

Report to the Future Melbourne (Planning) Committee

Agenda item 6.4

**Ministerial Planning Referral: TPM-2019-4/A
102-108 Jeffcott Street, West Melbourne (and 355-369 Spencer Street and
371-383 Spencer Street, West Melbourne)**

12 April 2022

Presenter: Marjorie Kennedy, Head of Statutory Planning**Purpose and background**

1. The purpose of this report is to advise the Future Melbourne Committee of a Ministerial planning referral which seeks to amend Ministerial Planning Permit PA1800480 which allows development of the land located at 102-108 Jeffcott Street, West Melbourne (refer Attachment 2 – Locality Plan).
2. The applicant is BEG Projects Pty Ltd, the owner of the land is BEG Projects Pty Ltd (Stage 1) and the architect is CHT Architects.
3. This proposal seeks to stage the approved development. This will be achieved by altering the development at 102-108 Jeffcott Street (now 'Stage 1'), so that it is a functionally independent residential apartment building, no longer forming part of the integrated residential hotel approved for the broader planning unit under the permit, which includes the land at 355-369 Spencer Street and 371-383 Spencer Street, West Melbourne. This will allow development of 'Stage 1' to commence and be completed ahead of development of the remaining land.
4. The land is located within the Mixed Use Zone (MUZ) and is affected by the Heritage Overlay Schedule HO771 and HO1185, Design and Development Overlay - Schedule 12 (Noise Attenuation Area) (DDO12) and Schedule 33 (CBD Fringe) (DDO33).
5. The Department of Environment, Land, Water and Planning (DELWP), on behalf of the Minister for Planning, has given formal notice of the application.
6. On 15 March 2022 the applicant submitted a section 57A amendment, demonstrating a revised tower design that reconfigured the proposed floorplate, to reintroduce the setbacks achieved in the originally approved development that complied with the requirements of DDO33, and significantly improved the commercial offering within the ground plane.

Key issues

7. Subject to recommended conditions of the amended permit requiring the form of the proposal to be altered to ensure that the staging of development for the site is strategically managed to avoid future administrative issues with the permit and broader planning unit, the proposed development will maintain the important planning outcomes achieved as part of the original approval.
8. The proposed development maintains a floor area ratio for the site (proposed FAR 6.32:1) which is generally consistent with the Flagstaff Precinct built form requirements of the West Melbourne Structure Plan 2018 and proposed controls for the site under Planning Scheme Amendment (FAR: 6:1).
9. The proposal will achieve an appropriate level of internal amenity for future occupants having regard to the requirements of *Clause 58 Apartment Developments*, and continues to meaningfully retain the significant heritage fabric of the Sands and McDougall Precinct.

Recommendation from management

10. That the Future Melbourne Committee resolves to advise the Department of Environment, Land, Water and Planning that the Melbourne City Council supports the application subject to the conditions outlined in the delegate report (refer to Attachment 4 of the report from management).

Attachments:

1. Supporting Attachment (Page 2 of 153)
2. Locality Plan (Page 3 of 153)
3. Selected Plans (Page 4 of 153)
4. Delegate Report (Page 72 of 153)

Supporting Attachment

Legal

1. The Minister for Planning is the Planning Authority for determining the application.
2. The application is not exempt from the notice of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3), and the review rights of section 82(1) of the *Planning and Environment Act 1987*. The Council therefore has formal status under the Planning and Environment Act 1987 in relation to the application.

Finance

3. There are no direct financial issues arising from the recommendations contained within this report.

Conflict of interest

4. No member of Council staff, or other person engaged under a contract, involved in advising on or preparing this report has declared a material or general conflict of interest in relation to the matter of the report.

Health and Safety

5. Relevant planning considerations such as traffic and waste management and potential amenity impacts that could impact on health and safety have been considered within the planning permit application and assessment process.

Stakeholder consultation

6. Council officers have not undertaken public notice of the application or referred this to any other referral authorities. This is the responsibility of the DELWP acting on behalf of the Minister for Planning.

Relation to Council policy

7. Relevant Council policies are discussed in the attached delegate report (refer to Attachment 4).

Environmental sustainability

8. The Environmentally Sustainable Design (ESD) Report submitted with the application demonstrates that the development will achieve the ESD performance requirements of Clause 22.19 (Energy, Water and Waste Efficiency) and Clause 22.23 (Stormwater Management).
9. Permit conditions requiring implementation of the ESD initiatives are recommended.

Locality Plan

Attachment 2
Agenda item 6.4
Future Melbourne Committee
12 April 2022

102-108 Jeffcott Street, West Melbourne (STAGE 1), and 355-369 & 371-383 Spencer Street, West Melbourne (STAGE 2)



TP - TOWN PLANNING SHEET LIST		
NO.	SHEET NAME	REV
TP0.000	COVER PAGE	C
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TP0.002	DEVELOPMENT SUMMARY II	C
TP0.101	SITE CONDITIONS - EXISTING	C
TP0.102	STAGING DIAGRAM	C
TP1.001	EXISTING & DEMOLITION PLAN - BASEMENT 01-03	C
TP1.003	EXISTING & DEMOLITION PLAN - GROUND FLOOR	C
TP1.101	OVERALL PLAN - BASEMENT 03	C
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TP1.104	OVERALL PLAN - GROUND	C
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TP1.109	OVERALL PLAN - LEVEL 06	C
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TP1.111	OVERALL PLAN - LEVEL 08	C
TP1.112	OVERALL PLAN - LEVEL 09	C
TP1.113	OVERALL PLAN - LEVEL 10	C
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TP1.117	OVERALL PLAN - LEVEL 14	C
TP1.118	OVERALL PLAN - LEVEL 15	C
TP1.119	OVERALL PLAN - LEVEL 16	C
TP1.120	OVERALL PLAN - LEVEL 17	C
TP1.121	OVERALL PLAN - LEVEL 18	C
TP1.122	OVERALL PLAN - LEVEL 19	C
TP1.123	OVERALL PLAN - LEVEL 20	C
TP1.124	OVERALL PLAN - LEVEL 21	C
TP1.125	OVERALL PLAN - LEVEL 22	C
TP1.127	OVERALL PLAN - ROOF LEVEL	C
TP1.128	OVERALL PLAN - TOP ROOF LEVEL	C
TP1.300	BADS ASSESSMENT - APARTMENT BREAKDOWN	C
TP1.301	BETTER APARTMENT DESIGN STANDARD ASSESSMENT	C
TP1.302	BETTER APARTMENT DESIGN STANDARD ASSESSMENT	C
TP1.303	BETTER APARTMENT DESIGN STANDARD ASSESSMENT	C
TP1.304	BETTER APARTMENT DESIGN STANDARD ASSESSMENT	C
TP1.305	BETTER APARTMENT DESIGN STANDARD ASSESSMENT	C
TP1.306	BETTER APARTMENT DESIGN STANDARD ASSESSMENT	C
TP1.307	BETTER APARTMENT DESIGN STANDARD ASSESSMENT	C
TP1.308	BETTER APARTMENT DESIGN STANDARD ASSESSMENT	C
TP1.309	BETTER APARTMENT DESIGN STANDARD ASSESSMENT	C
TP1.310	BETTER APARTMENT DESIGN STANDARD ASSESSMENT	C
TP1.311	BETTER APARTMENT DESIGN STANDARD ASSESSMENT	C
TP2.001	HERITAGE ELEVATIONS - SOUTH	C
TP2.002	HERITAGE ELEVATIONS - NORTH	C
TP2.003	HERITAGE ELEVATIONS - EAST	C
TP2.004	HERITAGE ELEVATIONS - WEST	C
TP2.101	BUILDING ELEVATIONS	C
TP2.102	BUILDING ELEVATIONS	C
TP2.103	BUILDING ELEVATIONS	C
TP2.301	CARPARK SECTION	C
TP3.101	BUILDING SECTIONS	C
TP3.106	BUILDING SECTIONS	C
TP5.001	EXISTING SHADOW DIAGRAMS	C
TP5.002	EXISTING SHADOW DIAGRAMS	C
TP5.003	PROPOSED SHADOW DIAGRAMS	C
TP5.004	PROPOSED SHADOW DIAGRAMS	C
TP5.005	3D VIEWS	C
TP5.006	3D VIEWS	C
TP5.007	3D VIEWS	C
TP6.117	OVERALL SECTION - INDICATING VIEWS INTO PRISON COURTYARD	C
TP6.118	DETAILED SECTIONS - INDICATING VIEWS INTO PRISON COURTYARD	C
TP6.119	DETAILED SECTIONS - APARTMENT DETAILS	C



