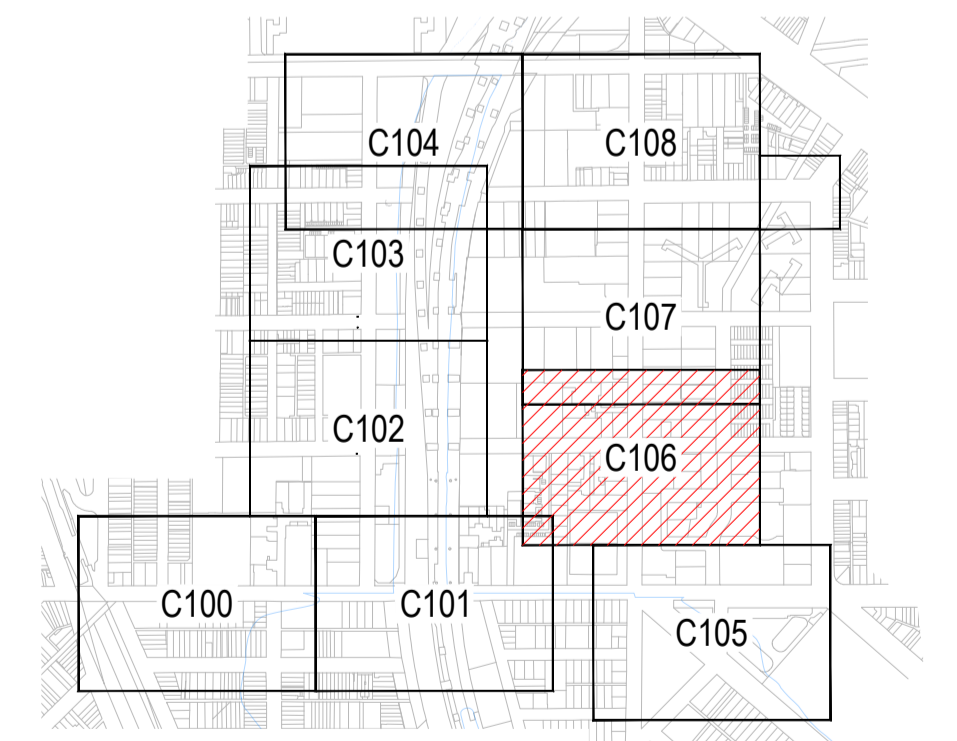




- LEGEND:**
- PROJECT BOUNDARY
  - PEDESTRIAN PATH
  - BIKE PATH
  - ROAD PAVEMENT
  - BUFFER
  - VEGETATION
  - PERMEABLE ASPHALT SURFACE
  - LSIO
  - PROJECT EXTENT
  - EXISTING TREES
  - PROPOSED TREES
  - CONTOURS
  - ACCESS ROAD

- EXISTING SERVICES:**
- POTABLE WATER
  - ABANDONED POTABLE WATER
  - ELECTRICAL
  - AUSNET
  - AUSNET SERVICES
  - SEWER
  - DRAINAGE
  - TELECOMS
  - GRAVITY PIPE
  - PRESSURE MAIN
  - DRAINAGE PIT
  - PUMP STATION
  - ELECTRIC POLE
  - FIRE HYDRANT
  - TRAFFIC SIGNAL POLE
  - NO RIGHT HAND TURN SIGN

- LINEMARKING LEGEND:**
- CYCLE STOP LINE
  - VEHICLE STOP LINE
  - PEDESTRIAN CROSSING LINE



REFER TO DRAWING C105 FOR CONTINUATION

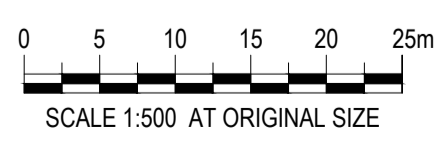
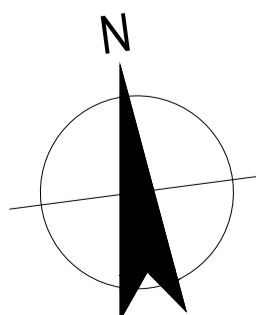
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SCALE 1:10000

Rev	Description	Checked	Approved	Date
E	ISSUE FOR APPROVAL	DE	LM	01.02.22
D	ISSUE FOR APPROVAL	DE	LM	09.12.21
C	REVISED ISSUE	DE	LM	12.10.21
B	REVISED DRAFT ISSUE	DE	LM	20.08.21
A	DRAFT ISSUE	DE	LM	29.07.21

