEMES
	5.5 Building a manufacturing industry

LAND USE

HISTORIC LAND USE	
Archaeological block no: 57	Inventory no: 848
Character of Occupation: Commercial	
Land sale details not provided.	
1866 Cox	Building on site.
1877 Dove	Two-storey building and yard, J Johnson, Store.
1880 Panorama	
1888 Mahlstedt	Two-storey building, yard, shed.
1905/6 Mahlstedt	Three-storey building, Melbourne Steam Ship Company.
THEMATIC MAPPING AND LAND USE	
1890s	Not able to be determined.
1920s	Services.
1960s	Not able to be determined.

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

The four-storey commercial building at 25 King Street was built for the Melbourne Steamship Company in 1889. Designed by architect Frederick Williams, the building retains high quality detailing to its front façade.

HISTORICAL CONTEXT

Building a commercial city

Melbourne as a trading port

The port on the Yarra River at the western end of the grid, where immigrants arrived and goods into and out of the settlements were handled, determined that this area of the city developed as the mercantile and warehouse district of Melbourne (MPS:6).

Allotments in Flinders Street near King and William streets were close to the river and, as almost all of the commodities needed by the settlement had to be shipped either from Van Diemen's Land or from Sydney, many buildings erected in this area were associated with the storage and sale of goods. Because adequate wharf accommodation was lacking, three waterside allotments adjoining Queens Wharf were offered for sale in August 1841 for the construction of private wharves (Savill 1987).

Cole's and Dobson's wharves were subsequently acquired by the Victorian government after separation from NSW in 1851. With the construction of further extensions, a more or less continuous wharf stretched from Queens Bridge to Spencer Street. In 1853-54 the Australian Wharf, over 2000 feet (600 metres) in length, was constructed downstream from Spencer Street (Trace 2008). Victoria Dock opened in 1892.

A Little Flinders Street (later Flinders Lane) location was ideal for firms requiring access to the main dock at Queens Wharf, the first railway connections at the Hobsons Bay terminal at Flinders Street, and/or the later country terminal at Spencer Street. The heavier goods and bonded stores were located near the wharves and the Customs House in the west (MPS:64).

Little Flinders Street, from Queen Street to Russell Street, became the recognised wholesale trading area for imported goods, including crockery, glassware, manchester, clothing and dress materials. Buyers from retail stores in the suburbs and country towns converged on what became known as 'the Lane'. Commercial travellers employed by the various warehouses travelled the length and breadth of the state with samples of goods from the warehouses (Savill 1987).

The Yarra and the docks west of Swanston Street were in essence the 'lifeline' of the city, providing port facilities and defining the city's siting.

Building a manufacturing industry

As Melbourne developed through the nineteenth century, so did its manufacturing industry. Flinders Lane became an important area for clothing manufacturers, while Chinese cabinetmakers were concentrated at the east end of town. Food-processing plants were established in north and west Melbourne where factories tended to be small and specialised. Large factories, built in the later nineteenth century and early twentieth century, were mostly built outside the City of Melbourne, where land was more easily obtainable (Context 2011:35).

After being the centre of manufacturing in Australia in the 1920s, Melbourne's importance in this regard began to decline. In the postwar period many city factories and warehouses were left empty or converted for other uses. The industrial area of Southbank has been virtually obliterated by the new developments of the 1990s (Context 2011:35).

SITE HISTORY

The first documented occupation of the site at 25 King Street, originally 17 King Street, dates to 1854, with previous buildings on the site including Martindale and Steele's store (*Age* 1 November 1854:1; Fels, Lavelle & Mider 1993, Inventory no 848).

Melbourne Steamship Co Ltd 1885-1912

In 1884 shipping businesses James Deane and Co, Melbourne Coal Co and Hobson's Floating Dock Co were sold to a private company directed by H R Reid, Captain James Deane and Captain James McIntyre, and managed by D York Syme. It became the Melbourne Coal, Shipping and Engineering Co (UoM). Reid held many public positions in Melbourne, including the President of the Chamber of Commerce, whilst cousins and Port Phillip Sea pilots Deane and McIntyre were well known identities in shipping circles throughout Victoria (*Maitland Weekly Mercury* 28 September 1907:13; *Muswellbrook Chronicle* 24 April 1909:4; *Williamstown Chronicle* 2 March 1900:3).

In 1885, a brick building of three floors containing a store and offices was constructed on the subject site by builder James Carlton for the Melbourne Coal, Shipping and Engineering Co, and called the 'Shipping Exchange' in Sands and McDougall street directories from c1892 (Figure 1) (MCC registration no 1781, as cited in AAI, record no 71743). Fire damaged the building in 1888, burning the roof and destroying the top storey and the entire contents of the building (*Argus* 8 December 1888:7). This destruction, coupled with severe water damage to the other levels, resulted in the structure's complete rebuilding the following year.

The new three-storey building plus basement was erected on the site in 1889 to the design of architect Frederick Williams (Figure 2) (*Australasian Builder and Contractor's News* 5 January 1889:21). In 1895 the Melbourne Coal, Shipping and Engineering Co was renamed the Melbourne Steamship Co (UoM). Until 1909 the firm operated from the ground floor of the building and Reid, Deane and McIntyre occupied offices on the first level, with executors of Deane's estate taking up his office from his death in 1900 (S&Mc 1890, 1892, 1896-1910). Other tenants during this time included champagne and wine manufacturers, printing goods importer and oil and general merchants, among others.

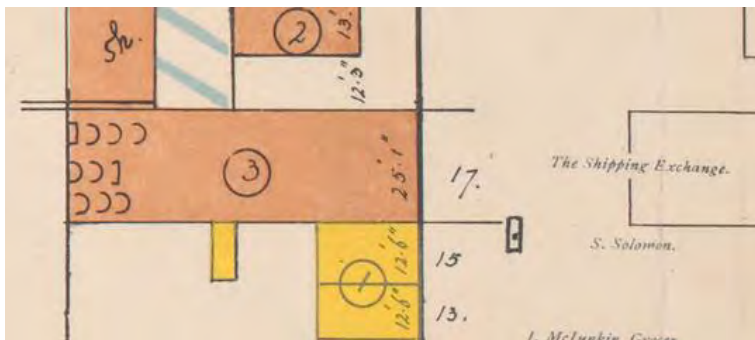


Figure 1. Detail from 1888 Mahlsted plan shows the original 1885 building on the site before it was destroyed by fire. (Source: Mahlsted Map, no 1A, 1888)

By 1910 the Melbourne Steamship Co had expanded its offices to occupy all three floors of the building, and by 1913 had vacated the premises at 25 King Street and re-established itself in a new building at 27-31 King Street next door (Figure 2) (MCC registration no 3392, as cited in AAI, record no

71706; S&Mc 1910-1913). The business survived at these new premises into the 1960s, until the sale of its biggest and most well-known ship, Duntroon.

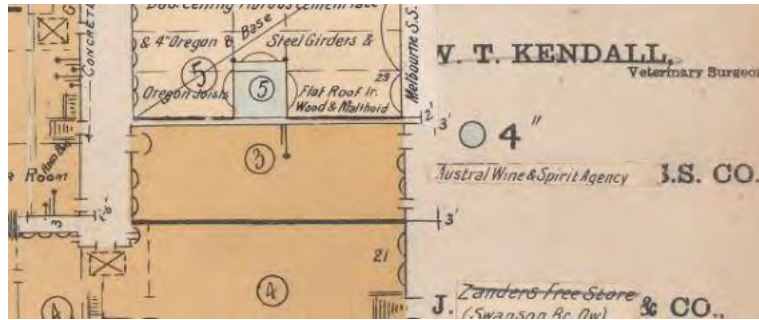


Figure 2. Detail from 1910 Mahlsted plan shows the current building on the subject site. In 1910 25 King Street was still occupied by the Melbourne Shipping Co., despite a tab for 'Austral Wine & Spirit Agency' blocking out the business name on the above plan. (Mahlsted Map, no 24, 1910)

In 1913 25 King Street was sold to Mary Georgina Alston, wife of one of Australia's leading nineteenth century industrialists, James Alston (CT:V3727 F745302). Mary was an avid philanthropist; at her death in 1932 she was president of the Women's Hospital and Loreto Free Kindergarten, as well as patroness of the central executive of St Vincent's Hospital and a vice-president of the Victoria League. During World War One she had been a zealous worker for the Red Cross and she was also a member of the Lyceum Club (Parsons 1979).

Austral Wine and Spirit Agency 1916-1922

In 1916 merchant Pierce Cody moved his wine and spirit agency from 407 Little Collins Street into the building at 25 King Street, purchasing the property in July 1920 (CT:V03727 F302; S&Mc 1916). On Cody's death in 1923, the property and business were devolved to his sons Patrick and Matthew, and while Austral Wine and Spirit Agency had moved on from 25 King Street in 1922, the property itself remained with the Cody family for the next 50 years. Other tenants during the Cody's ownership included the agency for the Australian Farmers' Service, Colonial Rubber Co Ltd manufacturers, and various ship chandlers (S&Mc 1922-1942).

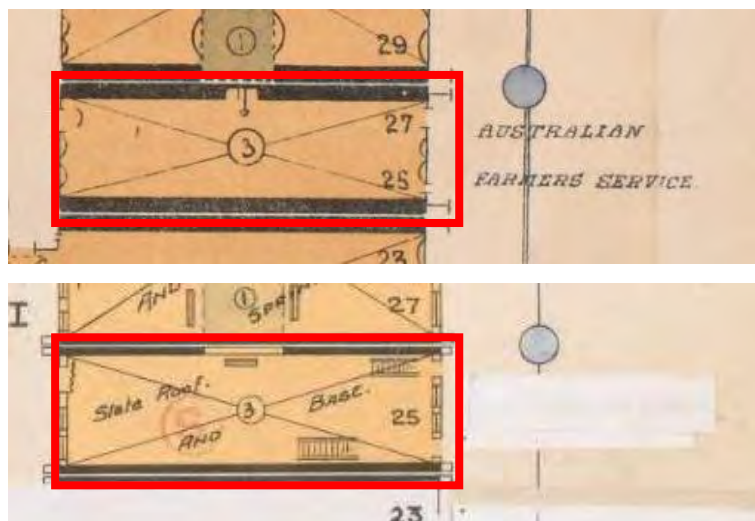


Figure 3. Details from 1925 (top) and 1948 (bottom) Mahlsted plans show the building at 25 King Street remaining unchanged over the years. (Source: Mahlsted Map, no 24, 1925; Mahlsted Map, no 24, 1948)



Figure 4. Photograph from the late 1960s showing 25 King Street delineated in red outline. (Source: Halla 1965-1972, SLV)

Frederick Williams, architect

Frederick Williams became a councillor (1875-1886) and mayor (1880) of Sandridge Council (Port Melbourne) following his arrival in Melbourne in 1857. Williams commenced his career as an architect and surveyor in 1869 and was engaged in erecting numerous buildings in the city, suburbs and country. He designed many buildings in Port Melbourne including Excelsior Hall, the Holy Trinity Church Hall and Graham's Family Hotel. He also designed the extension to Swallow and Ariell's biscuit factory on the corner of Rouse and Stokes streets, Sandridge (Port Melbourne) as well as its office and counting house on the opposite side of Stokes Street (Gee 2010).

Williams was chosen as the Sandridge Council's representative on the Melbourne Tramways Trust and served in that capacity until 1886, when he retired from Council. He was appointed architect to the Modern Permanent Building Society in 1883. His offices were at 76 Collins Street west and his private residence was in Brighton (Gee 2010).

SITE DESCRIPTION

25 King Street is a four-storey Victorian commercial Italianate building comprised of three storeys plus a half basement. The rendered brick building has a slate hipped roof concealed by a panelled parapet. The rusticated ground floor is articulated by two engaged pilasters with a simplified Corinthian entablature above. Entry doors are located at each edge of the building with the entry to the upper floors located at the southern end of the building and two bluestone steps leading to a

timber panelled door. A second, timber panelled door is located at the northern end of the building providing access to the basement. Two centrally located half sized windows with steel grilles sit almost at ground level and service the basement, and a non-original tripartite window services the ground floor. Matching rectangular double hung windows are located on the first level, above each of the doors.

The second floor and third floor are separated by a deep moulding and are characterised by generous double hung timber-framed windows. The second-floor featuring four arched window openings is more elaborate than the third floor with a different design of segmented arched window openings framed by moulded architraves and sill brackets. A shallow cornice is located above the windows.

INTEGRITY

25 King Street maintains a high degree of integrity. It is substantially intact, with some reversible changes including a non-original window centrally located at the first level.

COMPARATIVE ANALYSIS

Late Victorian buildings constructed during the 1880s helped shape Melbourne into a commercial city. Often with multiple storeys, the use of these buildings varied, from housing walled office spaces to offering large workshop floors. Being influenced by the 1880s property boom, these commercial buildings were popularly treated with Renaissance and Italianate styles, which are closely associated with Melbourne's Boom Style.

The subject building compares well with the following examples, drawn chiefly from the Central City Heritage Review 2011, being of a similar use, scale, location and creation date. The images are provided by CoM Maps unless stated otherwise, with images dating from c2000 or later.

Selected examples from the 1880s include:

Former Gordon Building, 384-386 Flinders Lane, 1885 (Interim HO1271 – recommended as significant in the Hoddle Grid Heritage Review)

This building, also designed by architect Frederick Williams, was built as office accommodation for biscuit manufacturer, Swallow & Ariell. The distinctive four storey (plus basement) office building was originally built as two storeys (plus basement) in 1885, with an additional two storeys built several years later in 1888. The cohesive arrangement of elements such as arched windows openings, moulded cornices and parapet detailing results in an Italianate façade.



Figure 5. 384-386 Flinders Lane constructed 1885. (Source: Context 2017)

Georgy Robertson & Company Pty Ltd, 392-396 Little Collins Street, 1882-83 (HO1056)

A five-storey cement rendered brick former warehouse (originally one of a pair). Built for book-selling and publishing company, George Robertson & Company Pty Ltd. Designed by Twentyman & Askew in the Italian Renaissance style and completed in 1883. Refurbished, converted and subdivided into 31 residential units and one ground level retail unit in 1995.



Figure 6. 392-396 Little Collins Street constructed 1882-83. (Source: Butler 2011)

Schuhkraft & Co Warehouse, 130-132 Flinders Street, 1885 (HO1036)

A five-storey cement rendered brick former warehouse. Designed by William Henry Ellerker in the Italian Renaissance revival style and built by Charles Butler in 1885 for the printers and stationers Schuhkraft & Co. Refurbished, converted and subdivided into residential units with ground level retail in 1995.



Figure 7. 130-132 Flinders Street constructed 1885. (Source: Butler 2011)

Former Thomas Warburton Pty Ltd warehouse, 365-367 Little Bourke Street, 1887 (HO1052)

A pair of three-storey brick former warehouses to Little Bourke and Rankins Lane with another two-storey building to Warburton Lane with ground level parking. Designed by Twentyman & Askew and built by William Radden for the ironmonger and engineer Joseph Warburton in 1887. Refurbished and subdivided into a mix of retail, office and residential units in 2000.



Figure 8. 365-367 Little Bourke Street constructed 1887.

25 King Street is a fine example of an Italianate commercial building from the late Victorian era. It compares well to 384-386 Flinders Lane, having been designed by the same architect, but with a higher level of façade detail. It also compares well to 392-396 Little Collins Street in terms of the rusticated base and the upper floors featuring round and segmented arch-headed windows.

ASSESSMENT AGAINST CRITERIA

✓	<p>CRITERION A Importance to the course or pattern of our cultural or natural history (historical significance).</p>
	<p>CRITERION B Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).</p>
	<p>CRITERION C Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).</p>
✓	<p>CRITERION D Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).</p>
✓	<p>CRITERION E Importance of exhibiting particular aesthetic characteristics (aesthetic significance).</p>
	<p>CRITERION F Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)</p>
	<p>CRITERION G Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).</p>
	<p>CRITERION H Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).</p>

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

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PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985** D

**Central City Heritage
Study 1993** C

**Review of Heritage
overlay listings in the
CBD 2002** Ungraded

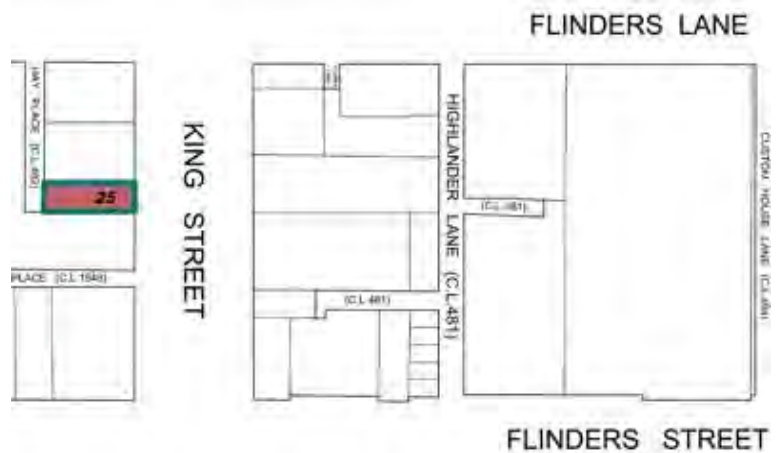
**Central City Heritage
Review 2011** Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Former Melbourne Shipping Exchange



PS ref no: Interim HO1250



What is significant?

The commercial building at 25 King Street, Melbourne, designed by Frederick Williams and completed in 1889.