TOWN PLANNING



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Project
102-108 JEFFCOTT STREET, WEST MELBOURNE
102-108 JEFFCOTT STREET, WEST MELBOURNE.
Client
BLUE EARTH GROUP

No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	10/05/2021	DELIVER SET
C	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title
COVER PAGE
Sheet
PRELIMINARY
NOT FOR CONSTRUCTION

Sheet No.
TP0.000
Revision
C
Scale
at A1
Date
11/03/2022

20020

TP - APARTMENT MIX		
UNIT TYPE	NUMBER	MIX %
1 BED & 1 BATH	58	54%
1 BED & 1 BATH + STUDY	16	15%
2 BED & 2 BATH	21	19%
2 BED & 2 BATH + STUDY	9	8%
3 BED & 2 BATH	4	4%
TOTAL UNITS	108	100%

GFA (EXCLUDING BALCONIES AND LANDSCAPE AREAS) OVERALL		
Not Placed		
APARTMENT	0.00 m ²	0.00 m ²
BASEMENT LEVEL 03		
AMENITY	34.25 m ²	
CARPARK	783.46 m ²	
CORE	39.37 m ²	
SERVICES	3.45 m ²	
	860.53 m ²	
BASEMENT LEVEL 02		
CARPARK	797.66 m ²	
CORE	39.38 m ²	
SERVICES	22.16 m ²	
	859.20 m ²	
BASEMENT LEVEL 01		
AMENITY	81.80 m ²	
CARPARK	682.25 m ²	
CORE	39.38 m ²	
SERVICES	52.51 m ²	
	855.94 m ²	
GROUND FLOOR		
AMENITY	53.43 m ²	
CARPARK	331.97 m ²	
CIRCULATION	107.99 m ²	
CORE	32.92 m ²	
RETAIL	208.72 m ²	
SERVICES	183.88 m ²	
	918.91 m ²	
LEVEL 01		
AMENITY	138.50 m ²	
APARTMENT	280.01 m ²	
CIRCULATION	77.79 m ²	
CORE	32.32 m ²	
RETAIL	75.68 m ²	
SERVICES	123.98 m ²	
	728.27 m ²	
LEVEL 02		
APARTMENT	327.88 m ²	
CIRCULATION	46.13 m ²	
CORE	33.52 m ²	
SERVICES	19.88 m ²	
	427.42 m ²	
LEVEL 03		
APARTMENT	298.73 m ²	
CIRCULATION	45.67 m ²	
CORE	33.83 m ²	
SERVICES	18.91 m ²	
	397.14 m ²	
LEVEL 04		
APARTMENT	299.02 m ²	
CIRCULATION	45.68 m ²	
CORE	33.83 m ²	
SERVICES	19.85 m ²	
	398.37 m ²	
LEVEL 05		
APARTMENT	298.97 m ²	
CIRCULATION	45.67 m ²	

GFA (EXCLUDING BALCONIES AND LANDSCAPE AREAS) OVERALL	
CORE	33.83 m ²
SERVICES	19.88 m ²
	398.35 m ²
LEVEL 06	
APARTMENT	299.91 m ²
CIRCULATION	45.67 m ²
CORE	33.83 m ²
SERVICES	16.82 m ²
	396.22 m ²
LEVEL 07	
APARTMENT	300.97 m ²
CIRCULATION	45.67 m ²
CORE	33.83 m ²
SERVICES	19.82 m ²
	400.29 m ²
LEVEL 08	
APARTMENT	301.35 m ²
CIRCULATION	45.67 m ²
CORE	33.83 m ²
SERVICES	16.82 m ²
	397.66 m ²
LEVEL 09	
APARTMENT	302.14 m ²
CIRCULATION	45.67 m ²
CORE	33.83 m ²
SERVICES	19.85 m ²
	401.49 m ²
LEVEL 10	
APARTMENT	309.65 m ²
CIRCULATION	45.67 m ²
CORE	33.83 m ²
SERVICES	19.88 m ²
	409.03 m ²
LEVEL 11	
APARTMENT	309.14 m ²
CIRCULATION	45.67 m ²
CORE	33.83 m ²
SERVICES	19.85 m ²
	408.48 m ²
LEVEL 12	
APARTMENT	309.11 m ²
CIRCULATION	46.89 m ²
CORE	32.92 m ²
SERVICES	19.57 m ²
	408.49 m ²
LEVEL 13	
APARTMENT	366.65 m ²
CIRCULATION	45.84 m ²
CORE	33.83 m ²
SERVICES	19.88 m ²
	466.19 m ²
LEVEL 14	
APARTMENT	366.65 m ²
CIRCULATION	45.84 m ²
CORE	33.83 m ²
SERVICES	18.91 m ²
	465.22 m ²
LEVEL 15	
APARTMENT	366.65 m ²
CIRCULATION	45.84 m ²
CORE	33.83 m ²
SERVICES	19.88 m ²
	466.19 m ²
LEVEL 16	
APARTMENT	366.65 m ²
CIRCULATION	45.84 m ²

GFA (EXCLUDING BALCONIES AND LANDSCAPE AREAS) OVERALL	
CORE	33.83 m ²
SERVICES	19.88 m ²
	466.19 m ²
LEVEL 17	
APARTMENT	366.65 m ²
CIRCULATION	45.84 m ²
CORE	33.83 m ²
SERVICES	19.88 m ²
	466.19 m ²
LEVEL 18	
APARTMENT	366.65 m ²
CIRCULATION	45.84 m ²
CORE	33.83 m ²
SERVICES	19.88 m ²
	466.19 m ²
LEVEL 19	
APARTMENT	366.65 m ²
CIRCULATION	45.84 m ²
CORE	33.83 m ²
SERVICES	19.88 m ²
	466.19 m ²
LEVEL 20	
APARTMENT	366.65 m ²
CIRCULATION	45.84 m ²
CORE	33.83 m ²
SERVICES	19.88 m ²
	466.19 m ²
LEVEL 21	
APARTMENT	105.13 m ²
CIRCULATION	272.48 m ²
CORE	35.37 m ²
SERVICES	33.83 m ²
	466.19 m ²
LEVEL 22	
APARTMENT	377.35 m ²
CIRCULATION	35.16 m ²
CORE	33.83 m ²
SERVICES	19.39 m ²
	465.72 m ²
ROOF LEVEL	
AMENITY	121.49 m ²
CIRCULATION	27.46 m ²
CORE	33.13 m ²
SERVICES	115.72 m ²
	297.80 m ²
TOTAL GFA	13624.05 m ²

TP - NSA APARTMENTS (EXCLUDING BALCONIES)	
LEVEL	AREA
Not Placed	0 m ²
LEVEL 01	280 m ²
LEVEL 02	328 m ²
LEVEL 03	299 m ²
LEVEL 04	299 m ²
LEVEL 05	299 m ²
LEVEL 06	300 m ²
LEVEL 07	301 m ²
LEVEL 08	301 m ²
LEVEL 09	302 m ²
LEVEL 10	310 m ²
LEVEL 11	309 m ²
LEVEL 12	309 m ²
LEVEL 13	367 m ²
LEVEL 14	367 m ²
LEVEL 15	367 m ²
LEVEL 16	367 m ²
LEVEL 17	367 m ²
LEVEL 18	367 m ²
LEVEL 19	367 m ²
LEVEL 20	367 m ²
LEVEL 21	272 m ²
LEVEL 22	377 m ²
TOTAL NSA	7220 m ²
TP - BALCONY AREAS	
LEVEL	AREA
Not Placed	0 m ²
LEVEL 01	91 m ²
LEVEL 02	231 m ²
LEVEL 03	47 m ²
LEVEL 04	48 m ²
LEVEL 05	49 m ²
LEVEL 06	51 m ²
LEVEL 07	53 m ²
LEVEL 08	55 m ²
LEVEL 09	57 m ²
LEVEL 10	52 m ²
LEVEL 11	55 m ²
LEVEL 12	57 m ²
ROOF LEVEL	162 m ²
TOTAL BALCONY	1007 m ²