Author	Designing	Designing	Reg No.
J. BARCIAL	D. NGAN	D. NGAN	

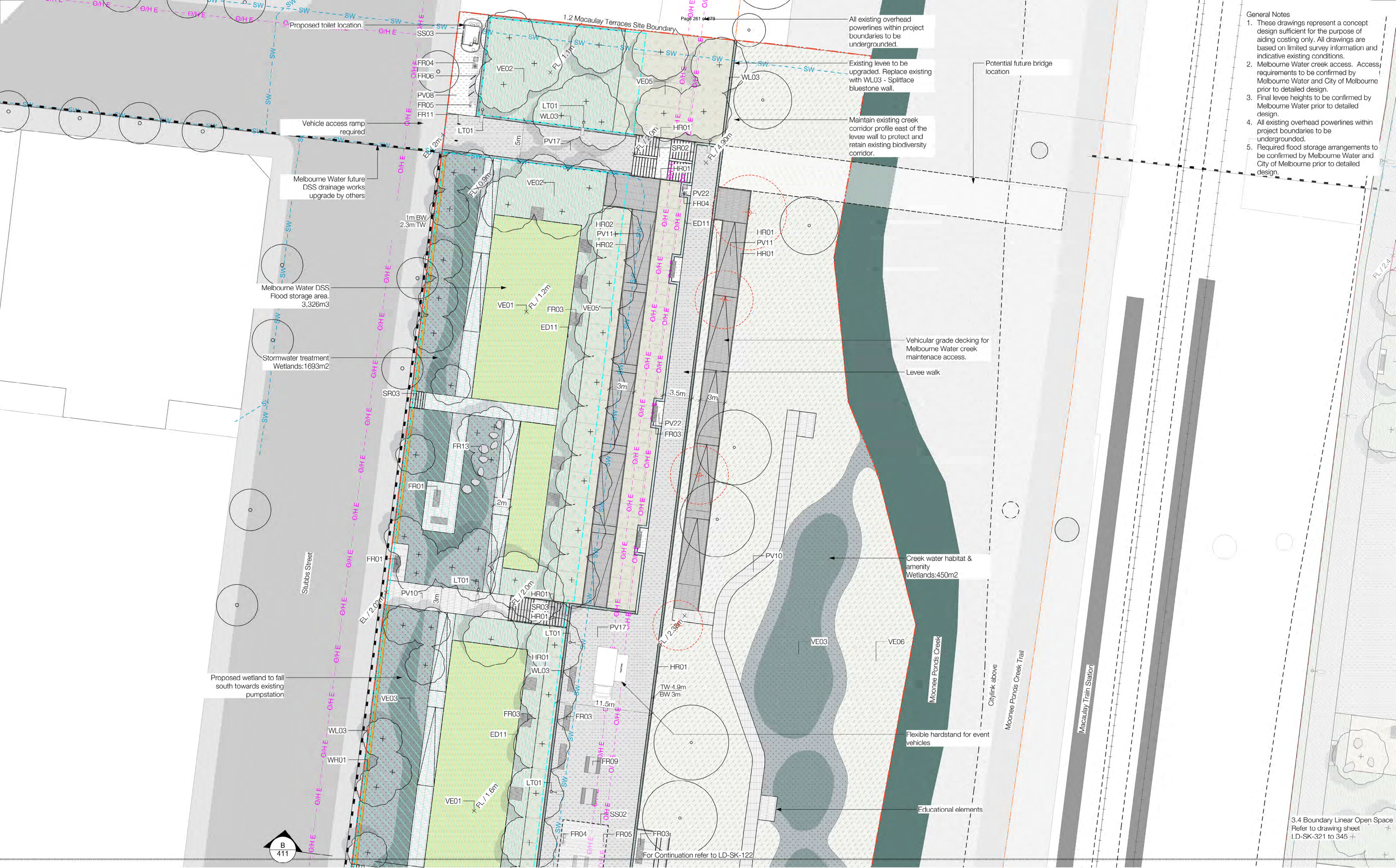


**IN\_04**



Client **CITY OF MELBOURNE**  
 Project **MACAULAY PRECINCT STREET**  
 Status **PRELIMINARY**

Drawing Title **ROAD LAYOUT PLAN SHEET 7 OF 9**  
 Drawing No. **12552605-C106**  
 Rev **E**

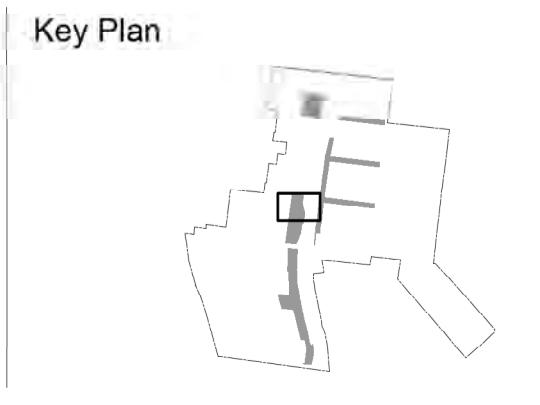


- General Notes**
1. These drawings represent a concept design sufficient for the purpose of aiding costing only. All drawings are based on limited survey information and indicative existing conditions.
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  5. Required flood storage arrangements to be confirmed by Melbourne Water and City of Melbourne prior to detailed design.

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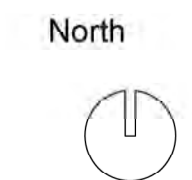
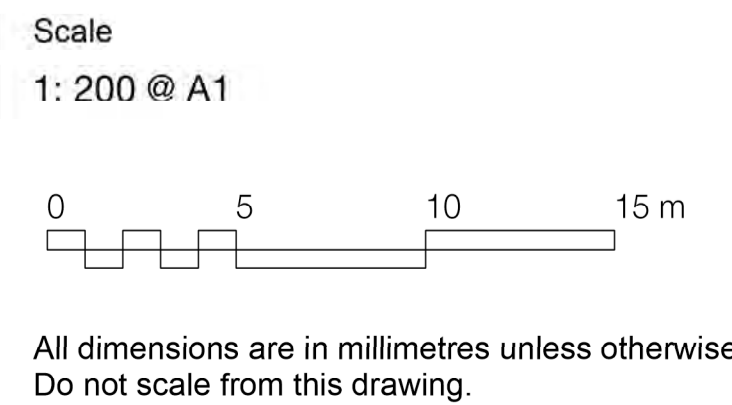
Client  
 City of Melbourne  
 Project Team  
 Zinc Cost Management

Project Name  
**Macaulay Open Space Design & Costing**  
 Project No.  
 0895MEL  
**OS\_01**  
 Address  
 Macaulay, Melbourne VIC



Issue Log

Rev	Revision Description	By / Checked	Date
A	Draft for comment	RL/MW	10/06/2021
B	Concept Design For Costing	RL/MW	24/06/2021
C	Concept Design For Costing	RL/MW	30/06/2021



Phase  
**Concept**  
 Sheet Title  
**1.2 Macaulay Terraces**  
 Sheet No.  
 LD-SK-121

Rev  
**C**

3.4 Boundary Linear Open Space  
 Refer to drawing sheet  
 LD-SK-321 to 345 +

- General Notes**
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**Project Team**  
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**Project Name**  
 Macaulay Open Space Design & Costing  
  
**Project No.**  
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**Address**  
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**OS\_01**



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A	Draft for comment	RL/MW	10/06/2021
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**Scale**  
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**North**

**Phase**  
 Concept  
**Sheet Title**  
 1.2 Macaulay Terraces  
**Sheet No.**  
 LD-SK-122  
  
 All dimensions are in millimetres unless otherwise noted.  
 Do not scale from this drawing.

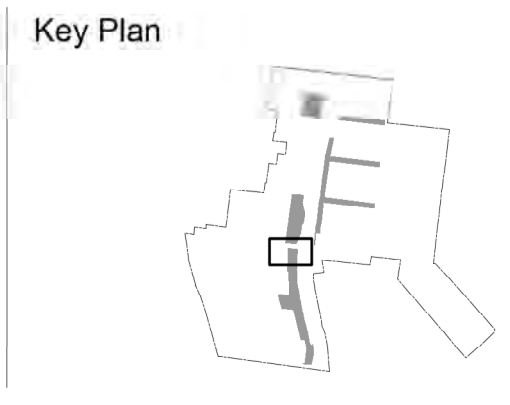
- General Notes
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 City of Melbourne  
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Project Name  
 Macaulay Open Space Design & Costing  
 Project No.  
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**OS\_02**



Issue Log

Rev	Revision Description	By / Checked	Date
A	Draft for comment	RL/MW	10/06/2021
B	Concept Design For Costing	RL/MW	24/06/2021
C	Concept Design For Costing	RL/MW	30/06/2021

Scale  
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 All dimensions are in millimetres unless otherwise noted.  
 Do not scale from this drawing.

North  
  
 Phase  
 Concept  
 Sheet Title  
 2.2 Bent Street Access  
 Sheet No.  
 LD-SK-221

Rev  
 C



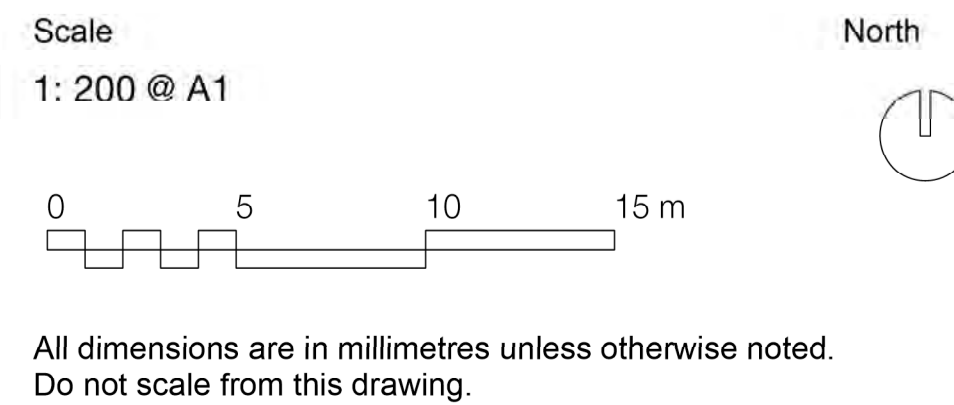


- General Notes
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For Continuation refer to LD-SK-223  
Page 266 of 279

For Continuation refer to LD-SK-125

- General Notes
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Maintain existing creek corridor profile east of the levee wall to protect and retain existing biodiversity corridor.