Elements that contribute to the significance of the place include (but are not limited to):

- The building's original form, materials and detailing;
- The building's high level of integrity to its original design;
- Detailing of the façade including rusticated ground floor, engaged pilasters with entablature above, deep cornices, moulded architraves, sills and sill brackets; and
- Pattern and size of original fenestration, and original window joinery.

Later alterations, including a non-original window centrally located at the first level, are not significant.

How it is significant?

25 King Street, Melbourne is of local historic, representative and aesthetic significance to the City of Melbourne.

Why it is significant?

25 King Street is of historic significance for its association with Melbourne's foremost late nineteenth and early twentieth century shipping company, the Melbourne Coal, Shipping and Engineering Co, known as the Shipping Exchange and from 1895 as the Melbourne Steamship Company. The present building at 25 King Street served as the company headquarters from 1889-1913 before it relocated next door to 27-31 King Street. (Criterion A)

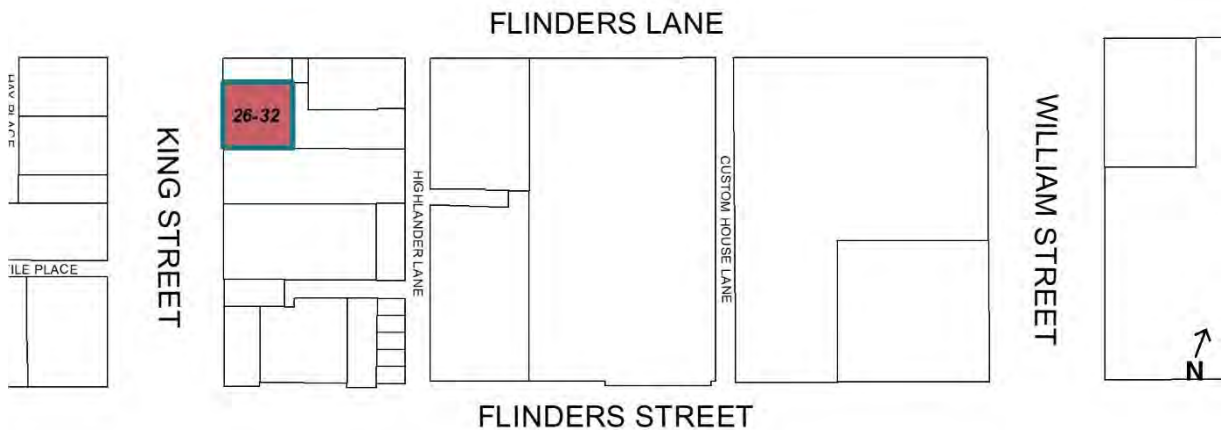
25 King Street is a fine example of an Italianate commercial building from the late Victorian era. Designed by architect and Sandridge mayor and councillor, Frederick Williams, it is significant for its somewhat unusual feature of a half basement which is also employed at Williams' other building at 384-386 Flinders Lane. The Italianate façade is of high quality featuring moulded stucco work to the façade. (Criterion D)

25 King Street is aesthetically significant, demonstrating key characteristics of the Italianate style, including a scholarly arrangement of classical elements such as a decorated parapet, deeply moulded cornices, a variety of windows with segmented, round arched and squared heads and a rusticated ground level with engaged pilasters. 25 King Street is notable for its high degree of integrity to the façade. (Criterion E)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Warehouse
STREET ADDRESS	26-32 King Street, Melbourne
PROPERTY ID	105399



SURVEY DATE: March 2018		SURVEY BY: Context	
HERITAGE INVENTORY	H7822-1858	EXISTING HERITAGE OVERLAY	No
PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
DESIGNER / ARCHITECT / ARTIST:	Not known	FORMER GRADE	C
DEVELOPMENT PERIOD:	Federation/Edwardian Period (1902-c1918)	BUILDER:	Quilty
		DATE OF CREATION / MAJOR CONSTRUCTION:	1911

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here.
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a Commercial City	5.2 Melbourne as a trading port
	OTHER SUB-THEMES
	5.3 Developing a large, city-based economy
POST-WAR THEMES	DOMINANT SUB-THEMES
2 Constructing the economy of Melbourne city centre	2.3 Business, finance and speculation

LAND USE

HISTORIC LAND USE	
Archaeological block no: 58	Inventory no: 858
Character of Occupation: Commercial	
Third land sale 1838, Block 2 Allotment 20, J H Wedge.	
1850 Proeschel	Building on site
1855 Kearney	Part of Foundry Hotel
1866 Cox	
1877 Dove	Three two-storey buildings; Richmond & Zanders no.4 Bond store
1880 Panorama	
1888 Mahlstedt	Same; Milne & Co, Produce & Commission Agents; Zanders Bond stores
1905/6 Mahlstedt	Same; M Evans Agent; Zanders no 2 & 5 Bonded store
THEMATIC MAPPING AND LAND USE	
1890s	Warehouses
1920s	Warehouses
1960s	Offices

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

The former warehouse at 26-32 King Street, Melbourne was built in 1911 and re-faced c1923 with elements of the interwar Chicagoesque style. Replacing a 1877 two-storey warehouse, known as Zander's Bonded Stores No 4 and No 5, this building continued to be known as Zander's Bonded Stores No 4 and No 5 until the 1930s when it was renamed Doyle's Free Stores.

HISTORICAL CONTEXT

Building a commercial city

Melbourne as a trading port

In the first years of settlement boats and ships were moored on the Yarra River between Queen Street and William Street. This became known as Queen's Wharf. Bluestone warehouses and bonded stores (a warehouse in which dutiable goods were deposited until duty was paid or the goods cleared for export) were erected close by, as well as a customs house (1841) and market square (1847). Other ports were established further afield at Williamstown and Sandridge (Port Melbourne). Shipping news was relayed at Flagstaff Hill, as a rise on the western side of the township that commanded a fine view of the bay. Although sited some distance from the open sea, Melbourne was connected to major shipping routes, and hence to world markets, via the short access route provided by the Yarra River. By the 1850s, the Yarra River and the docks west of Swanston Street were in essence the 'lifeline' of the city (Context 2012:39-40).

The ports carried large quantities of primary produce for shipment to Britain, principally fine wool but also frozen meat (after a local refrigeration process was patented in 1860). Large warehouses and bonded stores were built, often of bluestone, to serve shipping interests; several of these buildings survive in the King Street and Flinders Street areas (Context 2012:39).

By the 1880s, Melbourne had grown from being a small settlement serving pastoral interests to a major international port (Context 2012:39).

As Paul De Serville writes, merchants played an important role in the early Melbourne economy: they 'consigned wool to London, made [credit] advances to squatters and usually imported goods for their clients and other colonists to buy'. However after the economic depression of the 1890s, most mercantile houses in Melbourne closed (De Serville 2008).

Developing a large, city-based economy

After the 1890s economic depression, in the first decades of the twentieth century the retail, office and manufacturing sectors took over existing warehouses and shipping offices, as well as constructing new premises. In the King Street area, for example, in 1913 a newspaper article described how the southwest corner (Flinders Street and Flinders Lane between King and Spencer streets) was experiencing transformation after a period of stagnation and neglect in building enterprise, indicating prosperous development in the 'true Seagate to the city', an area that had recently become a sought-after location for offices and firms (*Herald* 20 February 1913:3). A number of substantial buildings were erected at the west end of King Street in 1911-13, including new offices for the Melbourne Steamship Company, between Flinders Street and Flinders Lane; new banking chambers for the Bank of New South Wales on the corner of King and Flinders streets; and a four-storey storage building on the corner with Flinders Lane (*Herald* 20 February 1913:3).

After the end of World War One in 1918, Melbourne, like other Australian cities, experienced an economic boom. In the first decades of the twentieth century, the last residents moved out of Melbourne city to the new suburbs, with the booming retail and manufacturing sectors rapidly taking up city properties. By 1921, 38 per cent of Melbourne's workers were employed in industry and the growth of manufacturing stimulated urban growth. By the end of the 1920s, Melbourne's population

had reached one million people (Marsden 2000:29-30). Workshops, offices and small factories increasingly took over the city centre.

Development in the city slowed with the widespread economic depression of the late 1920s and early 1930s. Because of a lack of finance over this period, instead of new construction, some city buildings were substantially remodelled to create new office, commercial and industrial spaces, and also for use by government.

The demand for commercial space in the city centre increased again during the boom years after World War Two.

Constructing the economy of Melbourne city centre

Business, finance and speculation

The most significant increase in commercial enterprise in Australia since 1949 has been in the areas of mining, finance, commerce, and industry. Since the late 1970s, many have undergone significant restructuring. Speculative investment increased after the Commonwealth government lifted restrictions on share dealings in 1947, resulting in a dramatic increase in new company registration (Marsden 2000:44-45). The increased commercial activity spurred the establishment of new bank headquarters.

In Melbourne in the mid-1950s to the mid-1960s, property investment was driven largely by British and American companies, government bodies, large Australian corporations such as AMP and BHP, and property developers, including Lend Lease (formerly Civil and Civic) and LJ Hooker. From the late 1960s private developers, such as Grollo, and Lustig and Moar also contributed to the building boom in the city (Marsden 2000:46-47).

After a decline in manufacturing in the 1960s, significant investment was made in city offices (Marsden 2000:45). The period between 1961 and 1963 was one of business recession, while the years between 1967 and 1969 saw a time of growth due in large part to mineral booms.

From 1967 to 1971 the gross output of new lettable office space in the city centre grew to 2.1 times that of the previous five years, with only defacto planning controls applied up until 1961 (City of Melbourne Strategy Plan 1974 in Clinch 2012:66-67).

The property boom ended in the economic crash of the early 1970s, when many British institutions that had founded the commercial property industry left Australia. Government bodies and banks subsequently took over building construction in the city centre (Marsden 2000:48).

Because of an over-supply of offices, Melbourne's city office boom slowed in the late 1970s (Marsden 2000:58).

SITE HISTORY

The land comprising 26-32 King Street, Melbourne was first purchased by J H Wedge during the third land sale of 1838 as part of Block 2, Crown Allotment 20 (Fels, Lavel and Mider 1993, Inventory no 858). The area surrounding the subject site was known as the 'Seagate to the city' due to the prevalence of shipping and merchandising industries that operated there into the 1950s (*Age* 10 December 1953:10).

By 1877 two two-storey buildings had been constructed on the subject site. (Fels, Lavel and Mider 1993, Inventory no 858). By 1888 these were known as Zander's Bonded Stores No 4 and No 5 (see Figure 1)

A pair of four-storey bond stores (26-28 and 30-32 King Street), was constructed in 1911 for the then proprietor of the Zander's complex, Patrick J Doyle, produce merchant and wholesale shipper, by a builder named Quilty of 177 McIlwriath Street, Carlton (*Age* 8 May 1911:12; *Herald* 12 November 1912:5; RB 1912; *Table Talk* 10 December 1903:5; MCC registration no 2559, as cited in AAI, record no 71710). Replacing the earlier two two-storey Zander's bond stores, the new warehouses continued to be known as Zander's Bonded Stores No 4 and No 5 (Mahlstedt Map, section 1, no 21, 1925; S&Mc 1930). The subject building was described in 1913 as a 'complete and modern storage building' (*Herald* 20 February 1913:3).

Major upgrade works occurred to the premises in 1923, as demonstrated by an increased Net Annual Value between 1922 and 1924. This may have involved the refacing of the principal King Street elevation (RB 1922, 1924).

J C Zander commenced his warehousing business in La Trobe Street in 1852. Cecilia Zander inherited her husband's business in 1858, expanding the enterprise to a point where she was able to purchase a site in King Street from the bank in 1867 and build a new warehouse, No 3 Store in 1873. By 1887 she owned storage capacity equal to 21,000 tons of merchandise. Cecilia Zander leased the warehouse out in the mid-1890s (Butler 1995).

At the time of Cecilia Zander's death in 1896, Zander's Bonded Stores had grown to a complex that occupied most of the northern half of the block between Highlander Lane and King Street. The complex comprised six substantial warehouses numbered one to six in order of occupancy (Mahlstedt Map no 2, 1910; Figure 2) and a strip of yard (now occupied by 11A Highlander Lane).

Other former Zander's Bonded Stores are still extant at 22-24 King Street (HO670), and 11A and 11 Highlander Lane (both recommended as individually significant as part of this Review) (see Figure 2). All Zander's buildings in this complex were serviced at the rear by either Highlander or Stubbs Lane. By c1890 the subject site was numbered 26-32 King Street (S&Mc 1890).

A 1903 sale notice for the warehouses advertised a 'very valuable, centrally situated, well-known, and old-established business premises, known as Zander's Bonded Warehouse' at 22, 24, 26, 28, 30 and 32 King Street. Patrick John Doyle became the new owner-occupier of the entire Zander complex, purchasing the property for £23,500 as an investment in 1903, soon after buying another major store, Coles Bonded Stores in Flinders Street (*Table Talk* 10 December 1903:5). Openings were created to the internal party wall by the 1920s, and enlarged during the 1950s, subsequently merging the two warehouses into one building (see Figure 3) (MBAI; Mahlstedt Map section 1, no 21, 1925 & 1948, amended 1960s).

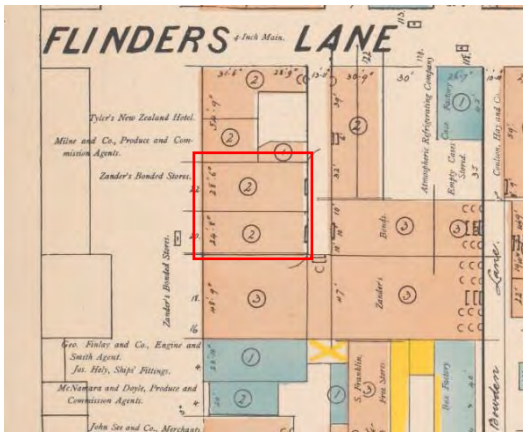


Figure 1. Extract from standard plan showing Zander's Bonded Stores (nos 3 and 4) on the subject site and adjacent Zander's Bonded Stores buildings in 1888. (Source: Mahlstedt Map, section 1, no 2, 1888, SLV)

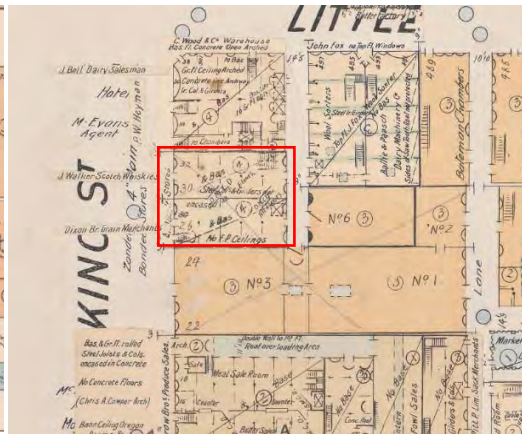


Figure 2. Extract from detail fire survey showing the subject site and Zander's Stores numbering c1912. (The 1910 Mahlstedt plan was amended post 1912). (Source: Mahlstedt Map section 1 no 21, 1910, SLV1)



Figure 3. Extract from a survey showing the subject site building in 1948 and the planned demolition of allotments fronting Flinders Lane for the lane expansion. Note that the 1948 Mahlstedt survey has been amended at an unknown date. (Source: Mahlstedt section 1 no 21, 1948, SLV)

Internal and external works, carried out to the subject building from c1932, have changed its appearance and, internally, reflect a change in the building's use.

Birt Elder Pty Ltd, shipping agents, owned the building in 1952 and was responsible for the refurbishments and alterations carried out that year (PROV VPRS 11200/0007 unit 683, item T9; *Argus* 17 April 1948:11). Architects A C Leith Bartlett & Partners carried out substantial alterations and additions in 1952 and 1954 (MBAI). These alterations involved the internal refurbishment of the building and the construction of new concrete and brickwork at the ground level King Street frontage (PROV VPRS 11200/0007 unit 683, item T9). As demonstrated in Figure 4 and Figure 5, the King Street façade retained its original pattern of fenestration and windows above ground level during these works (ground level openings are obscured in Figure 5). These shopfronts have since been altered.

Between 1956-1957 the building sold for £105,100 (*Age* 27 February 1957:6). Following the sale, the building housed a range of occupants, mostly in the field of professional services, including Alliance Assurance Co Ltd; A C Burchill and Sons, tax consultants; H S Ungamells & Co, manufacturers agents; and CW Candy, civil engineer (S&Mc 1955). Advertisements from 1956 describe 26-32 King Street as being a modern office building (*Argus* 24 November 1956:8; MBAI). Internal partitions were subsequently erected on the ground and second floors following the building's sale in 1957 (MBAI).

By 1970 F E Michaelson was the only registered occupant at 26-32 King Street and, in 1974, the Sands & McDougall directory records the eastern side of King Street, extending from numbers 10-32, as 'development' (S&Mc 1970, 1974). In 1980 the building was advertised for sale as a partly tenanted, immaculately maintained city building (*Age* 9 February 1980:29).

New glazing was installed in 1986 (MBAI). In 1988 the building permit details that the building changed in use from an office building to a shop or other building for the sale of retail goods or supply of services direct to the public (MBAI).

In 1965 Melbourne City Council announced that the western end of Flinders Lane would be widened to become part of a two-way street (*Age* 10 June 1965:6). The project was expected to cost £1 million and be carried out over three years. The building adjacent to the subject site, on the northern boundary, was demolished during this time and its allotment truncated as part of the lane expansion (see Figure 4 and Figure 5). Due to the removal of this adjacent building, the northern elevation of the subject property 26-32 King Street was exposed.