TP - AMENITY	
TYPE	AREA
BASEMENT LEVEL 03	
CAR WASH	34.2 m ²
LEVEL 01	
CINEMA	55.9 m ²
DDA WC	6.0 m ²
GAMES ROOM	76.6 m ²
ROOF LEVEL	
COVERED COMMUNAL SPACE	121.5 m ²
TOTAL AMENITY	294.2 m ²

TP - PARKING SCHEDULE	
ALLOCATION	NUMBER
BASEMENT LEVEL 01	
RESIDENTIAL	14
RESIDENTIAL (DDA)	1
	15
BASEMENT LEVEL 02	
RESIDENTIAL	18
	18
BASEMENT LEVEL 03	
RESIDENTIAL	17
	17
TOTAL PARKING	50



TP - BIKE SCHEDULE	
LEVEL	NUMBERS
GROUND FLOOR	4
BASEMENT LEVEL 01	18
BASEMENT LEVEL 02	29
BASEMENT LEVEL 03	29
TOTAL	80

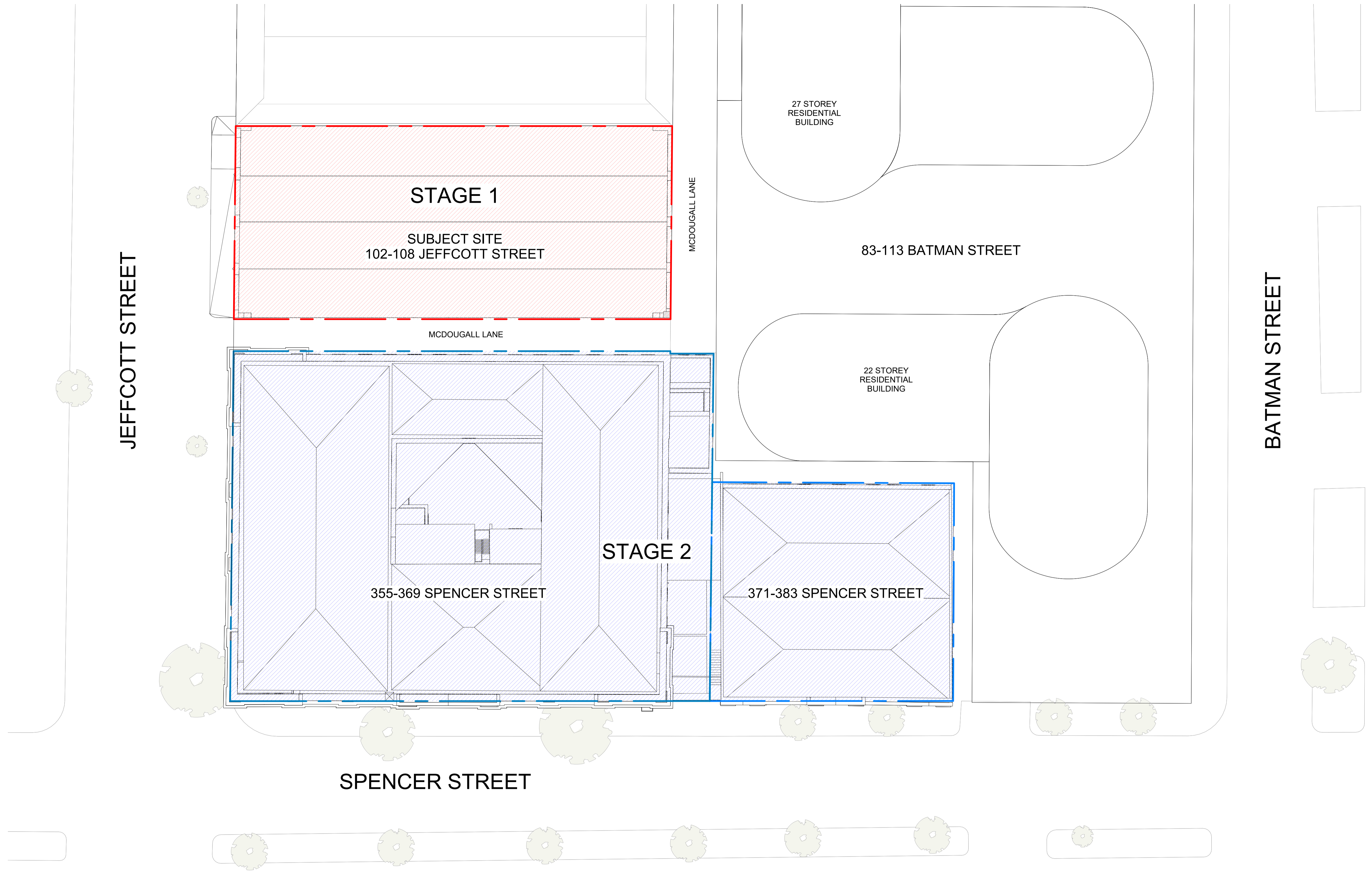
TP - STORE SCHEDULE		
STORE	VOLUME	NUMBER
BASEMENT LEVEL 01		
STORAGE CAGE	2.60 m ³	8
STORAGE CAGE	5.54 m ³	4
STORAGE CAGE	6.34 m ³	4
STORAGE CAGE	10.35 m ³	3
STORAGE CAGE	10.92 m ³	1
STORAGE CAGE	17.66 m ³	2
		22
BASEMENT LEVEL 02		
STORAGE CAGE	2.60 m ³	9
STORAGE CAGE	3.00 m ³	3
STORAGE CAGE	10.92 m ³	5
		17
BASEMENT LEVEL 03		
STORAGE CAGE	2.60 m ³	9
STORAGE CAGE	3.00 m ³	2
STORAGE CAGE	10.92 m ³	4
		15
TOTAL STORES		54

TP - APARTMENT BREAKDOWN	
UNIT TYPE	NUMBER
Not Placed	
1 BED & 1 BATH	1
LEVEL 01	
1 BED & 1 BATH	2
1 BED & 1 BATH + STUDY	1
2 BED & 2 BATH	1
2 BED & 2 BATH + STUDY	5
LEVEL 02	
1 BED & 1 BATH	3
1 BED & 1 BATH + STUDY	1
2 BED & 2 BATH	1
2 BED & 2 BATH + STUDY	5
LEVEL 03	
1 BED & 1 BATH	4
1 BED & 1 BATH + STUDY	1
2 BED & 2 BATH	1
2 BED & 2 BATH + STUDY	5
LEVEL 04	
1 BED & 1 BATH	4
1 BED & 1 BATH + STUDY	1
2 BED & 2 BATH	1
2 BED & 2 BATH + STUDY	1
LEVEL 05	
1 BED & 1 BATH	4
2 BED & 2 BATH	1
	5
LEVEL 06	
1 BED & 1 BATH	4
2 BED & 2 BATH	1
	5
LEVEL 07	
1 BED & 1 BATH	4
2 BED & 2 BATH	1
	5
LEVEL 08	
1 BED & 1 BATH	4
2 BED & 2 BATH	1
	5
LEVEL 09	
1 BED & 1 BATH	3
1 BED & 1 BATH + STUDY	1
2 BED & 2 BATH	1
	5
LEVEL 10	
1 BED & 1 BATH	3
1 BED & 1 BATH + STUDY	1
2 BED & 2 BATH	1
	5
LEVEL 11	
1 BED & 1 BATH	3
1 BED & 1 BATH + STUDY	1
2 BED & 2 BATH	1
	5
LEVEL 12	
1 BED & 1 BATH	3
1 BED & 1 BATH + STUDY	1
2 BED & 2 BATH	1
	5
LEVEL 13	
1 BED & 1 BATH	2
1 BED & 1 BATH + STUDY	1
2 BED & 2 BATH	1
2 BED & 2 BATH + STUDY	1
	5
LEVEL 14	
1 BED & 1 BATH	2
1 BED & 1 BATH + STUDY	1
2 BED & 2 BATH	1
2 BED & 2 BATH + STUDY	1
	5
LEVEL 15	
1 BED & 1 BATH	2
1 BED & 1 BATH + STUDY	1
2 BED & 2 BATH	1
2 BED & 2 BATH + STUDY	1
	5
LEVEL 16	