All existing overhead powerlines within project boundaries to be undergrounded.

Amenity area featuring canopy trees, picnic and bbq facilities.

Existing levee to be upgraded. Replace existing with WL03 - Splitface bluestone wall.

Targeted tree planting east of the levee to improve critical biodiversity corridor

Understorey planting and infill tree planting to the west side of the levee bank

Creek viewing platform with educational elements

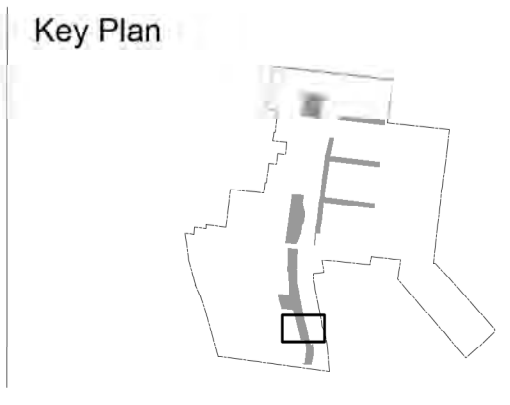
Stair access access to creek corridor

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Project Team  
Zinc Cost Management

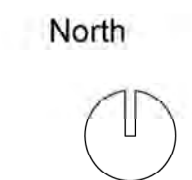
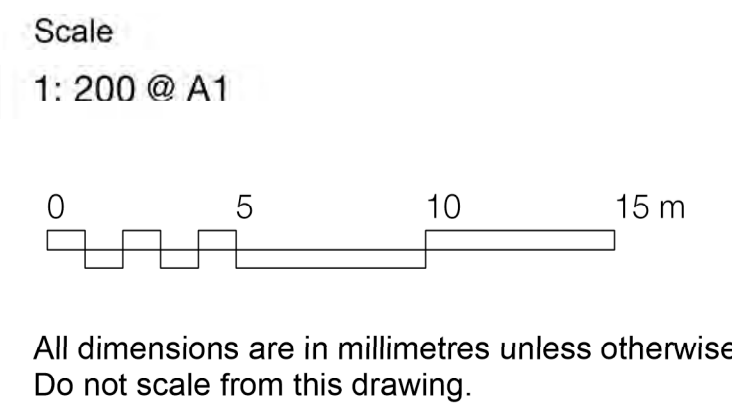
Project Name  
Macaulay Open Space Design & Costing  
  
Project No.  
0895MEL  
  
Address  
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Issue Log

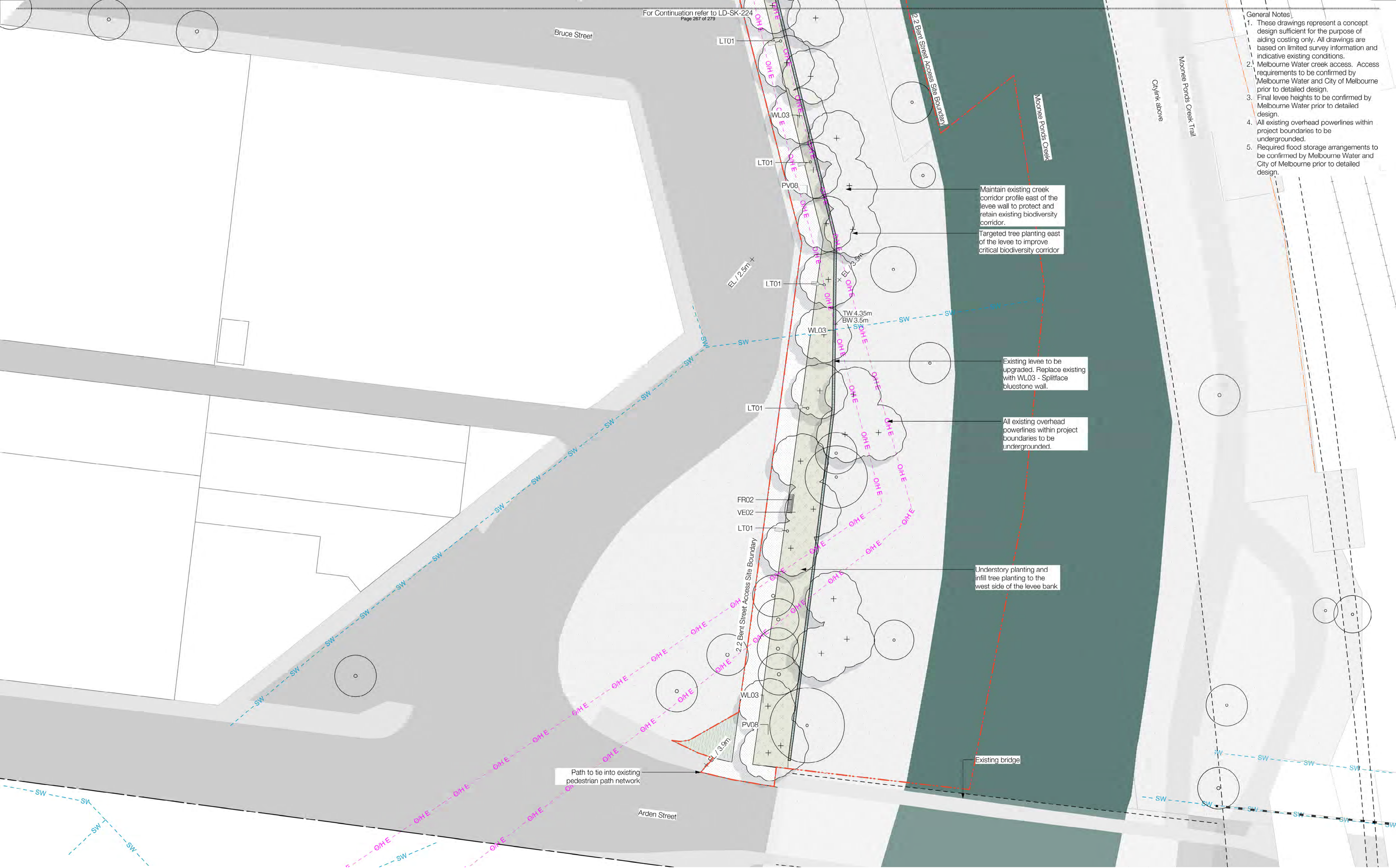
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A	Draft for comment	RL/MW	10/06/2021
B	Concept Design For Costing	RL/MW	24/06/2021
C	Concept Design For Costing	RL/MW	30/06/2021