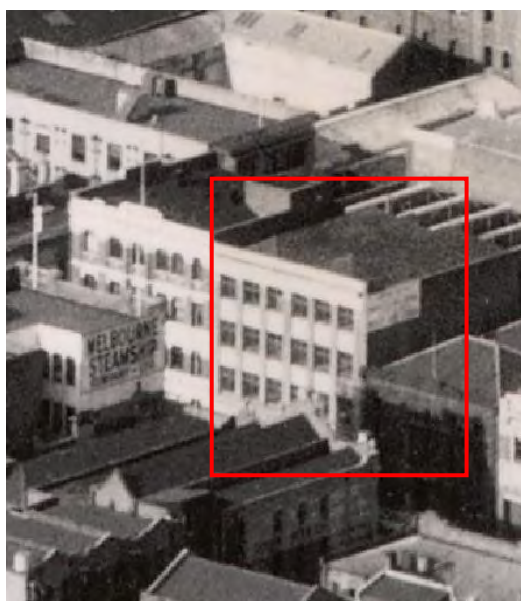


Figure 4. Extract from 1950s aerial photograph of Melbourne looking northeast with the subject building outlined in red and adjacent corner building which was demolished as part of Flinders Lane widening in the 1960s. Note that the ground level openings are obscured (Source: Pratt 1950, SLV [copyright](#))



Figure 5. Photograph showing subject building in 1985. (Source: Butler 1985 [copyright](#))

Zander's Bonded Stores

J C Zander commenced his warehousing business in La Trobe Street in 1852. Cecilia Zander inherited her husband's business in 1858, expanding the enterprise to a point where owned storage

capacity equal to 21,000 tons of merchandise. At the time of Cecilia Zander's death in 1896, Zander's Bonded Stores had grown to a complex that occupied most of the northern half of the block between Highlander Lane and King Street. The complex comprised six substantial warehouses numbered one to six in order of occupancy and a strip of yard (now 11A Highlander Lane) (Mahlstedt Map no 2, 1910).

John Ramsey Corteen was the proprietor of Zanders' Bonded Stores from 1904 to c1930, leasing the properties from Doyle (S&Mc 1904, 1930; CT:V2966 F108). By 1935, the Zander's buildings became known as Doyle's Free Stores, until c1945 (S&Mc 1935, 1945). By the early 1950s Doyle had also acquired the adjacent building and leased both buildings out to a range of tenants. In 1950, Doyle's Free Stores occupied 22-24 King Street, and 26-28 King Street had the following occupants: Doyle & McCarthy Pty Ltd produce merchants; E F Doyle accountant; and Burbank Cheese Pty Ltd, cheese merchants. The occupants for 30-32 were D Lavery, export agent; and E C Marsh, dairy produce merchants (S&Mc 1950).

SITE DESCRIPTION

Located on the eastern side of King Street between Flinders Lane and Flinders Street, 26-32 King Street, Melbourne is a pair of substantial four-storey brick warehouse buildings constructed in 1911 and re-faced in c1923. The building is adjacent to a narrow corner allotment previously occupied by another building and which is irregular in size due to the widening of Flinders Lane in the 1960s.

The principal façade to King Street exhibits elements of the interwar Chicagoesque style, such as a strong vertical emphasis resulting from projecting pilasters with large windows separated by recessed spandrels at each floor. It is constructed of painted render over loadbearing brickwork. The northern elevation is painted brickwork with a large advertising mural while the southern elevation is unpainted face brick above the adjoining two-storey building. The façade to King Street comprises six equal bays separated by pilasters, which terminate in a deep parapet and cornice that stops short of the end walls. The two end and middle pilasters are slightly wider than the four intervening pilasters and feature decorated capitals; these more ornate pilasters are interspersed with smaller pilasters with modest corniced capitals. The pilasters are separated by plain recessed spandrel panels at each floor level, and the original large window openings appear to be extant, along with the original multi-pane steel frame windows. On the roof of the building on the north-eastern corner is a small brick structure that is a later addition.

The ground floor has been significantly altered, although the vertical structural grid expressed by the pilasters above, continue to the street level. New window and door openings have been inserted and electric signage mounted below the first-floor cornice. A photograph of the building from 1985 shows that the entrance was formerly located on the northernmost bay of the King Street frontage (see Figure 5), and the other street level bays were punctuated by windows of the same dimensions as the upper storeys.

INTEGRITY

The building retains its original scale and form as a low-rise but substantial warehouse constructed in the Edwardian period, with no upper floor additions. The building façade retains its interwar appearance, including the early pattern of fenestration, and pilasters, cornices, parapet and window openings have been retained on the upper floors. The original multi-pane steel frame windows are extant.

The integrity of the building has been slightly diminished by the alterations to the original configuration of the building at ground level. In spite of these changes, the building overall is of high integrity.

COMPARATIVE ANALYSIS

Structural steel and reinforced concrete framing became popular building materials in interwar Melbourne, inspired by Chicagoan architecture in the late nineteenth and early twentieth centuries. Departing from load-bearing brick walls, many 1920s examples employed these new building methods that allowed windows to become larger and more prominent on facades, while also allowing for increased building heights. The more substantial commercial and warehouse buildings during the early interwar period were commonly designed with elements of interwar styles, including Commercial Palazzo or Chicagoesque styles, whereas the lower scale warehouses tended to be designed with a more restrained face brick warehouse aesthetic.

Notwithstanding that 26-32 King Street was constructed in 1911, and therefore predates the majority of other extant examples of interwar warehouse buildings with elements of the Chicagoesque style in central Melbourne, it exhibits characteristics associated with the style in its symmetrical solid form, in its use of expressed pilasters, recessed horizontal spandrels and its modest projecting cornices. The building was refaced in c1923 and retains its interwar appearance.

The following examples of interwar warehouses are comparable with 26-32 King Street, Melbourne, being of a similar style, scale and use, although the construction date varies considerably. The images and descriptions are provided by CoM Maps unless stated otherwise, with images dating from c2000 or later.

333 Flinders Lane, 1912 (HO647, Significant in HO506 Flinders Lane Precinct)

A five-storey brick former warehouse with basement parking. Designed by HW & FB Tompkins and built in 1912 by John Carter for Edward Doery and William Tilley, principals of the boot warehouseman Doery Tilley & Co. In January 1921 fire severely damaged the top storey. It was refurbished and subdivided into offices in 1987.

The upper level façade may have been altered after the 1921 fire.



Figure 6. 333 Flinders Lane, built in 1912.

Dreman Building, 96-98 Flinders Street, 1904 (HO1272)

A six-level warehouse building, with shopfront at ground level and a distinctive and consistent façade to the upper five levels. Rendered engaged pilasters run the full height of the building and combine with a decorative parapet to form a rectangular façade with a strong vertical emphasis. Window openings are defined by the intersection vertical and horizontal bands that run across the façade and determine the rhythm and pattern of the façade.



Figure 7. 96-98 Flinders Street, built in 1904. (Source: Context 2017).

337-339 La Trobe Street, 1923-24 (HO1208)

A mid-block, three-storey face brick warehouse building with classical derived detailing including bricked pilasters and a dentil cornice.



Figure 8. 337-339 La Trobe Street, built in 1923-24.

401-405 Little Bourke Street, 1911 (HO1205)

A five and three storey Edwardian brick building with a basement and ground level parking. Built around 1912 as a store and warehouse which covered the address of 401-403. In 1937 it was refurbished and extended to include 405. The rear three storey extension was completed in 1954. It was fully refurbished and subdivided into retail, office and residential units in 1986.



Figure 9. 401-405 Little Bourke Street, built in 1911.

26-32 King Street is a relatively intact example of an interwar building exhibiting elements of the Chicagoesque style. Although it was constructed in 1911 the façade retains its c1923 appearance. In comparison to some of the HO listed examples, it is modest in scale, utilitarian in its design, and more restrained in its use of stylistic motifs but of comparable levels of integrity. 333 Flinders Lane (HO647, HO506 Flinders Lane Precinct) and 96-98 Flinders Street (HO1272) are comparable as examples of restrained yet refined warehouse buildings showing characteristics of the Chicagoesque style.

401-405 Little Bourke Street (HO1205) and 337-339 La Trobe Street (HO1208) are comparable in terms of scale, but in terms of style they exhibit a more restrained generic face brick warehouse aesthetic rather than the Chicagoesque style commonly utilised for more substantial buildings.

26-32 King Street is comparable to the examples above as a relatively intact, utilitarian example of a substantial warehouse. Although the ground floor has been altered the building retains its interwar appearance above ground level. This is evident in the windows and pattern of fenestration; built form, pilasters, cornices, and parapet. It is therefore comparable in terms of integrity with the HO listed examples.

ASSESSMENT AGAINST CRITERIA

✓	<p>CRITERION A Importance to the course or pattern of our cultural or natural history (historical significance).</p>
	<p>CRITERION B Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).</p>
	<p>CRITERION C Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).</p>
✓	<p>CRITERION D Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).</p>
	<p>CRITERION E Importance of exhibiting particular aesthetic characteristics (aesthetic significance).</p>
	<p>CRITERION F Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)</p>
	<p>CRITERION G Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).</p>
	<p>CRITERION H Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).</p>

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

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Table Talk, as cited.

PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985** D

**Central City Heritage
Study 1993** C

**Review of Heritage
overlay listings in the
CBD 2002** Ungraded

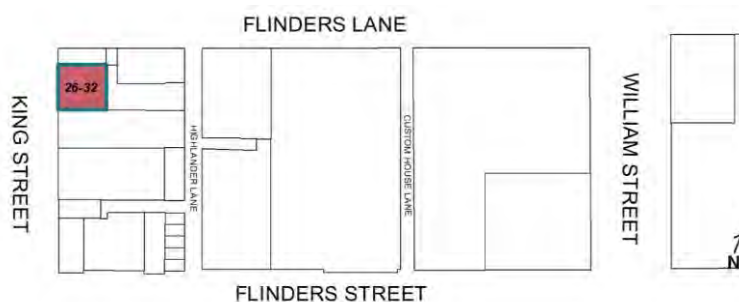
**Central City Heritage
Review 2011** Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Warehouse



PS ref no: HOXXXX

**What is significant?**

26-32 King Street, Melbourne, a four-storey warehouse building built in 1911 with the principal elevation refaced in c1923.

- Elements that contribute to the significance of the place include (but are not limited to):
- The 1911 built form and scale;
- The original pattern of fenestration and c1923 decorative elements;
- The external wall surfaces of painted cement render; and
- The early multipane steel framed windows (c1923) to the upper floors.

Later alterations made to the street level facades are not significant.

How it is significant?

26-32 King Street, Melbourne, is of local historic and representative significance to the City of Melbourne.

Why it is significant?

The warehouse at 26-32 King Street is historically significant as surviving evidence of warehousing in this part of the city of Melbourne. Located near Melbourne's early transport infrastructure, the first port and Spencer Street Railway Station (opened 1859), it was built to service Melbourne's trading port. From 1877 until c1950s, Zander's Bonded Stores was located on this site; the current five-storey building (built 1911, refaced in c1923), was known as Zander's Bonded Stores No 4 and No 5, and replaced the earlier Zander's two-storey warehouse that existed on the site. 26-32 King Street was part

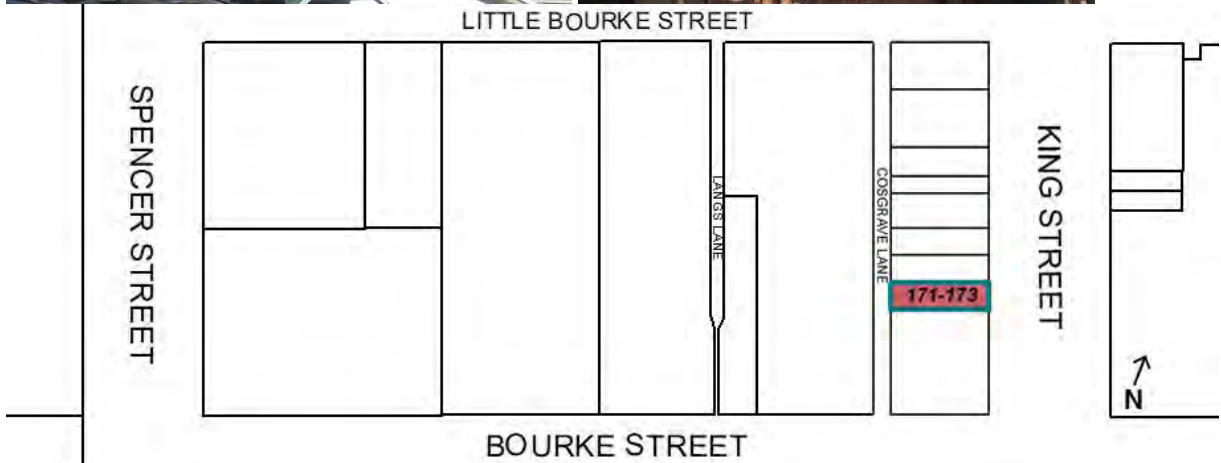
of an extensive store complex owned by produce merchant and wholesale shipper, Patrick John Doyle. Used for storage from 1911 to the 1950s, the building remains as evidence of the importance of warehousing in this part of the city, which was integral to the economic activity of the original port that continued into the 1950s. (Criterion A)

26-32 King Street is significant as a substantially intact example of the wave of warehouse development in the western port area of Melbourne during the late Edwardian and early interwar period that replaced the low scale masonry warehouses of the nineteenth century. The more substantial warehouses from the early interwar period of development commonly utilised the interwar Chicagoesque style. The King Street façade (refaced in c1923) which features a strong vertical emphasis from projecting pilasters with large windows separated by recessed spandrels at each floor), is an intact and representative example of this Chicagoesque stylistic tendency. (Criterion D)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Warehouse
STREET ADDRESS	171-173 King Street Melbourne
PROPERTY ID	105300



SURVEY DATE: October 2018		SURVEY BY: Context	
HERITAGE INVENTORY	H7822-1413	EXISTING HERITAGE OVERLAY	No
PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
DESIGNER / ARCHITECT / ARTIST:	Not known	FORMER GRADE	C
		BUILDER:	Not known
DEVELOPMENT PERIOD :	Interwar Period (c1919-c1940)	DATE OF CREATION / MAJOR CONSTRUCTION:	1922

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here.
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a commercial city	5.5 Building a manufacturing capacity
	OTHER SUB-THEMES
	5.3 Developing a large, city-based economy

LAND USE

HISTORIC LAND USE	
Archaeological block no: 25	Inventory no: 413
Character of Occupation: Residential, Government, Commercial	
In 1855 Commissariat may have extended into this area.	
1866 Cox	Building on street frontage
1880 Panorama	
1888 Mahlstedt	One & two-storey building, Lidstone, Plumber
1905/6 Mahlstedt	One & two-storey building, Lidstone, Plumber and Slin Lee, Laundry.
THEMATIC MAPPING AND LAND USE	
1890s	Services
1920s	Warehouses, Banks
1960s	Warehouses, Banks

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

171-173 King Street, Melbourne is a three-storey interwar warehouse/factory building constructed in 1922. The building was chiefly occupied by J Creffield Pty Ltd, a firm of map mounters, heliographers and printers, for whom the building was constructed, from 1923 to c1985, and the Commercial Bank of Australia from 1926 to c1970.

HISTORICAL CONTEXT

Building a commercial city

Building a manufacturing capacity

From the 1850s, the Yarra River and the docks west of Swanston Street were in essence the 'lifeline' of the city. Port facilities and large warehouses were built in this area to serve shipping interests (Context 2012:39-40). The discovery of gold in Victoria in the early 1850s facilitated a boom in manufacturing in the 1860s when local firms were established to supply goods for miners and machinery and equipment for gold mining.

With the economic boom of the 1880s, the 1880s-1890s was a decade of significant expansion in Melbourne. Investment funds poured in from Britain, imposing architect-designed buildings were constructed, and speculation reached fever pitch in land and buildings (Marsden 2000:28).

The fringes of north and west Melbourne developed as a mixed area of residential, commercial and industrial uses. Small, sometimes substandard workers' housing was built among the factories that provided employment. Manufacturers expanded in the late nineteenth century, often absorbing the adjacent housing. The city's west end manufacturing progressively expanded north to encompass the blocks between Adderley Street and King Street (MPS:34).

As the Municipal Planning Scheme notes, 'With the local impact of Sands & McDougall at the north end of Spencer Street, a printing, publishing and paper goods district was established in West Melbourne by the end of the nineteenth century'. The city's west end manufacturing progressively expanded north to encompass the blocks between Adderley Street and King Street (MPS:34).

Although affected by World War One in the period 1914-1918, by the end of the 1920s Melbourne's population had reached one million people. In the first decades of the twentieth century, the demand for residential development declined in central Melbourne as many residents moved out of the city to the suburbs, and the booming retail and manufacturing sectors rapidly took up available city properties (Marsden 2000:29-30). Multi-storey workshops, factories and warehouses, many designed by architects, increasingly took over the city centre.

Development in the city slowed with the widespread economic depression of the late 1920s and early 1930s. Because of a lack of finance over this period, instead of new construction, some city buildings were substantially remodelled to create new commercial and industrial spaces.

The printing industry in the city's west was further consolidated in the area with the opening of the Argus Building, from where the Argus newspaper was printed and published, on the corner of La Trobe and Elizabeth streets in 1926.

From the 1930s, like the rest of Australia, an increasing proportion of the city's workforce took up jobs in manufacturing, an industry that led Australia's recovery from the economic depression, when, the *Encyclopedia of Melbourne* notes, a

steep rise in tariffs, devaluation of the Australian pound, falling wages and electricity costs all made local producers far more competitive internationally. Textiles benefited first, then the metals industries and engineering took over as pacemakers (Dingle 2008).