TP - APARTMENT BREAKDOWN	
UNIT TYPE	NUMBER
1 BED & 1 BATH	2
1 BED & 1 BATH + STUDY	1
2 BED & 2 BATH	1
2 BED & 2 BATH + STUDY	1
LEVEL 17	
1 BED & 1 BATH	2
1 BED & 1 BATH + STUDY	1
2 BED & 2 BATH	1
2 BED & 2 BATH + STUDY	1
LEVEL 18	
1 BED & 1 BATH	2
1 BED & 1 BATH + STUDY	1
2 BED & 2 BATH	1
2 BED & 2 BATH + STUDY	1
LEVEL 19	
1 BED & 1 BATH	2
1 BED & 1 BATH + STUDY	1
2 BED & 2 BATH	1
2 BED & 2 BATH + STUDY	1
LEVEL 20	
1 BED & 1 BATH	2
1 BED & 1 BATH + STUDY	1
2 BED & 2 BATH	1
2 BED & 2 BATH + STUDY	1
LEVEL 21	
1 BED & 1 BATH + STUDY	1
2 BED & 2 BATH	1
3 BED & 2 BATH	2
	4
LEVEL	

STAGING LEGEND

	STAGE 1
	STAGE 2



1 STAGING DIAGRAM
SCALE 1 : 200

20/02/2022 2:20:52 PM



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Project **102-108 JEFFCOTT STREET, WEST MELBOURNE**
102-108 JEFFCOTT STREET, WEST MELBOURNE.

Client **BLUE EARTH GROUP**

No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title **STAGING DIAGRAM**

Sheet **PRELIMINARY
NOT FOR CONSTRUCTION**

TOWN PLANNING


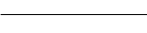


Sheet No. **TP0.102** Revision **C**

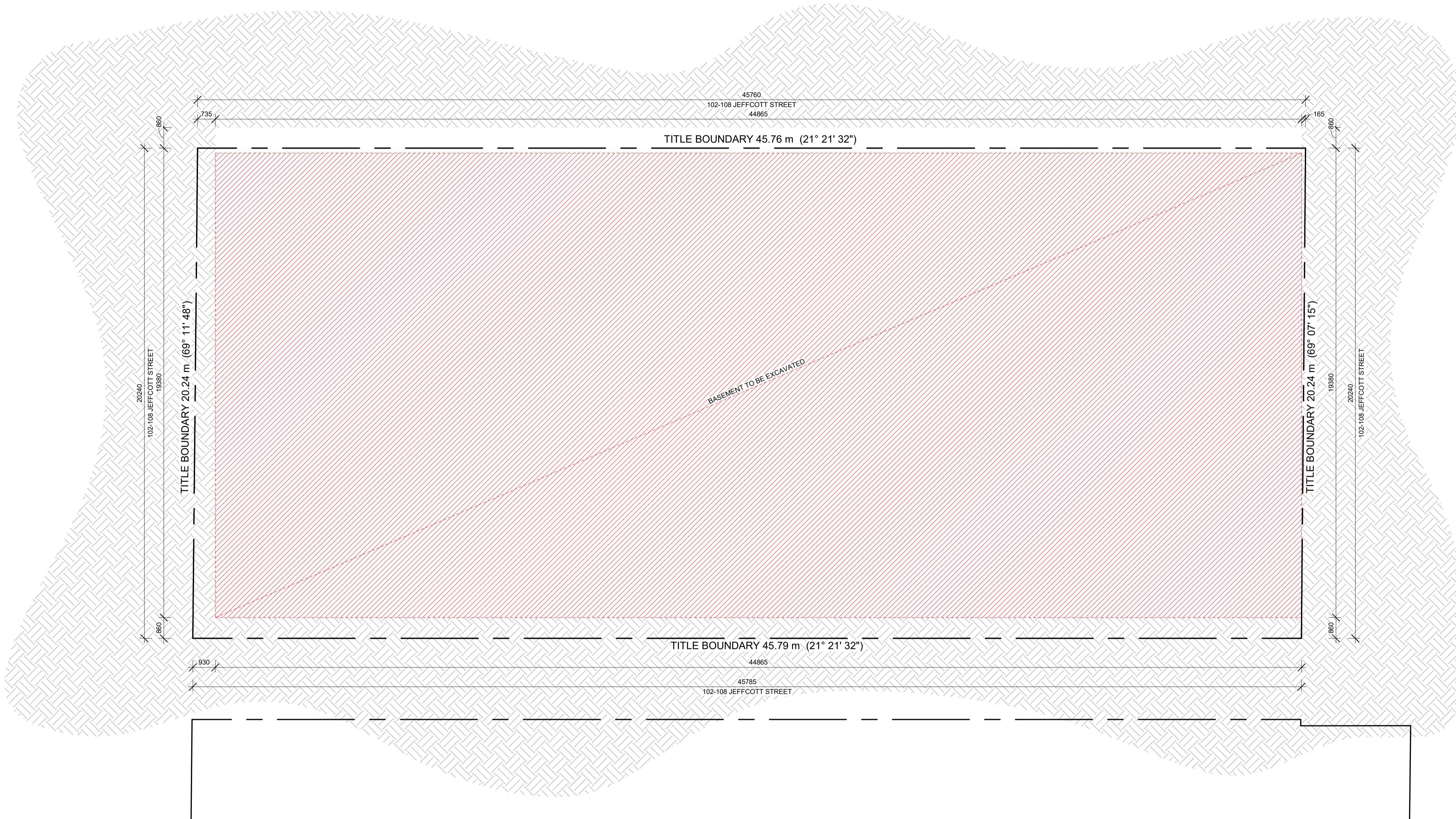
Scale **As indicated at A1**

Date **11/03/2022**

20020

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DEMOLITION PLAN LEGEND	
	EXISTING WALLS TO REMAIN
	EXISTING ELEMENTS TO REMAIN
	EXISTING WALLS TO BE DEMOLISHED
	EXISTING ELEMENTS TO BE DEMOLISHED



20/02/2022 - 14:03:03 / 2022 2:21:06 PM



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Project

102-108 JEFFCOTT STREET, WEST MELBOURNE
102-108 JEFFCOTT STREET, WEST MELBOURNE.

Client

BLUE EARTH GROUP

Amendments

No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
S	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title

EXISTING & DEMOLITION PLAN -
BASEMENT 01-03

Sheet

PRELIMINARY
NOT FOR CONSTRUCTION

TOWN PLANNING

Sheet No.

TP1.001

Revision

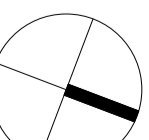
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Scale