Phase  
Concept  
Sheet Title  
2.2 Bent Street Access  
Sheet No.  
LD-SK-224

Rev  
C

- General Notes
1. These drawings represent a concept design sufficient for the purpose of aiding costing only. All drawings are based on limited survey information and indicative existing conditions.
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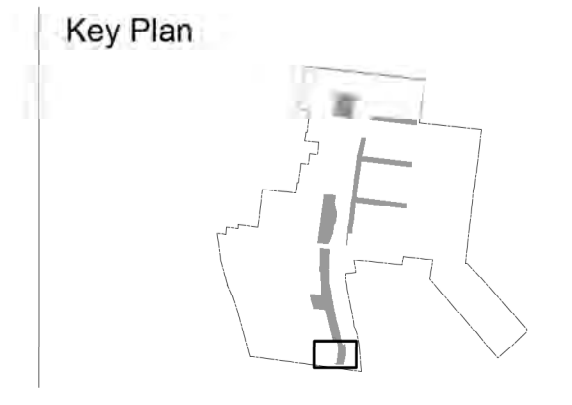
Project Team  
Zinc Cost Management

Project Name  
Macaulay Open Space Design & Costing

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0895MEL

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**OS\_02**



Issue Log

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A	Draft for comment	RL/MW	10/06/2021
B	Concept Design For Costing	RL/MW	24/06/2021
C	Concept Design For Costing	RL/MW	30/06/2021

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1: 200 @ A1

North

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Do not scale from this drawing.