After being the centre of manufacturing in Australia in the 1930s, Melbourne's importance in this regard began to decline (Context 2012:35).

From the end of World War Two to the beginning of the 1970s, Melbourne underwent the most sustained growth in its history, mostly based on the manufacturing industry (Tsutsumi and O'Connor:80.3-80.4, 80.11).

Developing a large, city-based economy

After the discovery of gold in 1851 provided financial stability to the colony of Victoria, over the years the locality bounded by Flinders Street, William Street, Bourke Street and Elizabeth Street became the financial heart of the city. Banks, insurance companies, building societies and shipping companies were established and many of them erected substantial buildings (Savill 1987).

As well as managing locally generated income, the banks provided significant overseas capital, principally from Britain, to finance public projects and private investment. But the boom of the 1880s saw over-borrowing and overspending on building projects. Economic depression in the early 1890s saw many banks and land companies close their doors as British capital was rapidly withdrawn. The city recovered to some extent in the early twentieth century, and Melbourne underwent further development in its new role as the nation's capital. The Great Depression followed in the 1930s, which marked another period of decline. Nevertheless, during the long boom of the postwar period that followed, the bulk of Australia's leading public companies had their headquarters in Melbourne. Melbourne remained the financial centre of Australia, a role it maintained until the late twentieth century (Context 2012:41).

SITE HISTORY

The subject site is located on part of Crown Allotment 17, Block 8, offered for sale in 1839 ('Plan of Melbourne' 1838). By 1888, a one- and two-storey building were located on the subject site, and occupied by a Mr Lidstone, plumber. In 1905, the same premises were occupied by Lidstone and Slin Lee; the latter operated a laundry from one of the buildings (Fels, Lavelle and Mider 1993, Inventory no 413).

In 1920, T Gardiner and D J Pemberton & Co advertised a shop and brick building at 171 and 173 King Street, Melbourne for removal, after which a factory for J Creffield Pty Ltd was built in 1922 at a cost of £2,500 (*Age* 23 August 1920:2; MBI 3887). Prior to this, J Creffield Pty Ltd, map mounters, heliographers and contractors to the federal and state governments, operated its business from premises at 493-495 Collins Street, Melbourne (*Argus* 24 August 1916:4). J Creffield Pty Ltd was operating from their new premises at 171 King Street by January of 1923 (*Argus* 4 January 1923:3). The subject building in 1925 can be seen in Figure 1.

J Creffield Pty Ltd was the occupier of 171-173 King Street for over 60 years between 1923 and c1985 (see Figure 3) (*Age* 11 May 1985:112). J Creffield Pty Ltd commenced business as map mounters and lithographers in Melbourne in 1888 (CDP 2019). In 1919, the company occupied premises at 493 Collins Street (*Commonwealth of Australia Gazette* 4 December 1919:1815). By 1987 the firm moved its operations to West Melbourne (*Commonwealth of Australia Gazette. Purchasing and Disposals* 19 August 1987:1386).

As map makers, the company held a number of government contracts from 1919 to 1987, including for the production of maps for the Allied forces during World War One (see Figure 3) (*Argus* 24 August 1916:4; CDP 2019; *Commonwealth of Australia Gazette* 4 December 1919:1815; *Commonwealth of Australia Gazette. Purchasing and Disposals* 19 August 1987:1386).

The company was able to produce maps and plans from tracings, and sepia copies from original documents (*Argus* 23 April 1921:5). The company also produced maps and plans for education purposes, manufactured to adhere to contemporary school curricula (*Argus* 3 February 1934:4). J Creffield noted in a 1934 advertisement that the company's maps were 'specially recommended by educational authorities for use in all schools' (*Argus* 3 February 1934:4). Architect plans were also produced by the firm.

The ground floor of 171-173 King Street was occupied by the Commercial Bank of Australia for around 44 years between 1926 and c1970 (S&Mc 1926, 1940, 1970). The Commercial Bank of Australia was established in Melbourne in 1866, and by 1891, the Commercial Bank was the largest bank in the colony of Victoria (Cannon 1967:17). At the bank's height in 1893, it occupied large offices at 30 Collins Street, boasted 35,000 customers and operated more than 100 branches throughout Australia (Cannon 1967:109). However, with the depression and banking scandals of the 1890s, the bank became increasingly unstable (Cannon 1967:114). After almost closing twice in ten years, it took over 30 years for the bank to regain financial security (Cannon 1967:114). The opening of the Commercial Bank of Australia branch at the subject site in 1926 coincides with this period of renewed security for the bank.

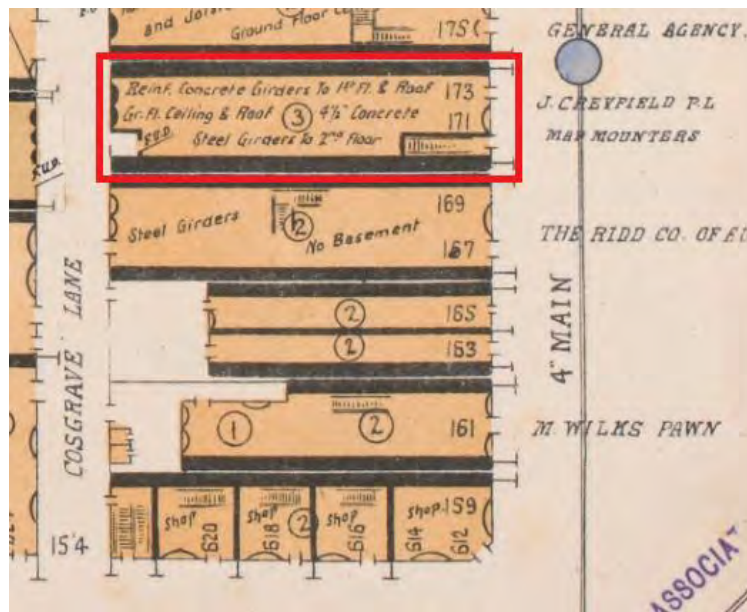


Figure 1. The site as it appeared in 1925. (Source: Mahlsted Map Section 1, no 22, 1925)

After Joseph Creffield died in 1953, his executors advertised the property at 171-173 King Street for sale. Described in a sale notice as a 'substantial three-storey brick building', in that year the ground floor was let to the Commercial Bank of Australia Ltd (addressed as 173 King Street) with J Creffield Pty Ltd occupying the top two floors (addressed as 171 King Street) (*Argus* 7 February 1953:21). This division of tenancies is indicated by the two openings to King Street as seen in Figure 1; 171 King Street was accessed by a staircase while 173 was accessed from street level (Mahlsted Map Section 1, no 22, 1925). The building sold for £14,000 in March 1953 (*Age* 4 March 1953:5).

The Commercial Bank of Australia vacated the building c1970. In 1974 the subject building was occupied solely by J Creffield Pty Ltd (S&Mc 1970, 1974), indicating the proposed sale in 1953 either

did not proceed or Creffield leased the building from the subsequent owner. The subject building was converted to offices in 1974 (CoMMaps).

Four adjoining properties at 171-183 King Street were auctioned in 1982 and purchased by Melbourne Scope Holdings Pty Ltd, a member of the Malaysian-based Garden City group of companies (*Age* 28 April 1982:26; *Age* 23 March 1983:22).

In addition to its occupation of the subject building, the firm operated a showroom in the near vicinity at 165 King Street between 1935 and c1970-74 (S&Mc 1935, 1970, 1974). The company still operates today as Creffield Digital Print, with its business primarily focused on digital printing technologies. The company operates out of West Melbourne, South Melbourne and Geelong (CDP 2019). The entire building at 171-173 King Street was advertised for lease in 1991 (*Age* 27 July 1991:69).

In 1992, the ground level was refurbished and converted into a restaurant, at a cost of \$25,000, and in 2003 the upper levels were converted to a commercial art gallery and studios (MBAI 70670; CoMMaps). The site currently houses one shop and one food outlet (CoMMaps).



Figure 2. The subject site as it appeared in 1984. 'J Creffield' can be seen in gold lettering across the front window, indicating the firm's presence. (Source: Butler 1984 [copyright](#))



Figure 3. A map of European countries during World War One produced by J Creffield Pty Ltd in 1915 (left) and a map showing Australian climatic zones also produced by J Creffield Pty Ltd, in the 1950s, during the operation in the subject building (right). (Source: CDP 2019; J Creffield Pty Ltd 1950s, 'Australian climatic zones', NLA copyright)

SITE DESCRIPTION

Located on the western side of King Street between Bourke Street and Little Bourke Street, with a rear frontage to Cosgrave Lane, 171-173 King Street, Melbourne comprises a narrow three-storey factory/warehouse building, which was constructed in 1922.

The principal elevation to King Street is of painted (originally unpainted) and partially rendered loadbearing brickwork. The principal elevation is symmetrical, comprising three vertical bays with the prominent central bay substantially wider than the two flanking bays. The style of the building is restrained, but exhibits Free Classical or Romanesque Revival style detailing, which was popular in the early twentieth century, including a strong vertical emphasis with brick columns terminating in semicircular arches constructed with three rows of brick on edge voussoirs, and set back rendered transoms at the first and second floor levels. The building also features other classical motifs such as moulded circular garlands on the spandrels to the flanking bays at the second-floor level, strongly detailed and over scaled brackets supporting a decorative moulded cornice, and a central projecting curved pediment above the low parapet.

The original timber framed windows are extant at the upper levels. The windows to the central bay comprise three sets of vertically proportioned sashes, and the top (second floor) window is in the Diocletian pattern with a semicircular head. The flanking bay windows are narrow timber frame double hung windows, also original. At street level, a contemporary aluminium framed shopfront has replaced the original windows, and the masonry columns have been clad with ceramic tiles. The timber entry door and toplight to the stair appears to be an early element.

The rear elevation to Cosgrave Lane is of plain face brickwork, with a simple horizontal parapet surmounted by what a later plant room structure. This elevation is unusual in that it mirrors in simplified form the three-bay geometry of the King Street elevation terminating in a wide arch. Most of the window openings appear to be original and retain original timber frames and glazing. Some substantial exhaust ducting, air conditioning units and machinery have been fixed to the rear wall.

INTEGRITY

171-173 King Street is highly intact with few changes visible to the original or early fabric of the building. The building retains its materials and key stylistic details, including pilasters terminating in semicircular arches, original pattern of fenestrations, moulded circular garlands, brackets supporting a

cornice with projecting pediment, recessed transoms at the first and second floor levels, and original timber framed windows. The face brickwork has been overpainted; however, this is reversible. The building also retains original built form and scale. Overall the building has high integrity.

COMPARATIVE ANALYSIS

Modestly scaled factory/warehouse buildings constructed in the early interwar period, immediately before reinforced concrete became the preferred material for warehouse construction, were typically built of loadbearing brick, with a minimum of ornamental detailing and classical influences, like their Victorian or Federation period precursors. Many of these early twentieth century buildings have been adapted to house businesses or offices with retail at ground level, resulting in changes at street level.

The following examples in Melbourne are comparable with the subject building at 171-173 King Street, Melbourne, being of a similar use, scale, location or construction date. The images and descriptions are provided by CoM Maps unless stated otherwise, with images dating from c2000 or later.

337-339 La Trobe Street, 1923-24 (HO1208)

A three-storey face brick warehouse building with classical derived detailing including bricked pilasters and a dentil cornice. It was built for stationers John Dickson & Co. Contrasting lintels topped with squared corbels make features of these wide factory windows.



Figure 4. 337-339 La Trobe Street, built in 1923-24.

Former Printcraft House, 428-432 Little Bourke Street, 1923 (Recommended as significant in the Hoddle Grid Heritage Review)

428-432 Little Bourke Street, Melbourne, formerly Printcraft House, was built in 1923 for the Melbourne firm of printers, Brown, Prior & Co, who operated their printing and bookbinding business there for more than 40 years, 1923-66. The four-storey factory/warehouse building was built to a design by architects Gawler & Drummond. In 1966 it was converted to offices.



Figure 5. 428-432 Little Bourke Street, built in 1923.

Former Veall's Building, 490-494 Elizabeth Street, 1913 & 1927 (HO1150)

Four-storey rendered brick former factory originally built as three-storey c1913. The building was altered and added with fourth level in 1927, with the ground level converted to retail (RBA 2013:D21-D22).



Figure 6. 490-494 Elizabeth Street, 1913 & 1927. (Source: RBA 2013:D21)

The 1922 brick building at 171-173 King Street is a highly intact example of an early interwar factory/warehouse building constructed in the period immediately before reinforced concrete became the preferred material for warehouse construction, replacing loadbearing brick. It exhibits some elements characteristic of the Romanesque Revival style, which was popular in the late nineteenth

century and at the turn of the century. The more restrained use of Romanesque details for the subject building reflects its later build date and interwar austerity.

As a utilitarian factory/warehouse constructed in the interwar period, it compares well to several examples in central Melbourne. These utilitarian buildings were generally built of loadbearing face brick, with more restrained decoration compared to their Victorian or Federation period precursors, but still retaining some stylistic references to classical motifs generally seen in the parapet details.

The most closely comparable examples are the three-storey building at 337-339 La Trobe Street (HO1208), originally built as a stationery factory in 1923-24, and the four-storey printing factory building at 428-432 Little Bourke Street (recommended as significant in the Hoddle Grid Heritage Review), originally built as a printing factory in 1923. The four-storey factory building (altered to its present form in 1927) at 490-494 Elizabeth Street (HO1150) shares some stylistic features, in terms of the overall configuration of three vertical bays, all terminating in Romanesque styled semicircular arches.

171-173 King Street and all three examples, built in the same period, are indicative of the industrial development during the early interwar period, stimulated by the increased demand for manufacturing premises in central Melbourne after the end of the World War One.

ASSESSMENT AGAINST CRITERIA

✓	<p>CRITERION A Importance to the course or pattern of our cultural or natural history (historical significance).</p>
	<p>CRITERION B Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).</p>
	<p>CRITERION C Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).</p>
✓	<p>CRITERION D Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).</p>
	<p>CRITERION E Importance of exhibiting particular aesthetic characteristics (aesthetic significance).</p>
	<p>CRITERION F Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)</p>
	<p>CRITERION G Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).</p>
✓	<p>CRITERION H Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).</p>

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

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PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985** D

**Central City Heritage
Study 1993** C

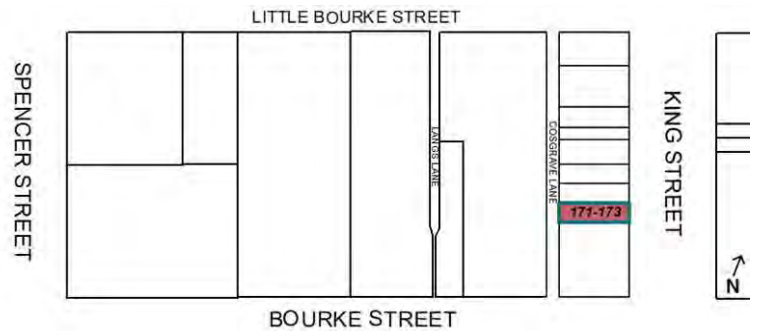
**Review of Heritage
overlay listings in the
CBD 2002** Ungraded

**Central City Heritage
Review 2011** Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Warehouse

PS ref no: HOXXXX

**What is significant?**

171-173 King Street, Melbourne, a three-storey factory/warehouse building built in 1922.

Elements that contribute to the significance of the place include (but are not limited to):

- The original building form and scale;
- The original fenestration, including brick pilasters, semicircular arches (King Street and Cosgrave Lane elevations), recessed spandrels, cornice, parapet and pattern of window openings; and
- The original timber frame windows.

Later alterations made to the street level façade, such as the aluminium framed shopfronts, are not significant.

How it is significant?

171-173 King Street, Melbourne is of local historic, representative and associative significance to the City of Melbourne.

Why it is significant?