1 : 100 at A1

Date

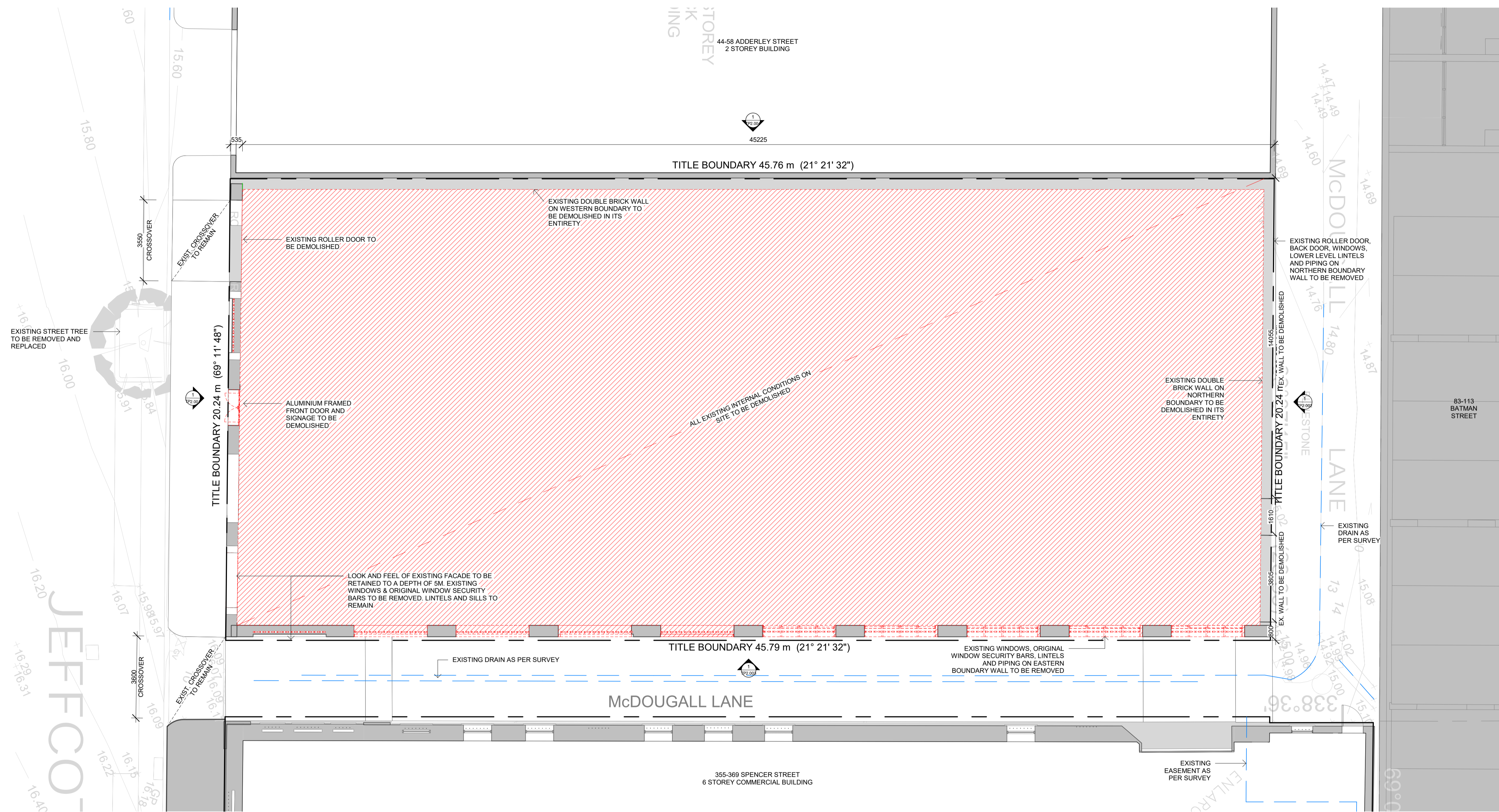
11/03/2022



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DEMOLITION PLAN LEGEND	
	EXISTING WALLS TO REMAIN
	EXISTING ELEMENTS TO REMAIN
	EXISTING WALLS TO BE DEMOLISHED
	EXISTING ELEMENTS TO BE DEMOLISHED



20020-34/03/2022 2:21:21 PM



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Project

102-108 JEFFCOTT STREET, WEST MELBOURNE
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Client

BLUE EARTH GROUP

Amendments

No.	Date	Notes
A	22.01.2021	TOWN PLANNING AMENDMENT
B	11.03.2022	TOWN PLANNING AMENDMENT REV B

Title

EXISTING & DEMOLITION PLAN -
GROUND FLOOR

Sheet

PRELIMINARY
NOT FOR CONSTRUCTION

TOWN PLANNING

Sheet No.

TP1.003

Revision

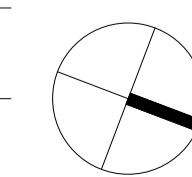
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Scale

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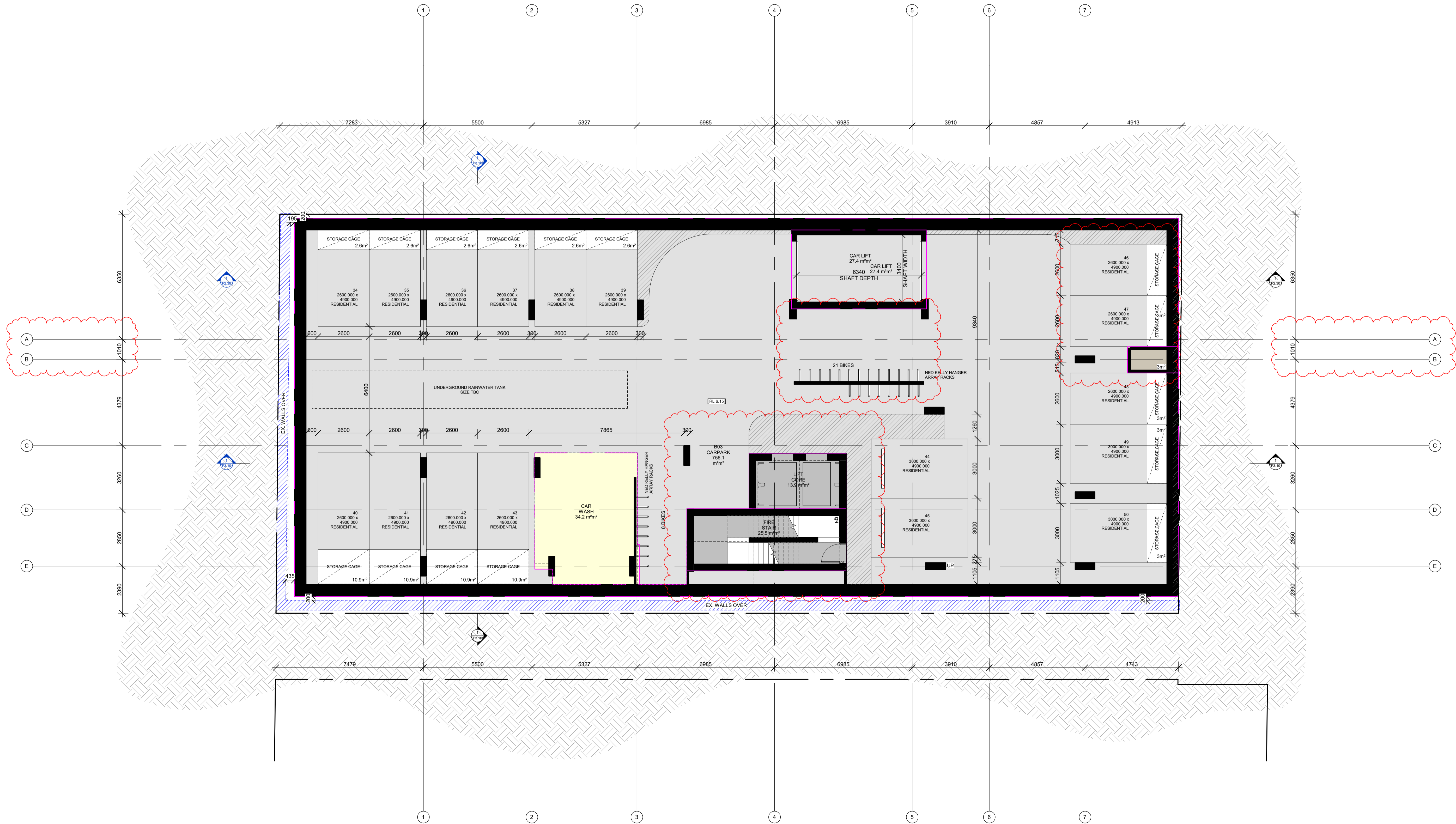
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UNIT DESCRIPTION

- AMENITY
- CARPARK
- CORE
- SERVICES



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 Client
BLUE EARTH GROUP

Amendments		
No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title
OVERALL PLAN - BASEMENT 03
 Sheet
PRELIMINARY
NOT FOR CONSTRUCTION