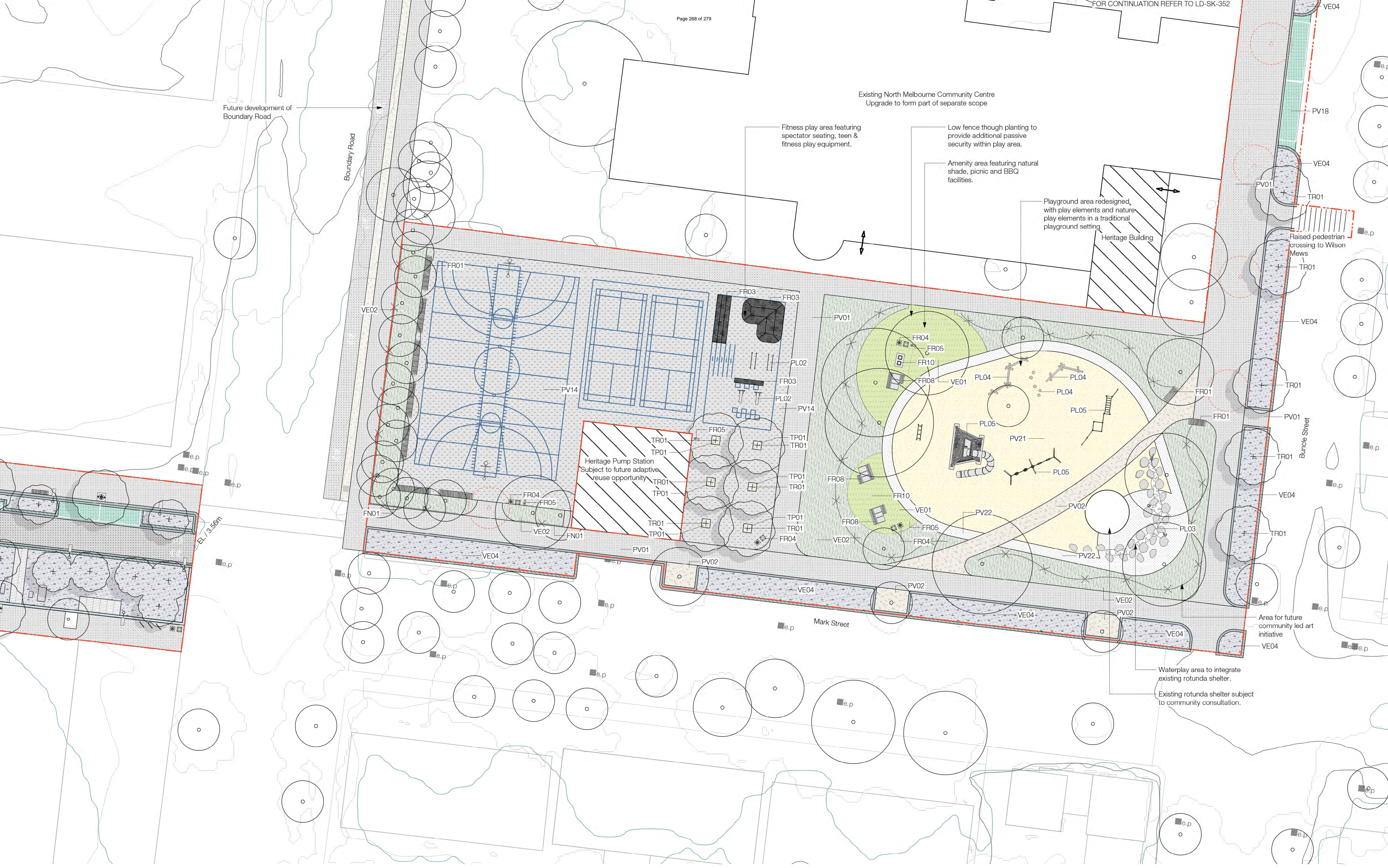
Phase  
Concept

Sheet Title  
2.2 Bent Street Access

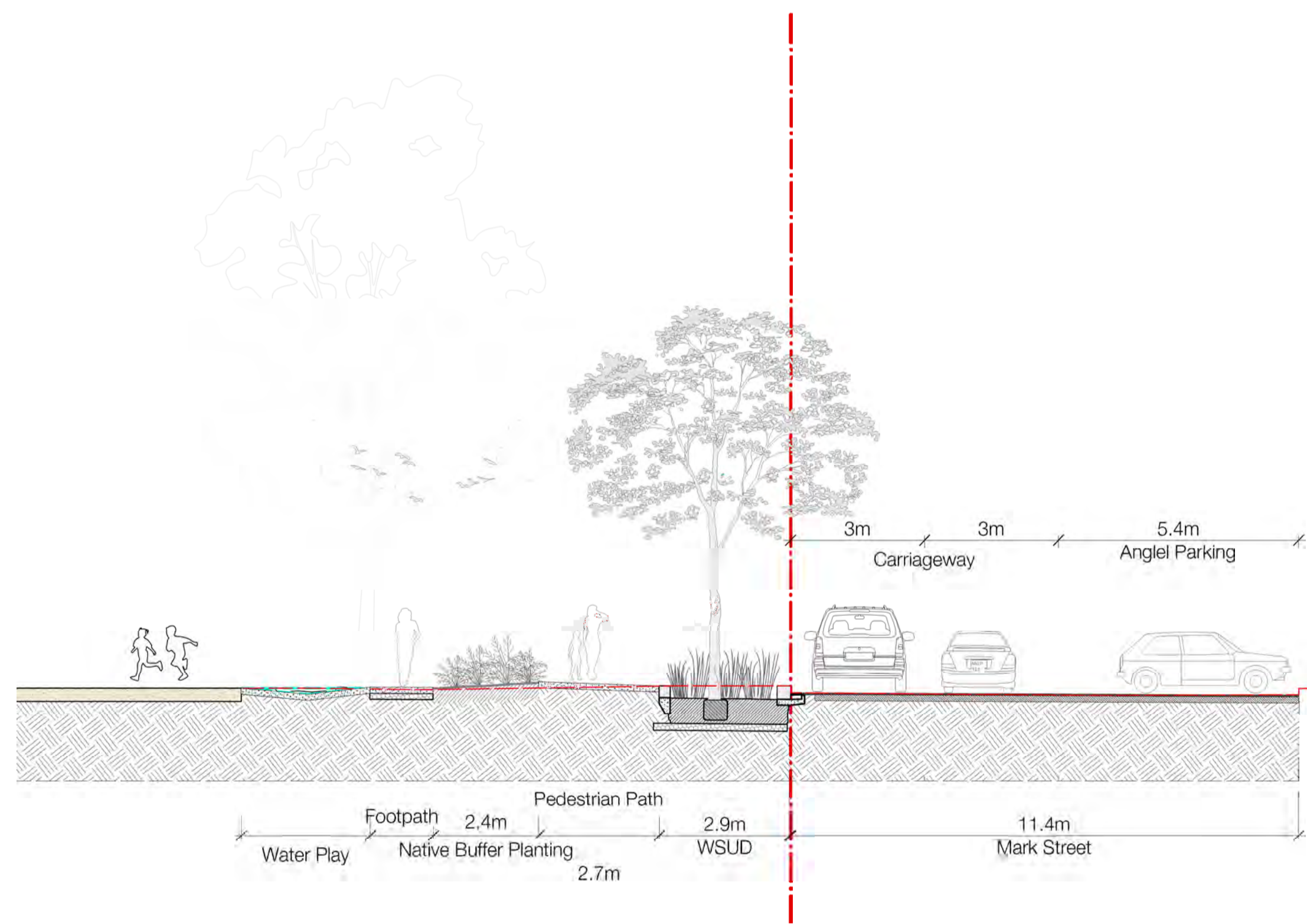