The three-storey warehouse building at 171-173 King Street, Melbourne, constructed in 1922 for J Creffield Pty Ltd, map mounters, heliographers and printers, and occupied by that firm until c1985, is historically significant for representing key phase in Melbourne's manufacturing development: the 1920s recovery period (after the 1890s economic depression) when factory and warehouse premises were in increasing demand in the city to house the growing manufacturing industry. 171-173 King Street

demonstrates the historical concentration of businesses connected to the printing, publishing and paper goods industry in the west of the city. (Criterion A)

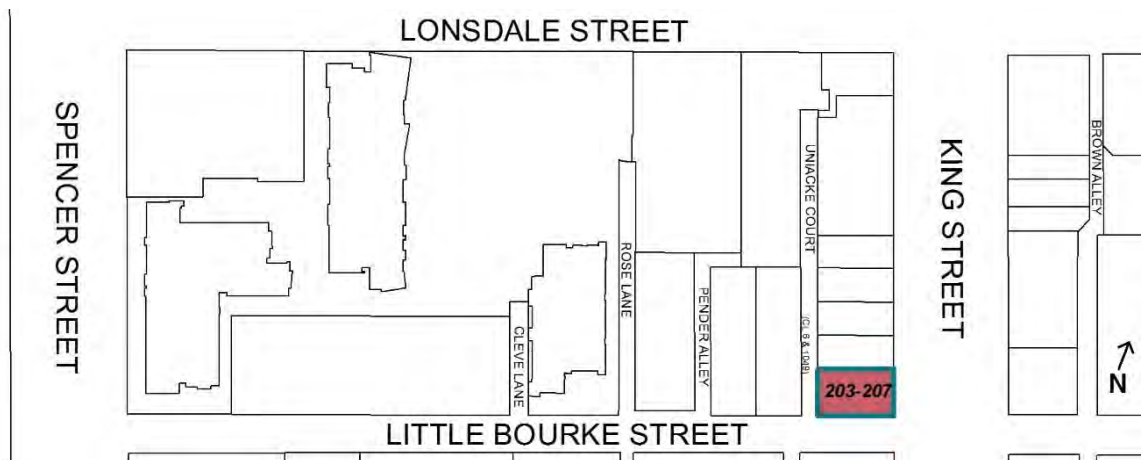
171-173 King Street is of representative significance, being a highly intact example of an early interwar period factory/warehouse building. Its restrained use of classical and Romanesque details and loadbearing brick construction demonstrate typical characteristics of the early interwar factory/warehouse building constructed in the period immediately before reinforced concrete became the preferred material for warehouse construction, replacing brick. Modestly-scaled factory/warehouses constructed during this period were typically built of loadbearing brick, with the restrained architectural detailing exhibiting classical influences. (Criterion D)

The building is significant for its long association with J Creffield Pty Ltd (1923 to c1985), a prominent firm of map mounters, heliographers and printers, established in Melbourne 35 years earlier in 1888. J Creffield Pty Ltd held a number of government contracts and produced maps for the Allied forces during World War One, as well as maps and plans for educational purposes and for architects. (Criterion H)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Former Factory
STREET ADDRESS	203-207 King Street Melbourne
PROPERTY ID	105308



SURVEY DATE: October 2018

SURVEY BY: Context

HERITAGE INVENTORY	H7822-1210	EXISTING HERITAGE OVERLAY	No
PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
		FORMER GRADE	C
DESIGNER / ARCHITECT / ARTIST:	J A B Koch	BUILDER:	James Wright
DEVELOPMENT PERIOD:	Federation/Edwardian Period (1902-c1918)	DATE OF CREATION / MAJOR CONSTRUCTION:	1912-13

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Stage 2 Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here
HISTORIC THEMES	DOMINANT SUB-THEMES
5 Building a Commercial City	5.4 Building a manufacturing capacity

LAND USE

HISTORIC LAND USE	
Archaeological block no: 17	Inventory no: 210
Character of Occupation: Commercial, Residential	
Land sale details not provided. Current building: two-storeys and basement.	
1866 Cox	Building shown on corner
1880 Panorama	Two-storey building fronting King Street
1888 Mahlstedt	One- and two-storey building, W Child, Butcher.
1905/6 Mahlstedt	One- and two-storey building, Pearson Earthenware shop.
THEMATIC MAPPING AND LAND USE	
1890s	Commercial, Residential
1920s	Manufacturing, Commercial
1960s	Manufacturing, Commercial

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

203-207 King Street is a two-storey Federation period factory building erected in 1912-13 for printer and stationery manufacturer, Thomas George Ramsay. The building was designed by noted architect J A B Koch and constructed by builder James Wright. T G Ramsay & Co occupied the building until 1935. Other long-term occupants included George Wills & Co, shipping agents, from 1950 until at least 1974; and YHA Australia from 1986 to c1999.

HISTORICAL CONTEXT

Building a commercial city

Building a manufacturing capacity

Economic historian Tony Dingle states that, for much of its history, Melbourne has been Australia's largest single centre of manufacturing (Dingle 2008).

The fringes of north and west Melbourne developed as a mixed area of residential, commercial and industrial uses. Small, sometimes substandard workers' housing was built among the factories that provided employment. Manufacturers expanded in the late nineteenth century, often absorbing the adjacent housing. The city's west end manufacturing progressively expanded north to encompass the blocks between Adderley Street and King Street (MPS:34).

As the City of Melbourne's Municipal Planning Scheme notes, 'With the local impact of Sands & McDougall at the north end of Spencer Street, a printing, publishing and paper goods district was established in West Melbourne by the end of the nineteenth century' (MPS:34).

Development slowed during the economic depression of the 1890s, only recovering with the revival of immigration in the first decades of the twentieth century.

Although affected by World War One in the period 1914-1918, by the end of the 1920s Melbourne's population had reached one million people. In the first decades of the twentieth century, the demand for residential development declined in central Melbourne as many residents moved out of the city to the suburbs, and the booming retail and manufacturing sectors rapidly took up available city properties (Marsden 2000:29-30). Multi-storey workshops, factories and warehouses, many designed by architects, increasingly took over the city centre.

Development in the city slowed with the widespread economic depression of the late 1920s and early 1930s. Because of a lack of finance over this period, instead of new construction, some city buildings were substantially remodelled to create new commercial and industrial spaces.

The printing industry in the city's west was further consolidated in the area with the opening of the Argus Building, from where the *Argus* newspaper was printed and published, on the corner of La Trobe and Elizabeth streets in 1926.

From the 1930s, like the rest of Australia, an increasing proportion of the city's workforce took up jobs in manufacturing, an industry that led Australia's recovery from the economic depression, when, the *Encyclopedia of Melbourne* notes, a

steep rise in tariffs, devaluation of the Australian pound, falling wages and electricity costs all made local producers far more competitive internationally. Textiles benefited first, then the metals industries and engineering took over as pacemakers (Dingle 2008).

After being the centre of manufacturing in Australia in the 1930s, Melbourne's importance in this regard began to decline (Context 2012:35). However, from the end of World War Two to the beginning of the 1970s, Melbourne underwent the most sustained growth in its history, mostly based on the manufacturing industry.

SITE HISTORY

The subject site is located on part of Crown Allotment 17, Block 13, offered for sale in 1839 ('Plan of Melbourne' 1838).

During the Victorian period, the area near the corner of King and Little Bourke streets was developed with Victorian-period working-class residences and retail premises. By the first decades of the twentieth century through until the 1950s, the area became associated with the printing and publishing industry, reflecting the significant growth of industry and manufacturing in Melbourne over this time. A two-storey building (likely a store) and a one-storey building (likely a residence) were in existence on the subject site by 1888. In the same year, butcher, W Child, occupied the two-storey building and by 1905, Pearson Earthenware operated from the building (Fels, Lavelle and Mider 1993, Inventory no 210).

The subject building at 203-207 King Street was constructed in 1912-13 for printer and stationery manufacturer, Thomas George Ramsay.

T G Ramsay & Co, printers, had opened premises in Chancery Lane, Melbourne in 1888 (*Age* 28 July 1888:5).

In 1893, Messrs T G Ramsay & Co, letterpress and lithographic printers and manufacturing stationers of Little Collins Street Melbourne, opened a branch office at View Point in Bendigo. By 1894, the firm had moved its Melbourne offices to 87 King Street (*Age* 24 November 1894:3). In 1910, T G Ramsay & Co commenced operations from new premises at 209-211 King Street, which comprised two-storey brick offices and a factory designed by architects Ward & Carleton (*Argus* 30 June 1909:2). New premises for the company, the subject building, were constructed in 1912-13 at 203-207 King Street. Designed by architect J A B Koch, the brick factory building at 203-207 King Street was constructed by builder James Wright (MCC registration no 3377, as cited in AAI, record no 71707).

In 1923, Ramsay Publishing Pty Ltd was registered to acquire the businesses of T G Ramsay & Co and Shipping Publishing Co Pty Ltd, both located at 203-207 King Street (*Daily Commercial News and Shipping List* 15 August 1923:13). In 1925, the two-storey building with basement was described as constructed of steel columns and girders with a galvanised iron roof. In this year it continued to house printers T G Ramsay & Co (see Figure 1) (Mahlstedt Map Section 1, no 22, 1925). By 1934, Ramsay Publishing, who published mainly books, operated from premises addressed as 197-207 King Street (*Argus* 19 April 1934:3). T G Ramsay & Co remained in the building until 1935.

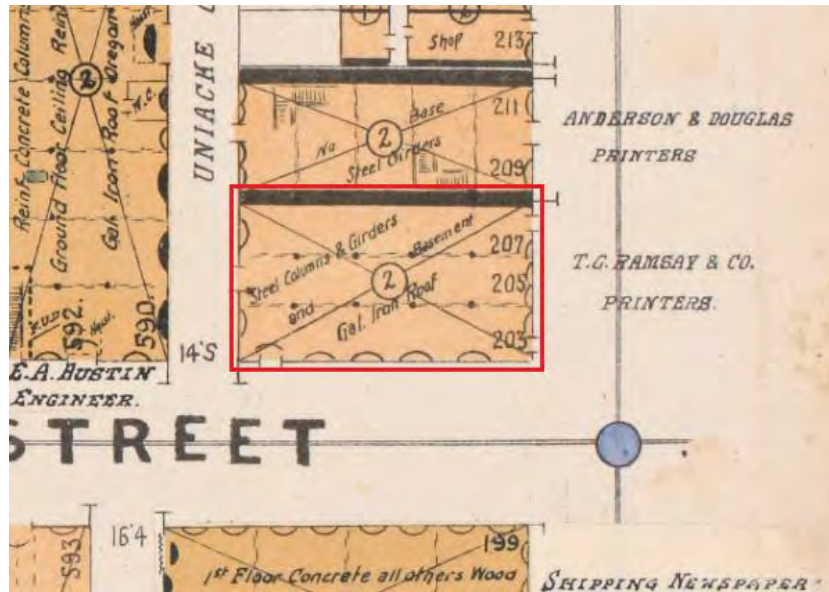


Figure 1. The site as it appeared in 1925. (Source: Mahlstedt Map Section 1, no 22, 1925)

In 1935 the building was briefly occupied by a lithographer by the name of J E Hackett (S&Mc 1935, 1938). In 1939 and 1940, the Textile Technical School Ltd operated from the building at 203-207 King Street (*Age* 27 January 1939:10; *Age* 11 September 1940:2). The building was then used by Kemp & Sheehan, who sold plumbing goods, between 1942 and 1945 (S&Mc 1942, 1945). By 1950, the subject building was occupied by George Wills & Co, shipping agents, who remained there until at least 1974 (S&Mc 1950, 1974).

English born George Wills founded G & R Wills, importers and warehousemen, in Rundle Street Adelaide in 1849, expanding from drapery supplies to include clothing and footwear. By 1922, George Wills & Co had established operations around the world, including London, Manchester, Liverpool, New York, Paris and Morocco (*Advertiser* 23 December 1922:12). To keep up with expansion in Melbourne, the company constructed a large warehouse in Flinders Lane in 1912 (*Advertiser* 23 December 1922:12). G & R Wills became a public company in 1946 *Sydney Morning Herald* 18 November 1946:6).

The subject building in unpainted brick building with signage above the entry reading 'George Wills & Co Limited' c1972 can be seen in Figure 2.

The company was taken over by Industrial Equity c1983, then sold to Southern Farmers which was taken over by Independent Holdings Ltd c1989 (SLSA 2019).

The building was put up for auction in December 1975 and occupied by a law firm named Oakley, Thompson & Co, from 1978 (*Age* 28 April 1977:49; *Age* 25 September 1984; *Age* 11 December 1975:37).

The subject building was refurbished by the Youth Hostels Association (YHA) Australia and converted to a hostel in 1986 (CoMMaps). YHA Australia is a non-for-profit and membership-based organisation that aims to provide affordable accommodation for travellers, whilst encouraging diversity and cross-cultural experiences (YHA 2019). Youth hostels originated in Germany in 1909, with an international federation of youth hostels founded in 1932. The first youth hostel in Australia opened in 1939 in Warrandyte in Victoria, and quickly spread to the other states (YHA 2019). In 1947, a national

meeting took place, which led to the formation of a national body of hostels, which was to be known as YHA. (RCM 2019).

YHA Australia operates 75 hostels that house 8,297 beds with an average of 4,400 guests per night. Over 250,000 people are members of YHA Australia, who hosts 6 million stays per year for guests from over 137 countries (RCM 2019).

YHA Australia remained at the site until at least 1998, and during its occupation the building was used as the headquarters for YHA Victoria (*Age* 29 November 1998:121). The site was sold by YHA Australia in 1999 (CT:V4722 F204).

The subject building was refurbished in 2000 and today operates as a backpacker's hostel (CoMMaps).



Figure 2. Corner Little Bourke Street and King Street, c1972, showing 203-207 King Street on the corner site. (Source: Halla c1972, SLV [copyright](#))

J A B Koch, architect

John Augustus Bernard Koch (1845-1928), architect, was born on 27 August 1845 in Hamburg (Germany), son of Johann Christian Koch, joiner. In 1855 the family migrated to Melbourne. By 1870 Koch was listed in the Melbourne directory as an architect at Richmond, having served his articles with F M White and becoming his assistant (Goad 2012:388).

Appointed architect to the City of Melbourne in 1873, Koch designed the City's hay, horses, cow and pig markets and the corn exchange. Later institutional buildings included two Richmond libraries, the German Club in Alfred Place, and projects associated with the Women's Hospital, Melbourne (of which he was honorary architect and life member) and the Castlemaine hospital. Two of his Richmond hotels, the Spread Eagle and the Prince Alfred, survive in addition to some warehouses, factories and stables (Goad 2012:388). His utilitarian structures are noted for their sound construction, firm lines and sparing use of decorative brickwork (Forge 1983).

Koch is known for his use of classical building styles in the boom period of Melbourne. His best remembered work is the Labassa mansion in Caulfield, Victoria, where he designed and oversaw the complete renovation of an earlier house at great cost (Goad 2012:388). An active community member, Koch was a councillor for Richmond and later mayor (in 1883), as well as being chairman for the local school board. He was president of the Royal Victorian Institute of Architects (RVIA), 1903-04 (Goad 2012:389).

SITE DESCRIPTION

Located at the northwest corner of the intersection of King Street and Little Bourke Street, 203-207 King Street comprises a two-storey factory/warehouse building with a basement constructed in 1912-13. The King Street and Little Bourke Street elevations are symmetrical comprising four equal vertical bays on King Street and five on Little Bourke Street. The walls are painted (originally unpainted) loadbearing face brickwork. The Federation period warehouse has a restrained design, featuring some elements influenced by Romanesque architecture, including a strong vertical emphasis with brick pilasters featuring curved corners to the reveals, terminating in semicircular arches with four rows of brick on edge voussoirs. The King Street elevation features Art Nouveau style decorated capitals to the brick pilasters at the spring point of the first-floor arches, but these are not present on the Little Bourke Street elevation, indicating a secondary frontage. There are simple recessed spandrels between the pilasters at the first-floor level with a projecting sill below each window opening. The building terminates in a substantial cornice supported on modillions with a simple low brick parapet. Behind the parapet, the roof is pitched and clad in corrugated steel, with a gambrel form at the eastern end.

The original timber frame windows appear to be substantially extant at first floor level, comprising a triple-bay Diocletian pattern. At the ground level, some of the mullions have been removed to create larger shopfront windows although the openings remain unaltered. The ground floor is raised above the street, and is accessed through a doorway on the Little Bourke Street elevation. On both frontages, there are low windows with security bars to allow daylight to enter the basement below the ground floor. The building does not have an awning.

The rear (Uniacke Court) lane elevation is of unpainted loadbearing face brickwork with rendered concrete lintels over the door and window openings, and a simple triangular parapet with roof vent. A face brick chimney with corbelled top rises above the parapet. Most of the window openings appear to be original and retain a mixture of timber and (possibly later) steel framed glazing. Some large exhaust ducting, air conditioning units and machinery have been fixed to the rear wall.

INTEGRITY

203-207 King Street is substantially intact with only some minor changes visible to original or early fabric. The building retains its original built form, scale and configuration including pilasters, semicircular arches arch tops, Art Nouveau style decorated capitals, cornice supported on modillions and parapets. It retains its original pattern of openings and timber windows, although some of the steel framed windows on the rear (Uniacke Court) elevation may have replaced earlier windows. At street level, the building retains its original refined configuration of masonry and openings. Alterations include the overpainting of the brickwork (which is reversible) and creation of larger windows by the removal of mullions at street level. Overall the building is of high integrity.

COMPARATIVE ANALYSIS

Modestly scaled factory/ warehouses constructed during the Edwardian/Federation period were an important phase of development in central Melbourne, especially during the late nineteenth and early twentieth centuries. These buildings are typically built of loadbearing face brick, with minimum ornamental detail that, where present, generally references back to classical architecture. Many of these buildings are no longer operating in their original industrial or manufacturing role, often adapted to house businesses or offices with retail at ground level, resulting in substantial changes at street level.

The following examples are comparable with the subject building at 203-207 King Street, being of a similar use, scale, location or construction date. The images and descriptions are provided by CoM Maps unless stated otherwise, with images dating from c2000 or later.

103-105 Lonsdale Street, 1908 (Significant in HO507 Little Bourke Street Precinct)

Former warehouse/factory originally of three storeys. Designed in the Romanesque Revival style and built by J J Oliver in 1908. Now an office building with ground level retail it was refurbished and subdivided in 2008 with the addition of two extra storeys and an accessible rooftop.



Figure 3. 103-105 Lonsdale Street, built in 1908.

217 Queen Street, 1907 (HO1071)

A three-storey brick building with ground level retail and upper level offices. Formerly a warehouse and factory. It was designed by Gibbs & Finlay in the American Romanesque style and built by James SG Wright in 1907. It features particularly good Art Nouveau ornamentation.



Figure 4. 217 Queen Street, built in 1907

612-620 Lonsdale Street, 1911 (HO722)

Two-storey brick and bluestone building built in 1911 and demolished in mid-2014 with the 1911 heritage façade retained.



Figure 5. 612-620 Lonsdale Street, built in 1911. (Source: Gogle 2019)

The two-storey building at 203-207 King Street is a largely intact example of an early twentieth century factory/warehouse building, utilitarian and functional yet refined in its design, of which there are several surviving examples within central Melbourne (often adapted to house new uses). These buildings were generally built of load-bearing face brick, with restrained decoration compared to their Victorian period precursors, but with some earlier stylistic references.