TOWN PLANNING

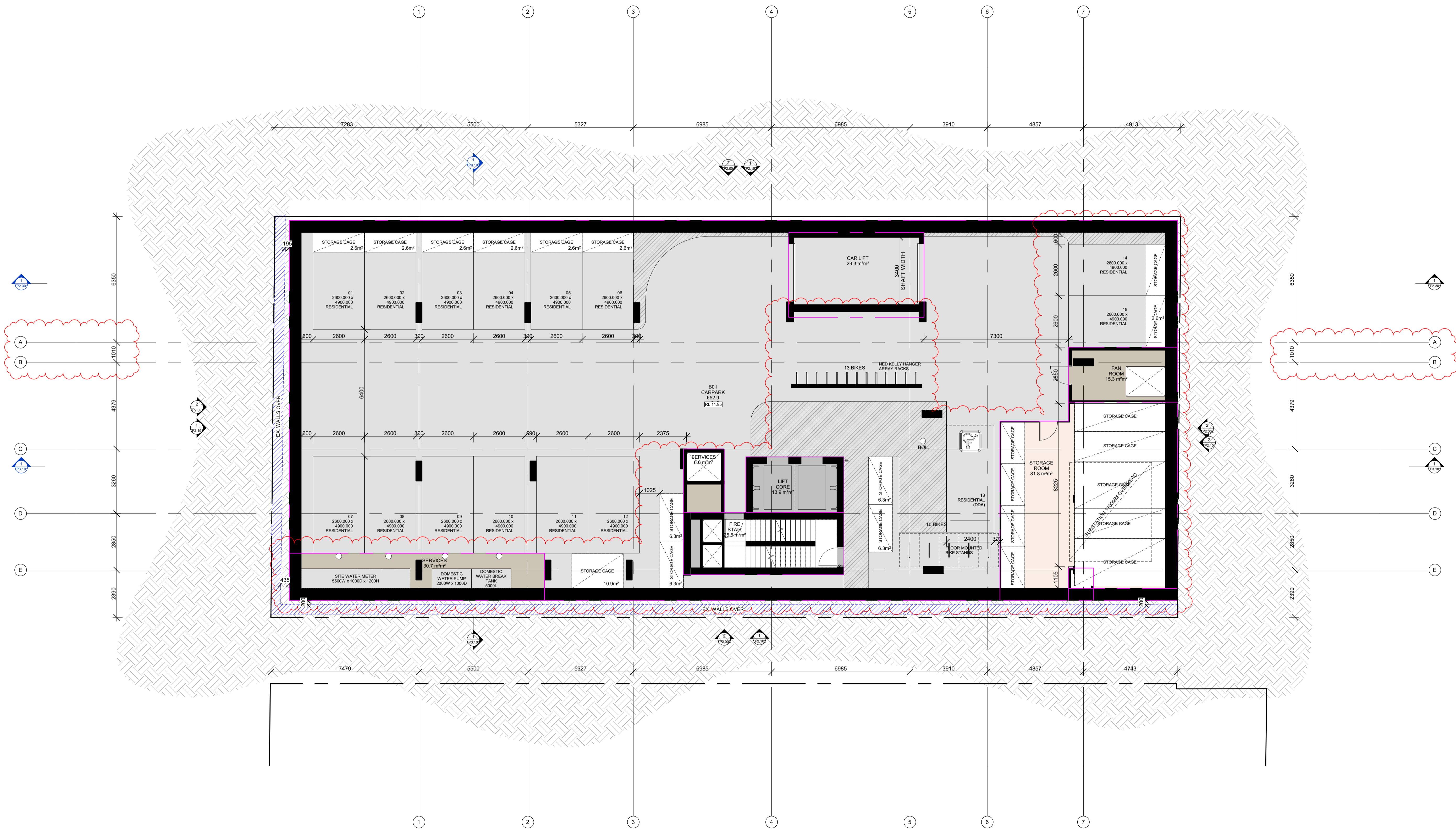
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11/03/2022

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UNIT DESCRIPTION

- CARPARK
- CORE
- SERVICES
- STORAGE

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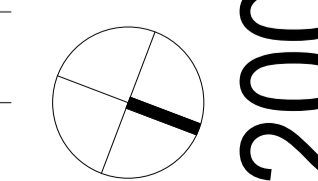
Project
102-108 JEFFCOTT STREET, WEST MELBOURNE
102-108 JEFFCOTT STREET, WEST MELBOURNE.
Client
BLUE EARTH GROUP

Amendments		
No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title
OVERALL PLAN - BASEMENT 01
Sheet
PRELIMINARY
NOT FOR CONSTRUCTION

TOWN PLANNING

Sheet No. **TP1.103** Revision **C**
Scale
1 : 100 at **A1**
Date
11/03/2022



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- UNIT DESCRIPTION
- CARPARK
 - CIRCULATION
 - COMMERCIAL RETAIL
 - CORE
 - FOH
 - PUBLIC ZONE
 - RETAIL
 - SERVICES

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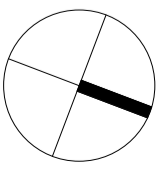
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Client
BLUE EARTH GROUP

Amendments	
No.	Date
A	22/01/2021
B	10/05/2021
C	11/03/2022

Title
OVERALL PLAN - GROUND
Sheet
PRELIMINARY
NOT FOR CONSTRUCTION

TOWN PLANNING
Sheet No. **TP1.104** Revision **C**
Scale **1:100** at **A1**
Date **11/03/2022**
20020



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- UNIT DESCRIPTION
- 1 BED & 1 BATH
 - 1 BED & 1 BATH + STUDY
 - 2 BED & 2 BATH
 - AMENITY
 - BALCONY
 - CIRCULATION
 - CORE
 - RETAIL
 - SERVICES



ADJACENT DEVELOPMENT CARPARK



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 Client
BLUE EARTH GROUP

No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	10/05/2021	DEVELOPER
C	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title
OVERALL PLAN - LEVEL 01
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PRELIMINARY
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TOWN PLANNING

Sheet No. **TP1.104AC** Revision **20020**

Scale **1 : 100** at **A1**

Date **11/03/2022**

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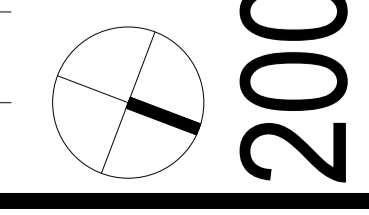
Project **102-108 JEFFCOTT STREET, WEST MELBOURNE**
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 Client **BLUE EARTH GROUP**

No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	10/05/2021	DEVELOPER
	23/11/2021	STRUCTURE COORDINATION
	02/12/2021	STRUCTURE & SERVICES COORDINATION
	09/12/2021	CONSULTANTS ISSUE
	15/12/2021	DISCUSSION ISSUE
	21/01/2022	CONSULTANTS ISSUE
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	11/03/2022	TOWN PLANNING AMENDMENT REV B