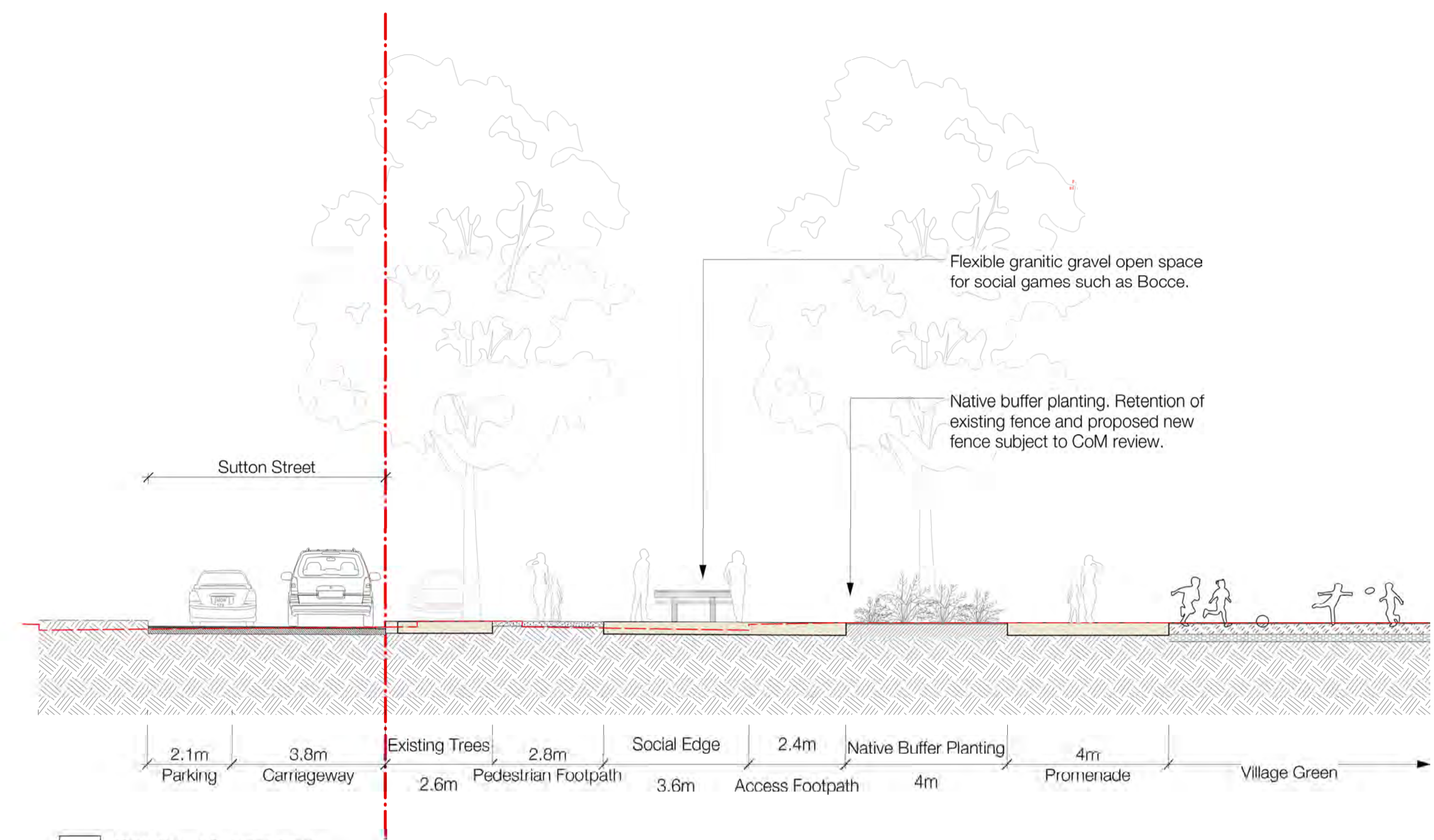
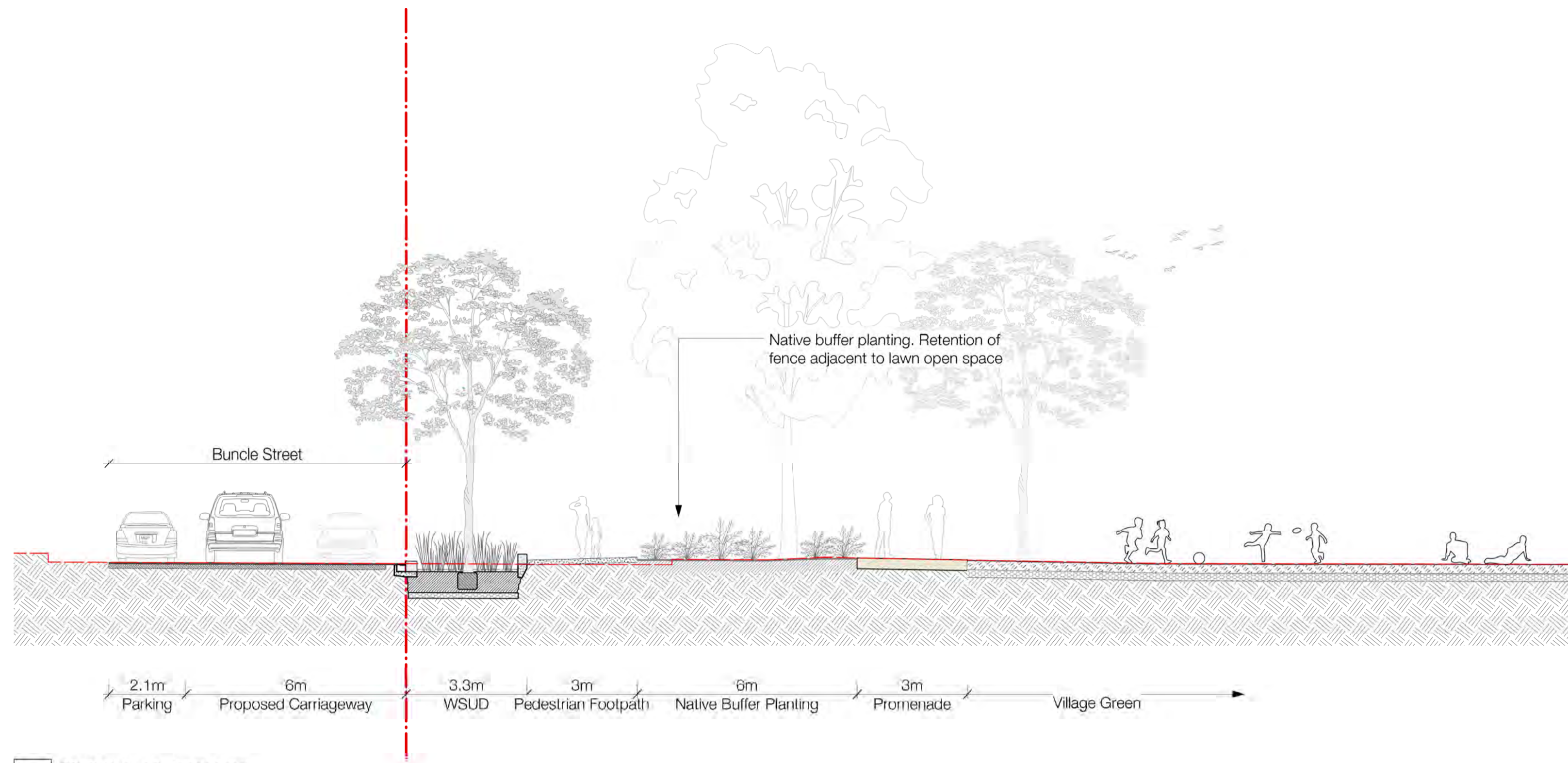
Sheet No.  
LD-SK-225