203-207 King Street is comparable with a number of other HO listed examples of the type, including 103 Lonsdale Street (HO507) and 217 Queen Street (HO1071) where the vertical proportions of the brick pilasters terminating with semicircular arches demonstrate the Romanesque influences often found in Federation period warehouses. It is particularly comparable with 103 Lonsdale Street, (HO507) being relatively austere in its use of applied decoration, especially when compared to 217 Queen Street (HO1071). It is also comparable to 612-620 Lonsdale Street (HO722), although this latter building has a more elaborate parapet.

Unlike most of the other examples, the original brickwork of the subject building has been overpainted, however this change is reversible.

ASSESSMENT AGAINST CRITERIA

✓	<p>CRITERION A Importance to the course or pattern of our cultural or natural history (historical significance).</p>
	<p>CRITERION B Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).</p>
	<p>CRITERION C Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).</p>
✓	<p>CRITERION D Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).</p>
	<p>CRITERION E Importance of exhibiting particular aesthetic characteristics (aesthetic significance).</p>
	<p>CRITERION F Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)</p>
	<p>CRITERION G Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).</p>
	<p>CRITERION H Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).</p>

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

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PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985** D

**Central City Heritage
Study 1993** C

**Review of Heritage
overlay listings in the
CBD 2002** Ungraded

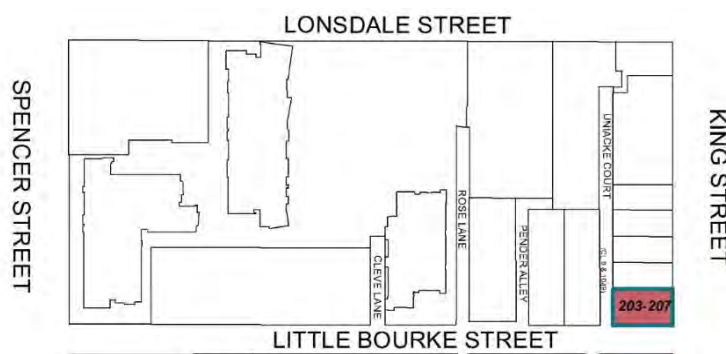
**Central City Heritage
Review 2011** Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Former Factory



PS ref no: HOXXXX



What is significant?

203-207 King Street, Melbourne, a two-storey factory/ warehouse building built in 1912-13.

Elements that contribute to the significance of the place include (but are not limited to):

- The original building form and scale;
- The original fenestration, including brick pilasters (some with Art Nouveau capitals), semicircular arches, recessed spandrels, cornice, parapet and pattern of window openings; and
- The original timber frame windows.

Later alterations made to the street level facades are not significant.

How it is significant?

203-207 King Street, Melbourne, is of local historic and representative significance to the City of Melbourne.

Why it is significant?

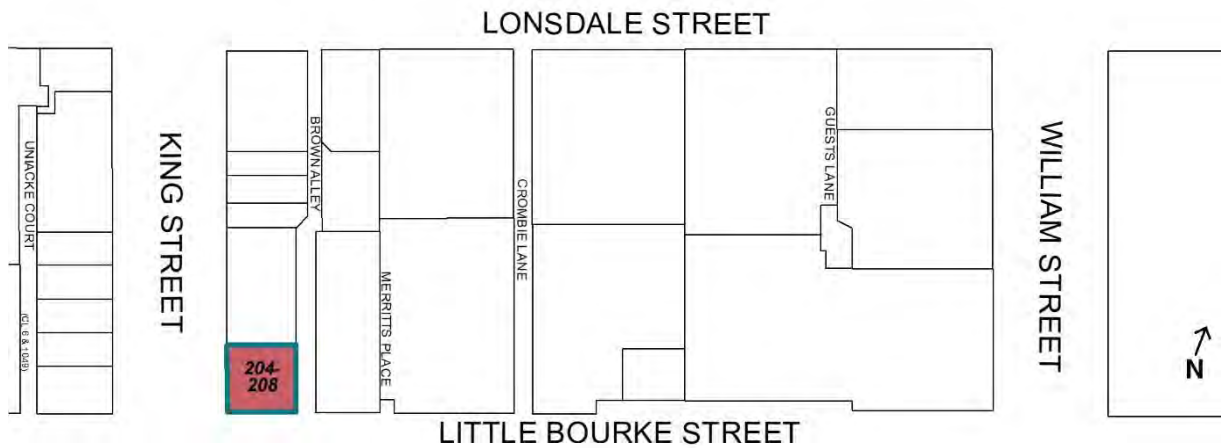
The two-storey factory building at 203-207 King Street is historically significant for the evidence it provides of a key phase in Melbourne's manufacturing history during the first decades of the twentieth century when most residents moved out of the city to the suburbs, and the retail and manufacturing sectors rapidly took up city properties. Multi-storey workshops, factories and warehouses, many designed by architects, were increasingly established in the city centre. The factory building at 203-207 King Street was constructed in 1912-13 to a design by notable architect J A B Koch. Constructed for printer and stationery manufacturer, Thomas George Ramsay, it is also significant as it is indicative of the historical concentration of businesses connected to the printing, publishing and paper goods industry in the west of the city. Ramsay's business, named T G Ramsay & Co, was associated with the Ramsay family, Melbourne printers and publishers since 1888. T G Ramsay & Co occupied the building for 22 years, until 1935. (Criterion A)

203-207 King Street is significant as a largely intact example of a two-storey Federation period factory/warehouse building featuring some elements influenced by Romanesque architecture. It is one of several such buildings that survive from the period, which are generally low scale and use simple construction of loadbearing face brick walls with either a steel post and beam or reinforced concrete internal structure. It retains its original form and scale, and exhibits key characteristics of its type and style, such as brick pilasters (some with Art Nouveau capitals) terminating in semicircular arches, recessed spandrels, cornice, parapet and pattern of window openings and, at first floor level, timber-framed Diocletian pattern windows. The significance is enhanced by retention at street level of the original refined configuration of masonry and openings. Despite the overpainting, the original form and detailing of the building remain clearly legible. (Criterion D)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Great Western Hotel
STREET ADDRESS	204-208 King Street Melbourne
PROPERTY ID	105384



SURVEY DATE: March 2019

SURVEY BY: Context

HERITAGE INVENTORY	H7822-1223	EXISTING HERITAGE OVERLAY	No
PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
DESIGNER / ARCHITECT / ARTIST:	Not known	FORMER GRADE	C
DEVELOPMENT PERIOD:	Victorian Period (1851-1901)	BUILDER:	Not known
		DATE OF CREATION / MAJOR CONSTRUCTION:	1864

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here.
HISTORIC THEMES	DOMINANT SUB-THEMES
13 Enjoying the city	13.6 Eating and drinking

LAND USE

HISTORIC LAND USE	
Archaeological block no: 18	Inventory no: 223
Character of Occupation: Commercial, Residential	
Land sale details not provided.	
1866 Cox	Building on King street frontage
1880 Panorama	
1888 Mahlstedt	Two & one-storey buildings, J O'Brien "Star of the West" hotel
1905/6 Mahlstedt	Two & one-storey buildings, "Great Western Hotel"
THEMATIC MAPPING AND LAND USE	
1890s	Hotel and lodging
1920s	Hotel and lodging, pubs
1960s	Pubs

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

The former Great Western Hotel at 204-208 King Street is a two-storey early Victorian hotel building. Built in 1864 on a prominent corner site, and extended in the 1920s, the former Great Western Hotel operated as a hotel for 153 years, from 1864 until 2017.

HISTORICAL CONTEXT

Enjoying the city

Eating and drinking

Alcohol was a mainstay of a frontier colonial town. During the early period of settlement, many people resorted to alcoholic beverages rather than drink the city's unpalatable and contaminated water. Hotels were abundant in Melbourne; in working-class areas, such as Carlton, there was virtually one on every corner. One of Melbourne city's first permanent buildings was Fawkner's hotel established in 1836 on the corner of William Street and Flinders Lane (Context 2012: 98).

A weakness for drink was considered by many in the Victorian era as a human failing; self-improvement and moral fortitude were the values to strive for. The consumption of hard liquor generally went hand-in-hand with gambling and with Melbourne's lively night life. Social problems associated with drunkenness in late nineteenth-century Melbourne made alcohol a chief cause for steps towards social reform, resulting in the establishment of the powerful temperance movement and local abstinence societies (Context 2012: 90, 98).

Hotels responded to the changing times and circumstances. In the early 1900s, falling hotel standards and pressure from the temperance movement prompted the state government to reduce the number of liquor licenses. From 1907 the Licences' Reduction Board reduced the number of hotels in all districts to 1885 statutory levels. Many hotel buildings were subsequently demolished or adapted to different uses; other hotel owners upgraded and refurbished their buildings from this period through to the 1920s and 1930s in order to meet the new licensing conditions that were contingent on the provision of adequate accommodation and other facilities (Dunstan 2008).

The 'early closing' of hotels at 6.00pm, an effort to curb drunkenness by restrictive legislation, caused other anti-social behaviour, and was overturned in 1966 (Context 2012:98). Of the approximate 100 hotels in existence in central Melbourne in the 1920s, only approximately 45 hotels remained by the 1960s. In 2018, only approximately 12 hotels in central Melbourne retained their historic use and form (CoM 2018).

SITE HISTORY

The land comprising 204-208 King Street, Melbourne forms part of Crown Allotment 19, Block 18, first purchased by Alexander Davidson of Sydney for £117.0s.16p in 1838 (CoMMaps; 'Plan of Melbourne' 1838; DCSLV 1839).

The subject building, a two-storey brick corner hotel with bluestone quoining, was built in 1864 for P J Martin, esquire (CoMMaps; *Argus* 21 October 1868:3; S&Mc 1864). Opening by December 1864, it operated continuously as a hotel for over 150 years, firstly as the Star of the West Hotel from 1864 until 1892, and then as the Great Western Hotel from 1892 until its closure in 2017 (S&Mc 1865, 1892; *Argus* 20 December 1864:8). Established in 1864, the subject building continuously served as a pub for over 150 years until its recent closure in 2017.

The Star of the West Hotel, addressed as 172 King Street in the 1860s, originally comprised two narrow rectangular built forms (on allotments 204-206 King Street), each with a single entrance and window and separated internally by a party wall, with an attached outbuilding on the southern elevation (see Figure 1 and Figure 2). In 1868 tenders were called for the hotel to be painted (*Argus* 21 October 1868:3).

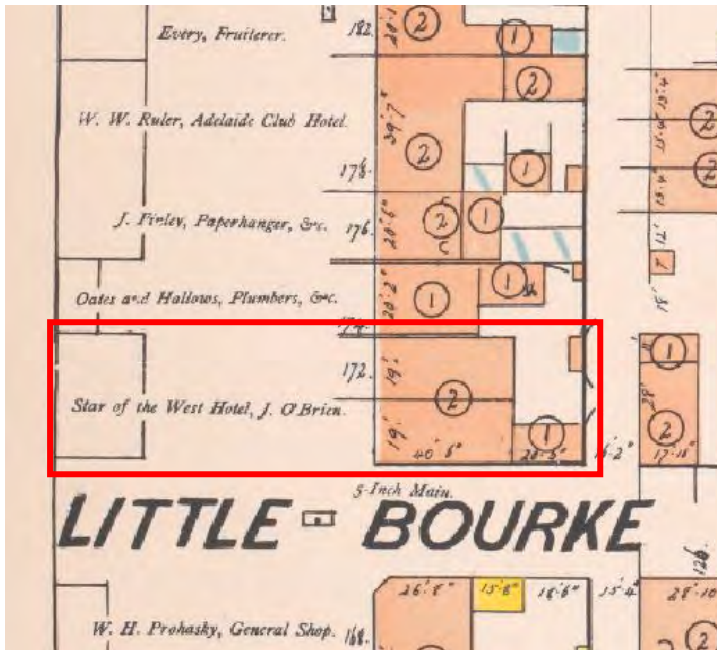


Figure 1. Extract from Mahlstedt fire survey plan showing the original Star of the West Hotel (later Great Western Hotel) building footprint. (Source: Mahlstedt Map no 18, 1888, SLV)



Figure 2. Extract from 1882 engraving of Melbourne, showing the subject building prior to the extension in 1920. (Source: Cooke 1882, SLV)

During the early years, the publican of the hotel changed frequently between 1864-1885, with no single victualler remaining longer than a few years (S&Mc 1870-1890). The first licensee was Thomas Lowrey, followed by John McDonald, who took over as licensee for the subsequent two years (S&Mc 1868). Several inquests were held at the premises in the 1870s, demonstrating that the Hotel had a civic function in early Melbourne (*Age* 18 June 1874:3).

It seems that the Star of the West Hotel also had a reputation for accommodating roguish behaviour; in 1871 then proprietor William Ryan was fined for permitting drunken and disorderly persons to be in his hotel; in 1875 proprietor Bernard O'Hagan was fined for illegally selling liquor on a Sunday; and in 1877 proprietor and landlord Michael Tierney was found guilty of manslaughter of a patron (*Leader* 14 January 1871:23; *Age* March 1875:2; *Argus* 13 January 1877:13). Publicans of the Star of the West

Hotel continued to be fined throughout the 1880s for breaching liquor licensing laws (*Age* 13 July 1888:9; *Melbourne Punch* 10 December 1885:1; *Argus* 17 May 1882:10).

Sydney H Wilson, architect, invited tenders for alterations, general repairs and painting to be carried out to the Star of the West Hotel in 1889 (*Age* 16 October 1889:9). These works were minor repairs and surface treatments as no changes to the building footprint are recorded on the 1895 Melbourne Metropolitan Board of Works Detail Plan (MMBW Detail Plan no 737, 1895). The Star of the West Hotel was renamed the Great Western Hotel by 1892 (S&Mc 1892). Located near Spencer Street Railway Station (now Southern Cross Station), the hotel targeted its advertising towards families and country visitors, offering accommodation, food and drink (*Age* 8 December 1890:3; *Age* 8 December 1890:3).

Thomas Tanner took over the establishment's licence in 1894, and remained the licensee until 1920 (*Age* 26 July 1894:7). A tender was invited for tuck-pointing services for the Great Western Hotel in 1904 (*Age* 11 October 1904:9). After Thomas' death in 1909 his wife Catherine Tanner continued to operate the Great Western Hotel until her death in 1920 (*Argus* 6 September 1920:1)

Thomas Uren was registered as the licensed victualler of the Great Western Hotel in late 1920 (*Argus* 16 October 1920:13). During the proprietorship of Uren, the premises were substantially extended, when 'additions to hotel' were carried out at a cost of £2250, presumably in order to meet new liquor licensing requirements for provision of adequate accommodation and other facilities (MBAI 3079). The two buildings were joined internally by a single opening (see Figure 3) (S&Mc 1905-1920; *Geelong Advertiser* 5 September 1925:5; MBAI). Architect Ernest J Keogh oversaw the 1920 alterations and additions to the Great Western Hotel (*Argus* 20 November 1920:25; MBAI). Uren lived at the hotel with his wife, Elizabeth Uren, until his death in 1922 when the licence was transferred to Elizabeth (*Herald* 25 July 1922:16). Elizabeth Uren transferred the licence of the hotel to John H Gunch in 1938 (*Argus* 5 July 1938:4). After World War Two the hotel management prioritised the employment of returned soldiers (*Age* 1 June 1949:12). W McClure and V H Coleman were registered as directors of the Great Western Hotel in 1947 and subsequently reconfigured the interior as three main sections: bar, dining and saloon (see Figure 4) (*Age* 24 April 1947:8).

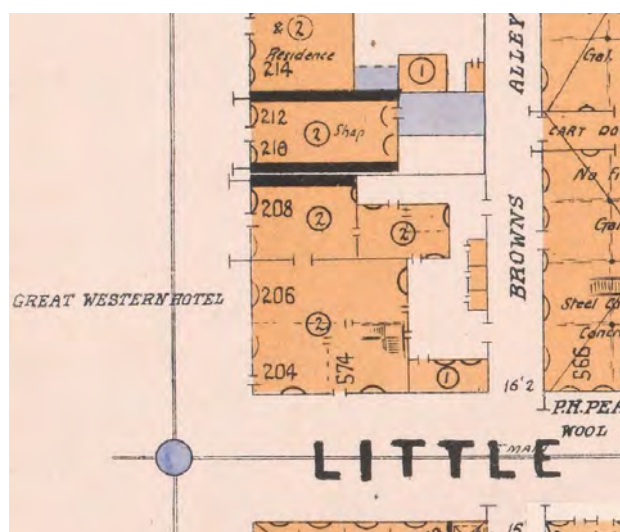


Figure 3. Extract from fire survey plan showing the later, northern addition. (Source: Mahlstedt Map section 1 no 19, 1925, SLV)

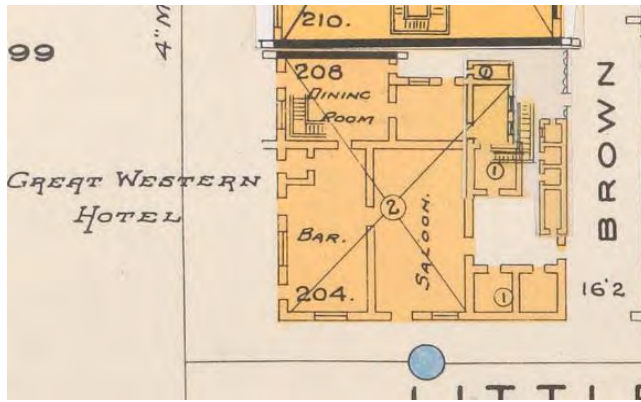


Figure 4. Extract from fire survey plan showing internal layout and reconfiguration. (Source: Mahlstedt Map section 1 no 19, 1948)

The façade of the two-storey addition at 208 King Street replicated in style, materials and window proportions the original 1864 building design at 204–206 King Street, as shown in the cover image and Figure 5. A bathroom was added to the original building in 1928 (MBAI) and in 1938 Robert H McIntyre, architect, invited tenders for alterations and additions to the hotel (*Age* 1 October 1938:5; MBAI).