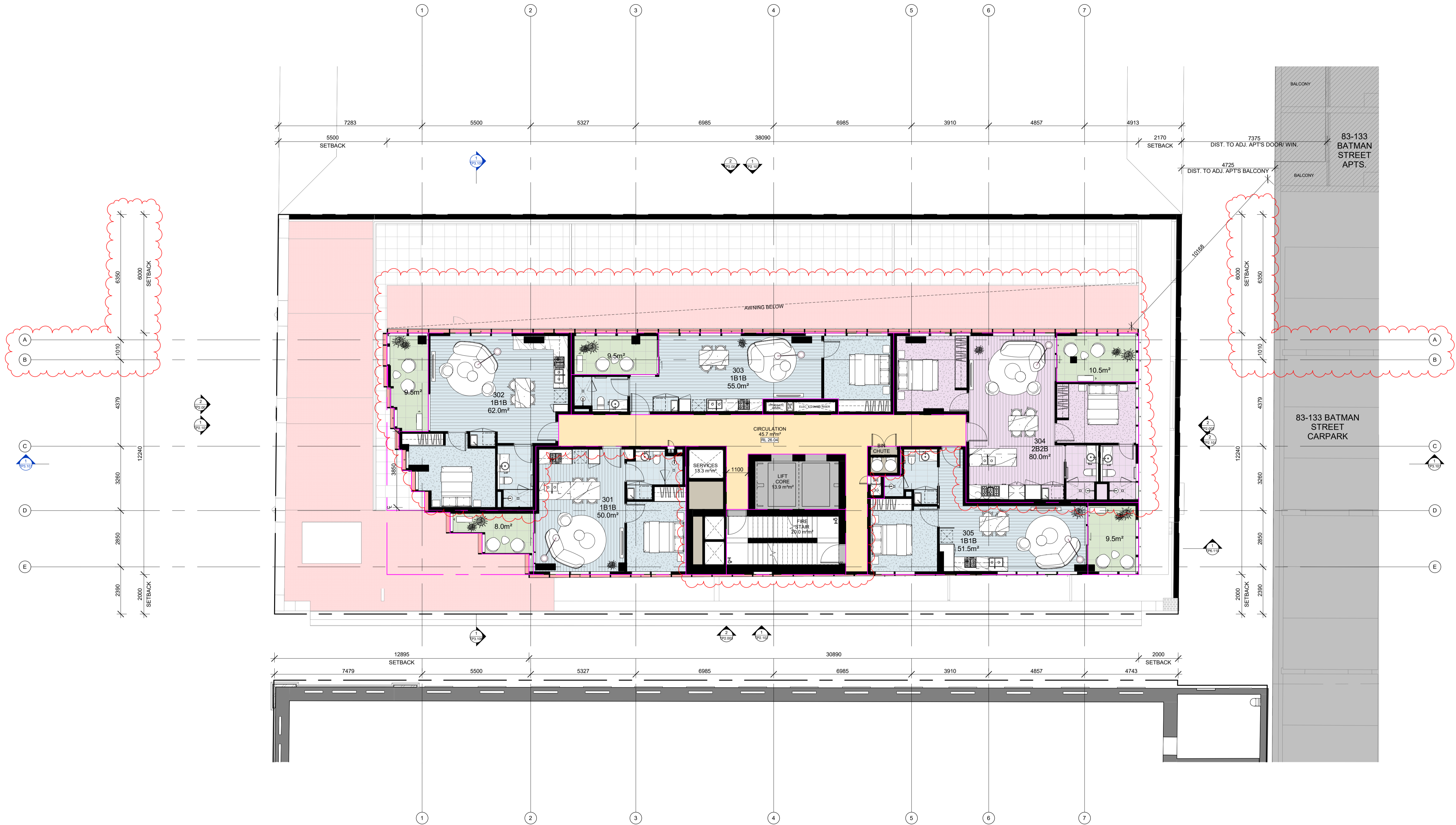
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 Sheet **PRELIMINARY**
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TOWN PLANNING

Sheet No. **TP1.105** Revision **C**
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 Date **11/03/2022**



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Amendments

No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	10/05/2021	DRAWING REVISION
	23/11/2021	STRUCTURE COORDINATION
	02/12/2021	STRUCTURE & SERVICES COORDINATION
	09/12/2021	CONSULTANTS ISSUE
	15/12/2021	DISCUSSION ISSUE
	21/01/2022	CONSULTANTS ISSUE
	25/01/2022	CONSULTANTS ISSUE
	04/02/2022	TP PRELIM REVIEW ISSUE
	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title

OVERALL PLAN - LEVEL 03

Sheet

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Sheet No. Revision

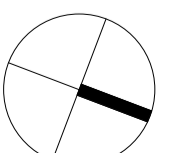
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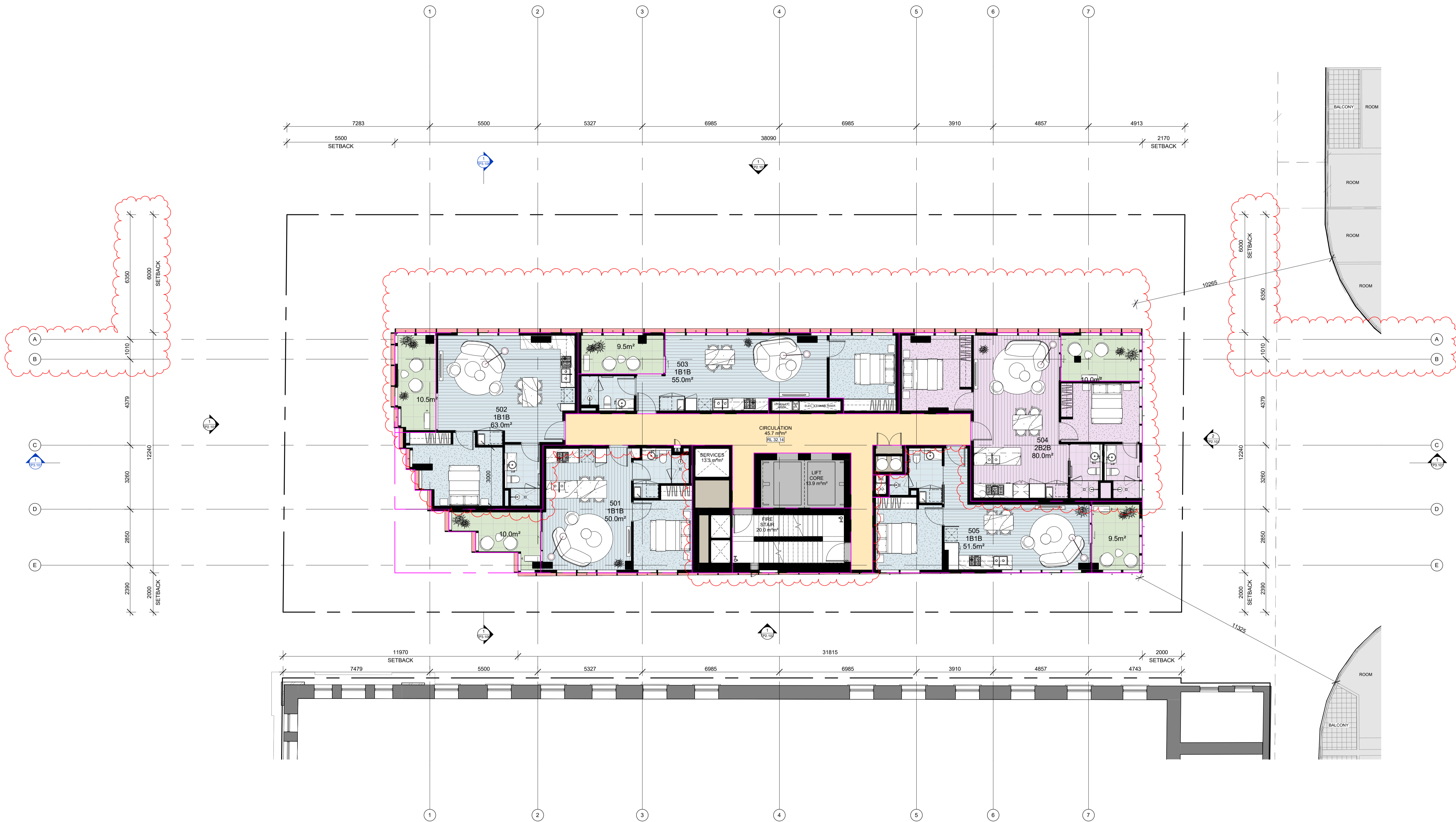
Date

11/03/2022



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UNIT DESCRIPTION

- 1 BED & 1 BATH
- 2 BED & 2 BATH
- BALCONY
- CIRCULATION
- CORE
- SERVICES

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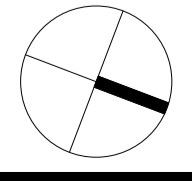
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 Client **BLUE EARTH GROUP**