Rev  
C

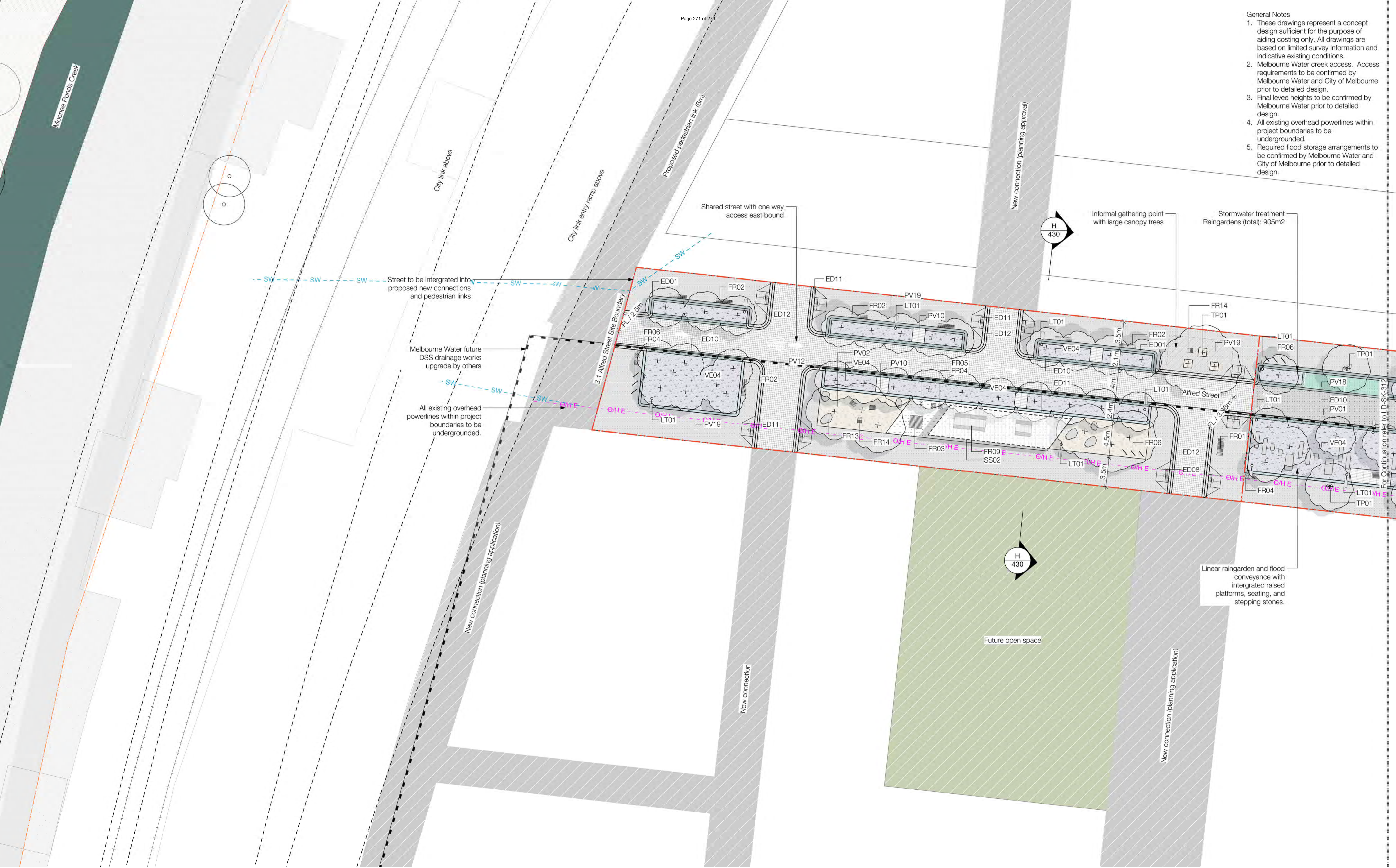








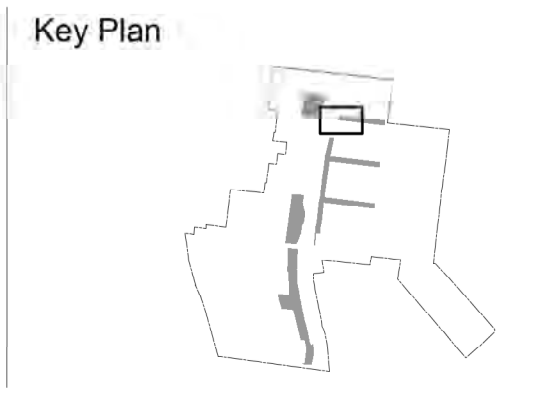
- General Notes
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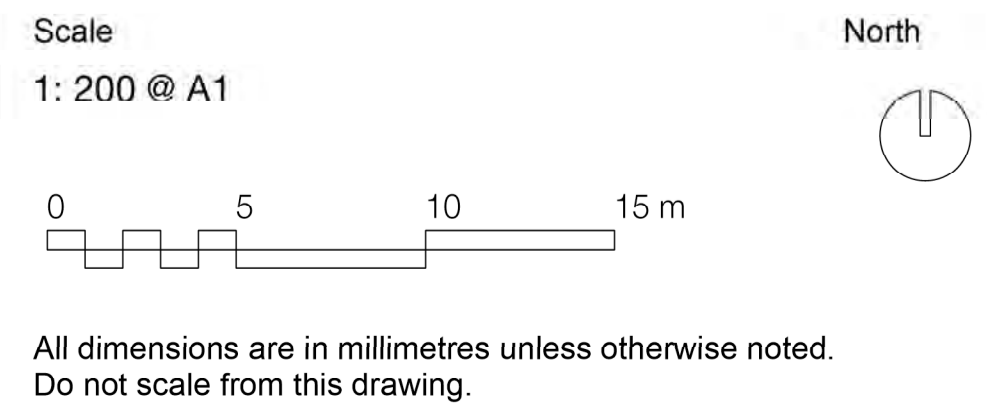
Client  
 City of Melbourne  
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Issue Log

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A	Draft for comment	RL/MW	10/06/2021
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C	Concept Design For Costing	RL/MW	30/06/2021



Phase  
 Concept  
 Sheet Title  
 3.1 Alfred Street  
 Sheet No.  
 LD-SK-311  
 Rev  
 C

- General Notes**
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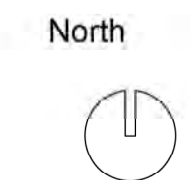
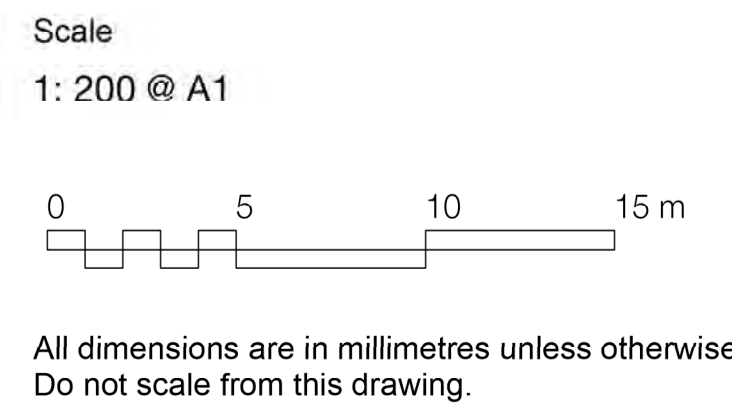
Client  
 City of Melbourne  
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 Address  
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**PR\_02**



Issue Log

Rev	Revision Description	By / Checked	Date
A	Draft for comment	RL/MW	10/06/2021
B	Concept Design For Costing	RL/MW	24/06/2021
C	Concept Design For Costing	RL/MW	30/06/2021



Phase  
**Concept**  
 Sheet Title  
**3.2 Sutton Street**  
 Sheet No.  
 LD-SK-321

Rev  
**C**

- General Notes
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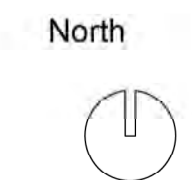
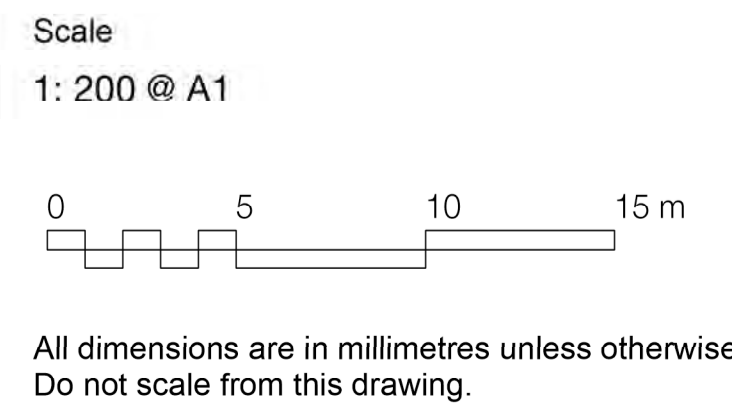
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**PR\_03**



Issue Log

Rev	Revision Description	By / Checked	Date
A	Draft for comment	RL/MW	10/06/2021
B	Concept Design For Costing	RL/MW	24/06/2021
C	Concept Design For Costing	RL/MW	30/06/2021



Phase  
 Concept

Sheet Title  
 3.3 Mark Street

Sheet No.  
 LD-SK-331

Rev  
 C

DRAFT

**Attachment 3 - Variations between Macaulay Amendment 417 the endorsed Macaulay Structure Plan 2021**

*Amendment 417 Macaulay  
Attachment 3*

<b>Precinct and location</b>	<b>Street wall height in <i>Macaulay Structure Plan 2021</i></b>	<b>Solar protection in <i>Macaulay Structure Plan 2021</i></b>	<b>Issue</b>	<b>Amendment C417 proposed control</b>
<p><b>Chelmsford</b> Bruce Street</p>	<p>4 storey maximum street wall height.</p> <p>Maximum street wall heights are <i>mandatory</i> for properties on Chelmsford Street, Fink Street, Bruce Street and Arden Street, and for all properties adjacent to residential areas, and are preferred elsewhere within the precinct.</p>	<p>No overshadowing of southern footpath of Bruce Street between 11am - 2pm on 22 September.</p>	<p>A mandatory maximum 4 storey street wall overshadows the southern footpath of Bruce Street at 11am. As this area is a Commercial 2 Zone (C2Z), the floor-to-floor height cannot be reduced.</p>	<p>For sites on Bruce Street zoned Commercial 2 Zone, reduce the street wall height to 3 stories with a mandatory maximum street wall height of 16 metres, which is the maximum height in metres that does not overshadow.</p>
<p><b>Chelmsford</b> Arden Street</p>	<p>4 storey maximum street wall height.</p> <p>Maximum street wall heights are mandatory for properties on Chelmsford Street, Fink Street, Bruce Street and Arden Street, and for all properties adjacent to residential areas, and are preferred elsewhere within the precinct.</p>	<p>No overshadowing of southern footpath of Arden Street between 11am - 2pm on 22 September.</p>	<p>A mandatory maximum 4 storey street wall overshadows the southern footpath of Arden Street at 11am. As this area is a Commercial 2 Zone (C2Z), the floor-to-floor height cannot be reduced.</p>	<p>Reduce the street wall height to 3 stories with a mandatory maximum street wall height of 15 metres, which is the maximum height in metres that does not overshadow.</p>