In the latter decades of the twentieth century the hotel was known as a venue offering affordable food, including ‘legendary dim sim bolognaise’ and \$2 a head pub meals in the 1970s (*Age* 31 May 1991:2; *Age* 22 July 1975:17). The building was numbered 204–210 in 1974 (S&Mc 1974). The Great Western Hotel does not appear to have had any major alterations or additions made since 1972 (see Figure 5). An article published in the *Age* in 1975 describes the décor of the hotel as ‘Victorian Railways Waiting Room 1940s’, suggesting that the interior in the 1970s had not been significantly altered from McIntyre’s works of 1938 (*Age* 22 July 1975:17).

The Great Western Hotel was closed in March 2017. A newspaper article in the same year stated that the ‘pub has been a long-term haunt for barristers and solicitors from the nearby court district, and journalists covering courts and crime’ (*Age* 25 January 2017). Approval for partial demolition of the building and construction of a 26-storey tower was granted in 2017 (*Age* 25 January 2017).



Figure 5. The Great Western Hotel in 1972. Note the ground floor level pattern of fenestration remains unchanged today. (Source: Halla 1972, SLV copyright)

COMMUNITY CONNECTIONS

A traditional pub

The Star of the West, later the Great Western Hotel, has served as a traditional hotel through its 153-year history, providing accommodation, meals and alcohol to a changing clientele. Changes in clientele most likely reflected the changing nature of this part of the city, and the uses and activities nearby. Even city pubs served a local – often workplace-based – clientele. Located close to the railway and port section of the city, the hotel advertised accommodation for country visitors in the 1890s, presumably taking advantage of its location near Spencer Street Station (now Southern Cross Station), the main terminus for country trains through to today.

During the twentieth century, the Great Western Hotel followed many of the trends used by hotels to survive lean times. In the 1976 for example, it became one of two city hotels – both in King Street – to propose cut-price drinks as part of a weekly “happy hour”, but a bomb threat to both venues, perhaps by a competitor quickly ended this initiative (*Age* 1 April 1976; 2 April 1976). Cheap food was another strategy used by the licensee of the Great Western Hotel to attract clientele. Peter Smark, a highly regarded journalist, started writing independent reviews of Melbourne restaurants for *The Age* in the 1970s, and his work is regarded as setting the standard for Australian newspaper food criticism (*Sydney Morning Herald* 23 June 2000). For example, Smark produced the first edition of *Eating out in Melbourne* in 1977, a forerunner to the Good Food Guide. Smark’s 1975 review of several inner Melbourne pubs comments positively on the food, described as ‘competent and ordinary but at that price (\$2) it’s remarkable’. Cheap meals continued to be a feature of the Great Western right through to its closure in 2017. The 1970s and 80s saw the development of a vibrant pub music scene in Melbourne and the Great Western Hotel followed that trend, advertising live bands and DJs in the weekly EG (Entertainment Guide) in *The Age* in the 1980s and 90s. Other activities held in the hotel included gatherings after the annual ANZAC Day march, and reunions including one for the VICRAIL

Claims Office reunion in 2012, one of many reunions and retirement send-offs held here for railwaymen (Wurr 2017).

By the 2000s, the Great Western Hotel was mainly known for its old-fashioned pub style, regarded as unchanged perhaps since the 1970s or 60s, with its 'bare simplicity', minimal beer-on-tap options and 'a long, beer-mat-covered wooden bar that services two spotless rooms and nondescript patterned carpet dotted with simple two-level tables and bar stools' (Age 9 June 2013). The meals remained cheap and the clientele were 'city workers, footy-heads and folks taken to nostalgia' (Age 9 June 2013). Frank and Shirley Welsford, licensees from the 1990s drew on their experience in running country pubs; they reinforced traditional service, welcoming regulars by their first name, retaining the beer on tap tradition, and not succumbing to trends such as bottled beer over the counter (Wurr 2017). Regulars during this period ranged from public servants to railwaymen; the lunch trade was strong (Vaughn Moore, pers. comm.).

The Great Western was also regarded as a 'long-term haunt (for barristers and solicitors from the nearby court district, as well as journalists covering courts and the crime beat'. Neville Bowler, Walkley Award winning Age photographer frequented the Great Western; his colleague Peter Cox recorded in Bowler's obituary that 'Neville's charm, good humour and ability to tell a good story made him a most popular drinking partner when the usual cleansing ale was consumed at The Great Western Hotel. So popular that a direct phone line was installed from the Age picture desk to the pub' (Age 16 June 2015).

Modernisation of many city hotels, with new facades and interiors, meant that hotels like the Great Western Hotel were sought out by those who liked its traditional, 'old-fashioned' style, decor and the simplicity of its offering. City and Country Hotels Architectural Appreciation Society (CCHAAPS), an informal group of people who enjoy traditional pubs, visited the Great Western Hotel on a number of occasions, regarding its traditional 'country pub' style – one of the last examples in the CBD – as an attraction (Paul Nicholson and Chris Wurr, pers. comm.). Its regular clientele marked the closure of the Great Western Hotel with numerous gatherings for 'last drinks', and a souvenir stubby holder featuring a sketch of the hotel (drawn by a CCHAAPS member) was produced (Chris Wurr, pers. comm.).

SITE DESCRIPTION

Located on the north-eastern corner of King Street and Little Bourke Street, and abutted by Brown Alley at the rear, the former Great Western Hotel at 204-208 King Street, Melbourne is a two-storey early Victorian hotel building. The original 1864 built form comprised two sections, with a third module, dating from the early 1920s, added to the north of the building. The addition has been executed in a manner to appear visually coherent and uniform with the original design, using the same materials and detailing, and it is likely that the 1864 face brick walls were rendered and painted to blend with the 1920s addition at this time.

The principal façade to King Street is of dark painted render over loadbearing brickwork with bluestone quoining framing the first level windows and corners of the building. It comprises three main bays, with the original two bays adjacent to the Little Bourke Street corner being of a consistent width, while the northern addition is similar but slightly wider. At the street level, simple rectangular pilasters with Doric capitals terminate in a moulded cornice at the first-floor level. At the first floor level there are ten window openings; comprising six vertically proportioned window openings on the King Street frontage and four on the Little Bourke Street frontage. The windows are arranged in pairs, located

centrally within each section. The window openings within the original bays feature painted smooth face bluestone quoins, as does the corner of the building at Little Bourke Street. The quoins to the northern 1920s addition are scribed and painted, imitating the original bluestone. The quoins that originally formed the northern corner of the original building are still visible in the painted render finish. At the roof level there is a moulded cornice, a narrow, partially intact stringcourse sitting underneath the cornice and a simple low parapet, which conceals three linear hipped roof forms. On the corner, there is a raised section above the parapet that appears to be of steel profile sheeting. The windows appear to be early or original double hung timber framed windows.

On the minor frontage to Little Bourke Street, the façade comprises simple flush painted render with no cornice, but is otherwise similar to the principal façade with four equally spaced vertically proportioned window openings and bluestone quoins on the first floor level, although in this case the stone is rough face. At the rear elevation to Brown Alley, the southernmost module has a single-storey wing, and there is a two-storey wing to the northern addition, both of simple painted loadbearing brick.

The architectural features of the façade are generally representative of the Victorian Regency/Italianate styles, albeit quite a restrained and rustic version with minimal decoration or design sophistication.

At the street level, the rendered brick walls sit on a bluestone plinth. Along the King and Little Bourke street frontages, the façades are punctuated by an irregular pattern of timber frame windows and doors. It is likely that these replaced the original openings, and probably date from the 1920s alterations and were certainly in place by 1972 (see Figure 5), although the main doorway entrance on King Street retains its bluestone threshold.

INTEGRITY

The former Great Western Hotel at 204-208 King Street, Melbourne is largely intact. The original building remains legible, to its 1864 alongside the northern bay addition in the 1920s. The 1920s modifications appear to have included the rendering and painting of the original face brickwork to facilitate the blending of the addition with the original building.

Notwithstanding the alterations carried out in the 1920s, the 1864 hotel remains legible, and retains much of its original detail, namely its bluestone quoining, street level pilasters, cornices, pattern of openings and early or original window timber frames. Although the pattern of fenestration at the street level has been altered, and the window and door joinery has been replaced, it retains a substantial amount of solid masonry rather than having been replaced with contemporary aluminium shopfronts.

Alterations to the original 1864 building include rendering and overpainting to both the King and Little Bourke street façades, the addition of the raised section of steel profile sheeting above the parapet, and the changes to the façade at street level. The legibility of the original 1864 building has not been diminished by the construction of the 1920s addition. The 1920s addition was associated with the continued operation of the hotel and, constructed as a 'seamless' extension of the original it is not considered to have adversely affected the integrity of the place as a whole. Overall, the building is of moderate to high integrity.

COMPARATIVE ANALYSIS

The former Great Western Hotel at 204-208 King Street, Melbourne, originally constructed in 1864 and extended during the 1920s, is a substantial two-storey hotel building on a prominent corner site.

Hotels are a building typology in decline in the City of Melbourne. Examples date from the early years of the establishment of Melbourne as a city through until the present. Some hotels occupied corner sites, while others were located mid-block. It is estimated that over one hundred hotels were operating in the Hoddle Grid Heritage Review study area in the 1920s, with this number dropping to about forty-five in the 1960s. Today it is estimated that there are twelve traditional hotels still operating in the city centre with approximately a further fifteen hotel buildings remaining but not in use as hotels. These numbers indicate that hotels are a declining building type and use within central Melbourne (Context 2018:1103).

A number of nineteenth century hotels were re-built or substantially altered during the 1920s and 1930s in response to requirements of the Liquor Licencing Board. This often included the incorporation of residential accommodation, often to the upper level, and improved amenities.

The subject building at 204-208 King Street is an example of a purpose built early Victorian hotel building, an increasingly rare typology in the City of Melbourne, that operated continuously from 1864 until its closure in 2017. It can be compared with the following examples, drawn chiefly from the *Central City Heritage Review 2011* and other earlier studies, being of a similar original use, scale, style and construction date. The images are provided by CoMMaps unless stated otherwise.

Metropolitan Hotel, 263-267 William Street, 1925 (Interim HO1231 Recommended as significant in the Hoddle Grid Heritage Review)

The site has been continually operating as a corner hotel site since 1854. The existing building was built in 1925 to replace an earlier hotel dating from 1854. It is a modest hotel building with simple neo-classical styling, typical of many hotels of the period. Windows to both ground and first floor levels and ground floor entry have been altered.



Figure 6. 263-267 William Street, built in 1925.

Duke of Wellington Hotel, 142-148 Flinders Street, 1850 (VHR H1175; HO652,)

The corner section of the Duke of Wellington Hotel was originally built as a stone house for Timothy Lane, in 1850. It was licensed as a hotel in 1853. It is the oldest hotel still operating in Melbourne.



Figure 7. 142-148 Flinders Street, built in 1850.

Imperial Hotel, 2-8 Bourke Street, 1857 &1863 (HO524, Significant in HO500 Bourke Hill Precinct)

Two storey brick and bluestone hotel. Designed in the Renaissance Revival style the first level was built in 1857 and the second storey was added in 1863.



Figure 8. 2-8 Bourke Street, originally built in 1857.

The former Great Western Hotel at 204-208 King Street is a substantial purpose-built early Victorian two-storey hotel building on a prominent corner site, which operated as a hotel for 153 years, from 1864 until 2017. Extended and modified in the 1920s, the original 1864 hotel building remains legible and much of its original detail, namely its bluestone quoining, street level pilasters, cornices has been retained.

Unlike the Metropolitan Hotel at 263-267 William Street, where the windows at ground and first levels have been altered, the former Great Western Hotel retains its original pattern of openings and early or original window timber frames, and other original detail such as its bluestone quoining, street level pilasters, and cornices.

In terms of original and ongoing use, scale, style and construction date, the building is comparable with the Metropolitan Hotel (Interim HO1231), the Duke of Wellington Hotel (HO652) and the Imperial hotel (HO524). The site of the Metropolitan Hotel was in use as a hotel from 1854 although the

original building was replaced in the 1920s. Licensed as a hotel in 1853, the Duke of Wellington Hotel remains the oldest hotel still operating in Melbourne. Unlike the former Great Western Hotel which closed in 2017, the Metropolitan, the Duke of Wellington and the Imperial continue to operate as hotels. The former Great Western Hotel is however notable for its relatively early construction date within the central city.

ASSESSMENT AGAINST CRITERIA

✓ **CRITERION A**
Importance to the course or pattern of our cultural or natural history (historical significance).

CRITERION B
Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).

CRITERION C
Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).

✓ **CRITERION D**
Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).

CRITERION E
Importance of exhibiting particular aesthetic characteristics (aesthetic significance).

CRITERION F
Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)

✓ **CRITERION G**
Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).

CRITERION H
Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Melbourne Planning Scheme:

MELBOURNE PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES (Which are not exempt under Clause 43.01-3)	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A

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Wurr, Chris 2017 'Vales the Great Western', *CCHAAPS Chatter*, (City and Country Hotels Architectural Appreciation & Preservation Society), Issue 50, March 2017.

PREVIOUS STUDIES

**Central Activities District
Conservation Study 1985** D

**Central City Heritage
Study 1993** C

**Review of Heritage
overlay listings in the
CBD 2002** Ungraded

**Central City Heritage
Review 2011** Ungraded

STATEMENT OF SIGNIFICANCE

Heritage Place: Great Western Hotel

PS ref no: HOXXXX



What is significant?

The two-storey hotel building at 204-208 King Street, Melbourne, built in 1864 and extended in c1920.

Elements that contribute to the significance of the place include (but are not limited to):

- The original building form and scale
- The c1920s addition
- The original loadbearing brick walls (later rendered and painted) and pattern of fenestration including pilasters, corner quoins, cornices and parapet, window openings with quoins and projecting sills and rear wings to Brown Alley; and
- The original or early double hung timber frame windows.

Later alterations made to the street level facades and the steel profile sheeting above the parapet are not significant.

How it is significant?

204-208 King Street is of local historic, representative and social significance to the City of Melbourne.

Why it is significant?

The former Great Western Hotel is historically significant as a substantial early-Victorian purpose-built hotel in Melbourne. It operated continuously as a hotel for 153 years, from 1864 to 2017, initially under the name the Star of the West Hotel, and from 1892 to 2017 as the Great Western Hotel. Additions in the c1920s were associated with and provide evidence of the continued operation of the hotel under new liquor licensing requirements that required provision of adequate accommodation and other facilities. (Criterion A)

The former Great Western Hotel at 204-208 King Street is significant as a largely intact example of a substantial early Victorian hotel building on a prominent corner site. The building façades retain characteristic architectural features of the Victorian Italianate style, albeit in a restrained and rustic manner with minimal decoration or design sophistication. Extended and modified in the 1920s, the addition replicated the building's original form and detail to create a 'seamless' extension to the north along King Street, while the original building remains legible. The former Great Western Hotel is

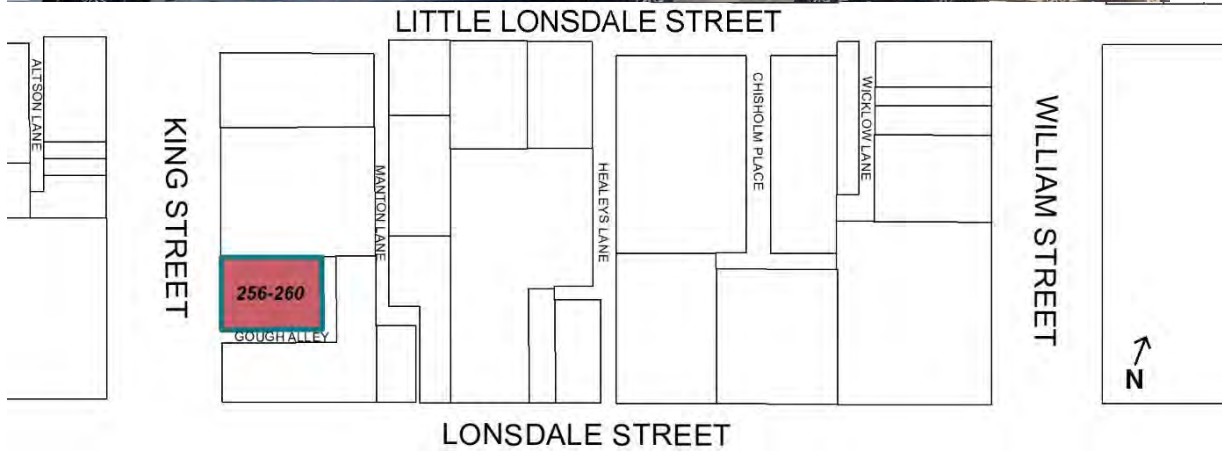
comparable with other examples of HO listed hotels in central Melbourne with similarly early construction dates and long history of use as a hotel. (Criterion D)

The former Great Western Hotel is of social significance for its long connections with the city, serving as a social meeting place for a diverse clientele for more than 150 years. For city workers, and the legal and media fraternity, the Great Western Hotel served as a place to meet, socialise and share stories. Regarded as 'old-fashioned', it attracted a clientele seeking the simple traditional pub-style – a bar, good beer, and simple, modestly-priced food. Closure of the hotel in October 2017 was marked by many regulars with farewell visits and online posts expressing a strong sense of connection to the hotel and an appreciation of its ambience, offering a traditional pub style then rare amongst city hotels. (Criterion G)

Primary source

Hoddle Grid Heritage Review (Context & GJM Heritage, 2020)

SITE NAME	Former Paramount House
STREET ADDRESS	256-260 King Street Melbourne
PROPERTY ID	105377



SURVEY DATE: October 2018		SURVEY BY: Context	
HERITAGE INVENTORY	H7822-1232	EXISTING HERITAGE OVERLAY	No
PLACE TYPE	Individual Heritage Place	PROPOSED CATEGORY	Significant
DESIGNER / ARCHITECT / ARTIST:	Eric C Beedham	FORMER GRADE	C
		BUILDER:	Not known
DEVELOPMENT PERIOD:	Interwar Period (c1919- c1940)	DATE OF CREATION / MAJOR CONSTRUCTION:	1929

THEMES

ABORIGINAL THEMES	SUB-THEMES
Research undertaken in preparing this citation did not indicate any associations with Aboriginal people or organisations.	Aboriginal Themes (Hoddle Grid Heritage Review, Volume 3 Aboriginal Heritage, March 2019) have therefore not been identified here.
HISTORIC THEMES	DOMINANT SUB-THEMES
13 Enjoying the city	13.1 Public recreation

LAND USE

HISTORIC LAND USE	
Archaeological block no: 10	Inventory no: 132
Character of Occupation: Commercial, Residential	
Land sale details not provided	
1866 Cox	Buildings shown along most of King Street frontage
1880 Panorama	Two-storey building
1905/6 Mahlstedt	Small single-storey building with kitchen at rear
THEMATIC MAPPING AND LAND USE	
1890s	Residential
1920s	Theatres and Cinemas
1960s	Theatres and Cinemas

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Melbourne Planning Scheme as an Individual Heritage Place.

Extent of overlay: Refer to map

SUMMARY

The former Paramount House at 256-260 King Street, Melbourne is a two-storey interwar commercial building built in 1929 to a design by architect Eric C Beedham. It was built as one of many 'exchange' centres set up by American film companies around Australia in the 1920s, which were responsible for the distribution and marketing of films. The building initially comprised offices, film vaults, storage accommodation and a small private theatre. The former Paramount House continued to be associated with the moving picture industry for 60 years until 1989. By the 1970s, the building was occupied by Cinema International Corporate Pty Ltd (later CIC-Fox and United International Pictures), a combined distributing venture for American film studios including Paramount Pictures, Universal Pictures, Metro-Goldwyn-Mayer (MGM), United Artists, 20th Century Fox and Walt Disney Productions.

HISTORICAL CONTEXT

Enjoying the city

Public recreation

The first films screened in Melbourne in the 1890s, where audiences watched films in a variety of venues: vaudeville theatres, suburban halls and at open-air venues such as cricket grounds and beaches. Dedicated cinema buildings appeared after 1907. In 1909 T J West opened Melbourne's first purpose-built cinema at the corner of Sturt Street and City Road, South Melbourne. By 1916, there were eight cinemas in Bourke Street presenting continuous screenings (Catrice 2008).

Permanent cinemas were built in the suburbs from 1910. As Daniel Catrice writes:

By 1919 there were 67 suburban cinemas and 11 cinemas in the city. These cinemas were modest in design and scale compared to the luxury cinemas built during the 1920s. The first of the American-style picture palaces was the Capitol Theatre in Swanston Street, designed by Walter Burley Griffin and opened in 1924. Two of Melbourne's grandest cinemas, the State Theatre in Flinders Street and the Regent Theatre in Collins Street, were opened in 1929. The atmospheric State Theatre was decorated after the style of an ancient Italian courtyard, with trailing clouds and twinkling stars on a blue dome ceiling (Catrice 2008).

The introduction of sound films in 1929 contributed to changes in cinema design, and the picture palace era ended with the depression of the 1930s. Most of the new construction activity was centred in the suburbs, where Hoyts established itself as the major cinema chain. Construction activity in the city was confined to newsreel cinemas, which screened continuous programs of newsreels (each session lasting about an hour), designed for a smaller, more transient audience (Catrice 2008).

SITE HISTORY

By 1866, buildings existed along most of the King Street frontage of the subject site at 256-260 King Street, Melbourne. By 1880, a two-storey building had been constructed however, by 1906 this had been replaced with a single-storey building with a separate kitchen at the rear (Fels, Lavelle & Mider 1993, Inventory no 132). The last occupant of the site in 1927, which then consisted of two bluestone and brick cottages, was Lewis John Michel. After Michel's death in 1927, the subject site was sold (*Argus* 21 February 1927:1; *Age* 5 March 1927:3).

The current building at 256-260 King Street was constructed in 1929 (MBAI 11213; *Table Talk* 12 December 1929:26). Built as a two-storey office building for Lasky Films Ltd, it was designed by architect Eric C Beedham (*Royal Victorian Institute of Architects Journal*, September 1931, as cited in AAI, record no 33397).

In 1916, Americans Arthur S Friend and Jesse L Lasky merged their motion picture production companies to establish the Famous Players-Lasky Corporation in Hollywood and acquired Paramount to distribute their films. By 1933 the subject building at 256-260 King Street was occupied by the Paramount Film Service (also called the Paramount Exchange). The aforementioned film companies had a complicated history of merging and name changing directed by their American head office however, from 1933 to the 1960s, the company was almost exclusively referred to under the

Paramount name, as seen in Figure 1 and Figure 2 (S&Mc 1933; Silent Era 2018; Lasky Productions).

By early 1930, at a time when sound had just been introduced to moving pictures, the Paramount organisation was in occupation of the new building (Figure 2), described as 'offices, film vaults and storage accommodation'. In addition, one of the most interesting features of the premises was 'the small private theatre at which trade showings [were] given weekly' (*Argus* 4 February 1930:13).

As Australians developed an appetite for the new visual culture brought by the widening accessibility of films in the 1920s, America's influence over the market began to stifle the production of feature films by Australian companies (NFSA 2018). In 1925, Australians imported 674 films from America in that one year alone (NFSA 2018). With this expansion, American film companies began to set up 'exchange' centres around Australia, which were responsible for the distribution and marketing of films, and as a place from where the business interests of the companies in Australia could be managed (NFSA 2018). The building at 256-260 King Street was an example of one of these exchanges opened by Paramount in Australia.

Very little change was made to the building until 1959, when windows on the ground floor were altered and alterations were made to internal partitions (MBAI 33745).

The former Paramount House was occupied by the dominant international film distributors through to the late 1980s. From the mid-1960s, 256-260 King Street was occupied by two international film distributors; 20th Century Fox Corporation (Australia) Pty Ltd and Paramount Film Services Pty Ltd (S&Mc 1965, 1970).

Due to the decline in cinema audiences in the 1960s, Cinema International Corporation Pty Ltd (CIC) was formed by Paramount Pictures and Universal Pictures as a combined international distribution venture. In 1972, Metro-Goldwyn-Mayer (MGM) joined the CIC, and by the mid-1970s, the 20th Century Fox's Australian distribution arm merged with the CIC to form CIC-Fox. CIC-Fox also represented Walt Disney Productions in Australia (Ross 2016:100, 105; *Age* 14 March 1981:13). Shortly before the merger, in 1974, both the CIC and 20th Century Fox Corporation were listed as the occupants of the subject building. (S&Mc 1974).

The only major alteration to the building during this period was the installation of a theatrette on the first floor in 1975: This is notable due to the building's original use as offices of a film company (MBAI 46076).

In the early 1980s, the CIC became United International Pictures Pty Ltd (UIP), representing American film studios Paramount Pictures, Universal Pictures, MGM and United Artists. A 1982 image of the building shows a cantilevered verandah with attached sign that reads 'Paramount Universal MGM Cinema International Corporation' (see Figure 3). The UIP vacated the building at 256-260 King Street in 1990 (*Age* 30 December 1989:21; 19 September 1990:23).

The building was refurbished in 2002 and is still listed as office space (CoMMaps).

Paramount Short Features
worth Billing for any show!

PARAMOUNT BRITISH SOUND NEWS
"The Eyes and Ears of the World"
Issued every week.

PARAMOUNT TWO-REEL COMEDIES
Harry Langdon,
Bing Crosby,
Eugene Pallette,
Walter Catlett.
Short Features with long laughs.

PARAMOUNT SCREEN SONGS
Featuring outstanding artists
produced by Max Fleischer.

BETTY BOOP CARTOONS
Betty Boop and her merry troupe
of cartoon characters are set for
another season's stardom.

PARAMOUNT PICTORIALS
Amusing single-reels.
A Short that is long on entertainment.

SCREEN SOUVENIRS
Original and first in the field.
Humorous glimpses of by-gone days.

GRANTLAND RICE SPOTLIGHTS
Supreme sport reel of the world.

PARAMOUNT HEADLINERS
Stories of Radio, Stage and Screen.
Single reels of entertainment and
amusement.

POPEYE THE SAILOR
New cartoon single reel feature,
produced by Max Fleischer.

HOLLYWOOD ON PARADE
Intimate glimpses of the who's who
in Hollywood.

The Book of the Year!
**PARAMOUNT'S
PRODUCT
ANNOUNCEMENT
FOR 1934**

will be mailed next week to every exhibitor
in Australia and New Zealand.
If you fail to receive this industry's most
important announcement get in touch
immediately with the nearest Paramount
Exchange.

New South Wales: 64 Regent Street, Sydney.
F. Gindler, Manager.
Queensland: 447-411 Ann Street, Brisbane.
G. Brooker, Manager.
Victoria: 256-260 King Street, Melbourne (C.I.).
H. Kelly, Manager.
Tasmania: 111 Charles Street, Launceston.
G. Hayes, Manager.
South Australia: 172-174 Gouwer Place South, Adelaide.
C. Abbotson, Manager.
Western Australia: 250 Wilson Street, Perth.
G. Nicson, Manager.
New Zealand: Crown Buildings, Cor. Cash and Dixon
Streets, Wellington. S. H. Omg, Manager.
Auckland: 676-678 Queen Street.
F. Thompson, Manager.

Figure 1. Advertisement in 1933 for Paramount, listing Victoria's Paramount Exchange at 256-260 King Street. (Source: *Everyone's* 1933: 11)

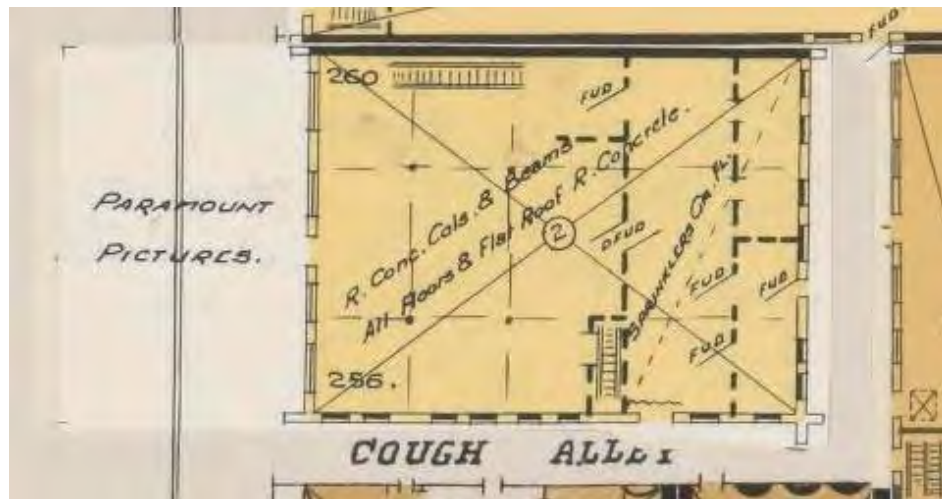


Figure 2. Mahlstedt plans showing subject site labelled Paramamout Pictures c1930. (Source: Mahlstedt Map Section 2, no 2A, 1923 (amended))



Figure 3. The subject site, to the left-hand side of Kilkeny Inn, with a sign on the cantilevered verandah reading 'Paramount Universal MGM Cinema International Corporation'. (Source: Butler 1982 [copyright](#))

Eric C Beedham, architect

The *Dictionary of Unsung Architects* contains this entry for architect Eric C Beedham (1895-1947):

Born in Hobart on 4 September 1895, Eric Claude Beedham...commenced his professional career as an articled pupil of his elder brother, Lancelot Kipling Beedham (1889-1944), who had established an architectural practice in Hobart in 1912. Completing his articles in 1916, the younger Beedham joined the Hobart City Council as an Assistant Engineer & Architect...Later that year, Beedham moved to Sydney and joined the office of John & H G Kirkpatrick, which, at that time, was the preferred architectural firm of the Commonwealth Government. Beedham rose to the position of Managing Assistant for Australia, which required him to oversee the firm's projects undertaken outside New South Wales. In that capacity, Eric Beedham supervised the construction of the Banknote Printing Office in Fitzroy (1923) and the new Commonwealth Bank buildings in Collins Street, Melbourne (1920-24), Moorabool Street, Geelong (1925) and Queen Street, Brisbane (1927-28). Beedham was also involved in the development of the Commonwealth's ambitious War Service Homes programme to provide architect-designed dwellings for returned servicemen.

Concurrently, Eric Beedham...maintained a private architectural practice in both Sydney and Melbourne. [In Melbourne] his private practice initially concentrated on residential commissions...by 1930... [Beedham began] to move away from residential projects towards larger-scale commercial and industrial ones. In 1934, he entered into partnership with architect John W Wright (1892-1962)...In partnership for about four years, Beedham & Wright undertook a string of commissions of various types, although the bulk of their output

was factories - most of which, moreover, were located in the booming industrial heartland of South Melbourne...By mid-1937, Beedham was again practising on his own, although he continued to specialise in factory design.

As was typical for many, Beedham's architectural practice diminished during the later years of the Second World War, but, unlike some, it re-emerged afterwards, when he resumed designing factories in Melbourne's inner industrial suburbs. These, however, proved to be his last projects (Built Heritage 2017).

SITE DESCRIPTION

The former Paramount House at 256-260 King Street, Melbourne is a two-storey commercial office building constructed in 1929. Located on the eastern side of King Street between Lonsdale and Little Lonsdale streets, it also has a side and rear frontage to Gough Alley.

The King Street façade is generally of painted render over loadbearing brickwork, with some moulded decorative elements above and below the first floor window bays at both ends of the building. Above street level the facade was originally of face brick with the render finish limited to the details (see Figure 3). The façade to the first floor is symmetrical, with a plain wide central bay of three windows and a narrower single window bay at each end. These end windows have recessed semicircular arches above and rectangular panels below, infilled with shields, fluting and other decorative elements. A simple cornice or lintel runs across the tops of all the windows and there is a simple stepped parapet above. The original steel frame windows are extant within the original openings.

The ground floor was substantially altered after 1982. The current shopfronts comprise large panes of glazing set in polished stone clad panels. A full-length suspended box awning sits above the shopfronts.

The side and rear elevations to Gough Alley are largely intact, being of painted loadbearing face brickwork laid in English bond. The rendered finish applied to the King Street façade continues down for two bays of the southern elevation to Gough Alley. The original or early industrial multi-pane steel frame windows are largely retained on the laneway elevations with painted render lintels over the openings. Some of the windows feature a ventilation system where one row of sashes is angled back and the gap above covered in mesh to provide a measure of permanent ventilation. The steel doors with industrial top-light on the eastern elevation are original. There is a large opening with roller gate on the southern wall, which is a later addition.

INTEGRITY

The former Paramount House at 256-260 King Street is relatively intact with some changes visible to the original or early fabric. The building retains its original scale; principal upper-level façade with decorative panels, cornice and stepped parapet to King Street, fenestrations, pattern of openings and steel framed multipane windows to all elevations. Changes include the rendering of the original face brick walls to its principal façade, the replacement of the original shopfronts, and the over-painting of the side and rear face brick walls. Overall, the building is of moderate/high integrity.

COMPARATIVE ANALYSIS

The former Paramount House was constructed in 1929 as a modest commercial building, incorporating Art Deco influences into its design with reference to classical and regency motifs. As an

example of a low-scale brick building built in the interwar period, the former Paramount House may be compared to the following examples, being of a similar use, scale, or creation date. The below images, dating from 2000s or later, and descriptions are provided by CoMMaps unless stated otherwise.

307-311 Elizabeth Street, 1927 (Significant in HO1204 Elizabeth Street West Precinct)

307-311 Elizabeth Street is a two-storey brick building built in 1927 as a motor showroom for Stillwell & Parry (Lovell Chen 2017:51).



Figure 4. 307-311 Elizabeth Street, built in 1927. (Source: Lovell Chen 2017)

7-9 Elizabeth Street, 1933 (Recommended as significant in the Hoddle Grid Heritage review)

7-9 Elizabeth Street is a two-storey building built in 1933 by Hansen & Yuncken to a design by architect Harry A Norris. The building originally housed shops and a café on the ground floor with office space above. Built for tobacco retailer, G Damman & Co, the company occupied the building until at least 1974.



Figure 4. 7-9 Elizabeth Street, constructed in 1933.

114-122 Exhibition Street, 1925 (Recommended as significant in the Hoddle Grid Heritage Review)

A three-storey brick former office building. Built in 1925. Refurbished and converted to a bar and restaurant in 2003.