Precinct and location	Street wall height in <i>Macaulay Structure Plan 2021</i>	Solar protection in <i>Macaulay Structure Plan 2021</i>	Issue	Amendment C417 proposed control
<b>Stubbs</b> Stubbs North Reserve (new park)	Ensure new open space is protected from overshadowing in winter, in line with City of Melbourne's Sunlight to public parks policy.	No overshadowing beyond the allowable shadow between 10am - 3pm on 21 June.	<p>The street wall sets the allowable shadow.</p> <p>A 6 storey street wall results in approximately 90 per cent overshadowing of the park at 3pm.</p> <p>The park will provide ecological, recreation and water management functions.</p>	Reduce street wall heights to 4 stories (16 metres) along Stubbs Street from Racecourse Road to 20 Stubbs Street to reduce allowable shadow and increase the amount of winter sunlight to the park.
<b>Stubbs</b> Macaulay Terraces (new park)	Ensure new open space is protected from overshadowing in winter, in line with City of Melbourne's Sunlight to public parks policy.	No overshadowing beyond the allowable shadow between 10am - 3pm on 21 June.	<p>The street wall sets the allowable shadow.</p> <p>6 storey street wall results in approximately 90 per cent overshadowing of the park at 3pm.</p> <p>The park will provide ecological, recreation and water management functions.</p>	Reduce street wall heights to 4 stories (16 metres) along Stubbs Street from 106 Stubbs Street to Macaulay Road to reduce allowable shadow and increase the amount of winter sunlight to the park.
<b>Melrose</b> Canning Street and Macaulay Road Reserve	Development above the street wall must not cast additional shadow to existing open spaces on 21 June between 10am and 3pm in accordance with City of Melbourne's Sunlight to public parks policy.	No overshadowing beyond the allowable shadow between 10am - 3pm on 21 June.	The additional shadow cast by proposed controls above 4 storeys delivers an unacceptable level of overshadowing.	Reduce street wall heights to 3-4 storeys (12 metres to 16 metres) for 2 Boundary Road and 78-86 Canning Street to reduce overshadowing.

**11.03-6L Macaulay**

--/--  
 C---

**Policy application**

This policy applies to the area shown as ‘Local Area Boundary’ on the Macaulay plan to this clause.

**Vision**

Macaulay will become a mixed use, compact, mid rise, walkable neighbourhood which celebrates its built, environmental and cultural heritage. Resilient natural systems will feature, with a revitalised Moonee Ponds Creek and a network of people-focused streets and green spaces. Affordable housing will be delivered alongside a mix of dwelling types. A diversity of uses, in new sustainable and adaptively re-used buildings, will deliver a thriving neighbourhood supporting a growing population.

Macaulay is characterised by four distinct sub-precincts:

- Boundary precinct has the capacity for higher levels of growth and change to support a vibrant mix of uses, with retail and commercial activity focused on Boundary and Macaulay roads with some of these uses extending into side streets providing an opportunity for smaller scale retail and commercial space. Larger sites that can deliver multiple buildings will adopt a diversity of forms, typologies and architectural language.
- Melrose precinct will serve as a hub for community and social connection. It will provide a range of community and recreation services, a potential government secondary school and additional public housing. Local shops in Melrose Street and Arden Gardens will serve the local community and the broader area.
- Chelmsford precinct will celebrate its valued heritage character including existing intact rows of cottages, brick warehouses and factories. It will comprise a mix of uses with the majority of new development supporting commercial uses. The south of the precinct will be home to a range of small to medium sized businesses creating a dynamic and vibrant employment area, with opportunities for start-ups, co-working spaces, maker spaces and studios to be anchored by key heritage sites and proximity to the new Arden Station. New open spaces and the revitalised Moonee Ponds Creek will provide key opportunities for connectivity, recreation and biodiversity.
- Stubbs precinct will evolve into a mixed use area, with new clusters of retail and commercial uses focused along Macaulay Road. Development will be sensitive to its context adjacent to lower scale residential areas and the revitalised Moonee Ponds Creek.

**Housing strategies**

Provide diverse housing that is inclusive, well designed, sustainable and accessible.

Ensure that 3.8 per cent of new floorspace (or equivalent contribution) is being delivered as affordable housing for very low to moderate income households.

**Economic development strategies**

Provide a vibrant mix of land uses including commercial, creative, education, entertainment and retail uses.

Encourage employment uses throughout the precinct to support local living.

Provide opportunities for low-cost space for small and medium sized enterprises and start-ups.

Encourage local businesses to establish in Macaulay Road (Kensington), Central Macaulay (Boundary Road) and Racecourse Road/Boundary Road (north) activity centres.

Recognise the retail offerings of Melrose Street shopping strip and Arden Gardens.

**Built environment and heritage strategies**

Ensure development enhances Macaulay's industrial and streetscape character.

Ensure the past, present and continuing cultural values and heritage of the Traditional Owners, the Wurundjeri People, are identified and embedded in the planning, design and curation of Macaulay.

Provide a high-quality network of connected streets and open spaces that support a varied and walkable block structure.

Encourage adaptable buildings.

Ensure development is sensitive and responsive to local context and character.

Ensure high quality design throughout the precinct and encourage design excellence for key strategic sites.

Support building design that includes a high standard for energy efficiency, embodied energy, water efficiency and integrated water management, green infrastructure, urban ecology, waste management and resource recovery.

**Transport strategies**

Provide a high amenity, permeable and connected street network to ensure streets are safe and comfortable for pedestrians and enhance the quality of the public realm.

Provide high quality green links between open spaces, community facilities and public transport routes.

Support the expansion and upgrade of public transport services and infrastructure.

**Infrastructure strategies**

Ensure timely delivery of high-quality, accessible and integrated community infrastructure.

Encourage the coordinated delivery of critical infrastructure and utility services.

Provide for the timely and coordinated funding and delivery of public open space, transport upgrades and social infrastructure.

**Flooding, Sea Level Rise and Water Sensitive Design**

Ensure the individual and combined impacts of sea level rise and flooding from storm events is appropriately managed.

Ensure site responsive, high quality building design in flood prone areas.

Manage the risk of flooding through flood management solutions in the natural landscape and built environment.

Encourage access to high-quality alternative water sources to be used in buildings and to irrigate open spaces.

### Open space strategies

Provide a high quality open space network through the improvement and expansion of existing open spaces at Buncle Street Reserve (North Melbourne Community Centre), Robertson Street Reserve, and Canning Street and Macaulay Road Reserve.

Facilitate the delivery of high amenity open spaces, including Macaulay Terraces, Stubbs North Reserve and Chelmsford Street Reserve as well as a network of new open spaces within the road reserve and linear spaces adjacent to Moonee Ponds Creek, with improved pedestrian connectivity and access throughout the precinct.

Support the revitalisation of the Moonee Ponds Creek corridor, enhancing its role in celebrating history and culture, providing safe and accessible connectivity, providing habitat for native flora and fauna, and managing water in this flood-prone area.

### Macaulay Plan