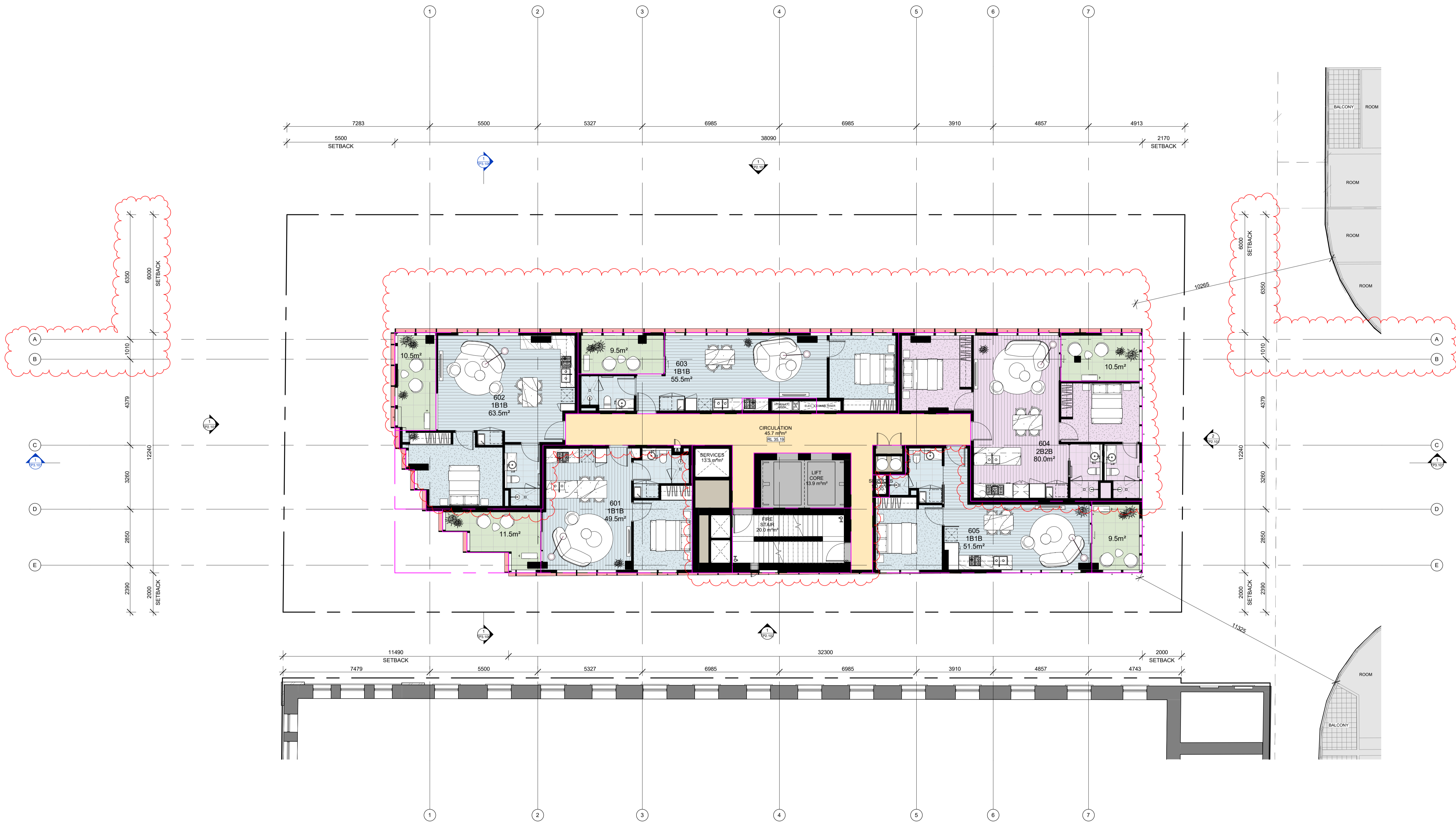
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	02/12/2021	STRUCTURE & SERVICES COORDINATION
	09/12/2021	CONSULTANTS ISSUE
	15/12/2021	DISCUSSION ISSUE
	21/01/2022	CONSULTANTS ISSUE
	25/01/2022	CONSULTANTS ISSUE
	04/02/2022	TP PRELIM REVIEW ISSUE
	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title **OVERALL PLAN - LEVEL 05**
 Sheet **PRELIMINARY**
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TOWN PLANNING
 Sheet No. **TP1.108** Revision **C**
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 Date **11/03/2022**



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Project
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 Client
BLUE EARTH GROUP

No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	10/05/2021	DEVELOPER
	23/11/2021	STRUCTURE COORDINATION
	02/12/2021	STRUCTURE & SERVICES COORDINATION
	09/12/2021	CONSULTANTS ISSUE
	15/12/2021	DISCUSSION ISSUE
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	25/01/2022	CONSULTANTS ISSUE
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	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title
OVERALL PLAN - LEVEL 06
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PRELIMINARY
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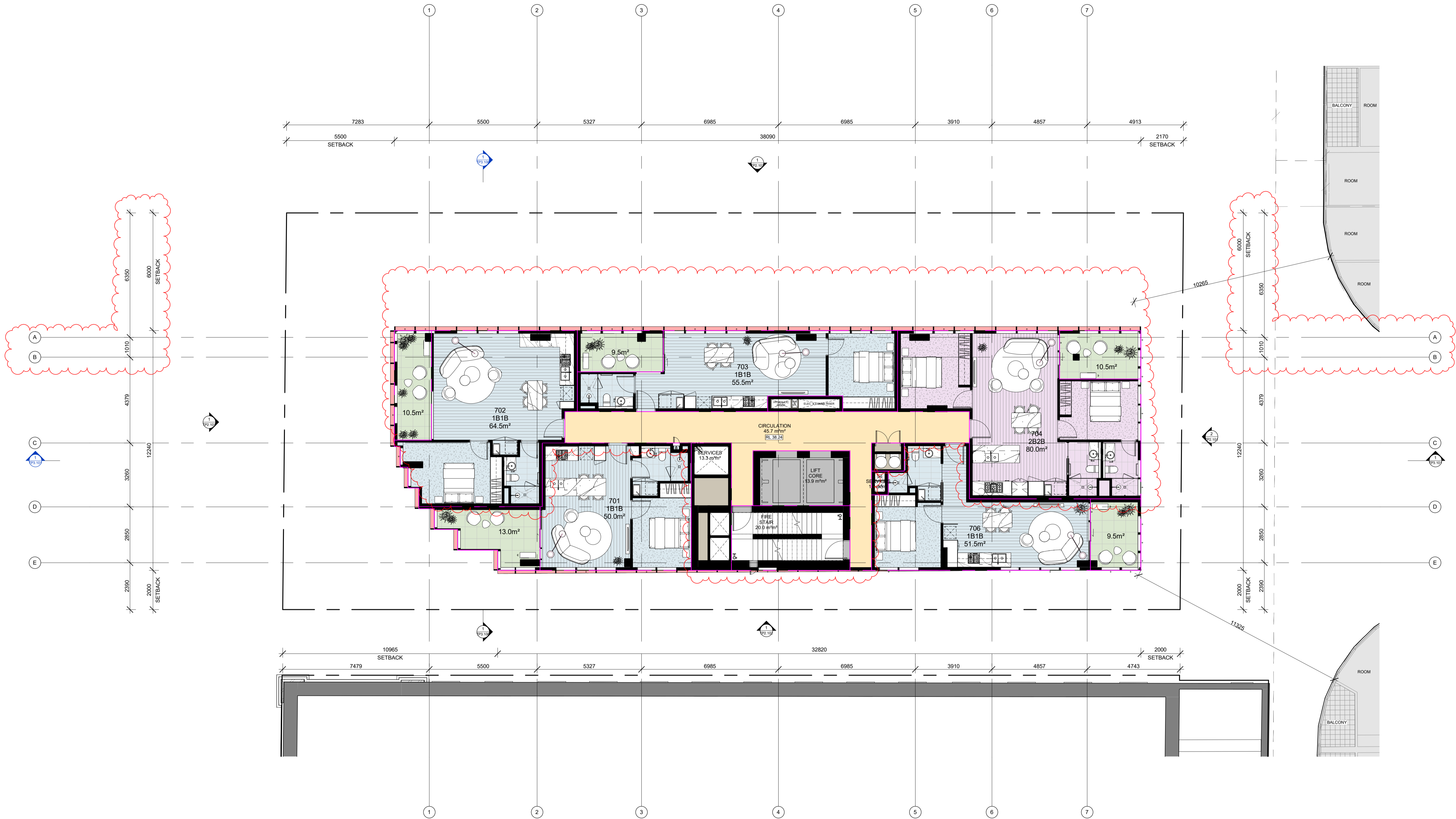
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Date
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Project **102-108 JEFFCOTT STREET, WEST MELBOURNE**
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 Client **BLUE EARTH GROUP**

No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	10/05/2021	DEVELOPER
	23/11/2021	STRUCTURE COORDINATION
	02/12/2021	STRUCTURE & SERVICES COORDINATION
	09/12/2021	CONSULTANTS ISSUE
	15/12/2021	DISCUSSION ISSUE
	21/01/2022	CONSULTANTS ISSUE
	25/01/2022	CONSULTANTS ISSUE
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Title **OVERALL PLAN - LEVEL 07**
 Sheet **PRELIMINARY**
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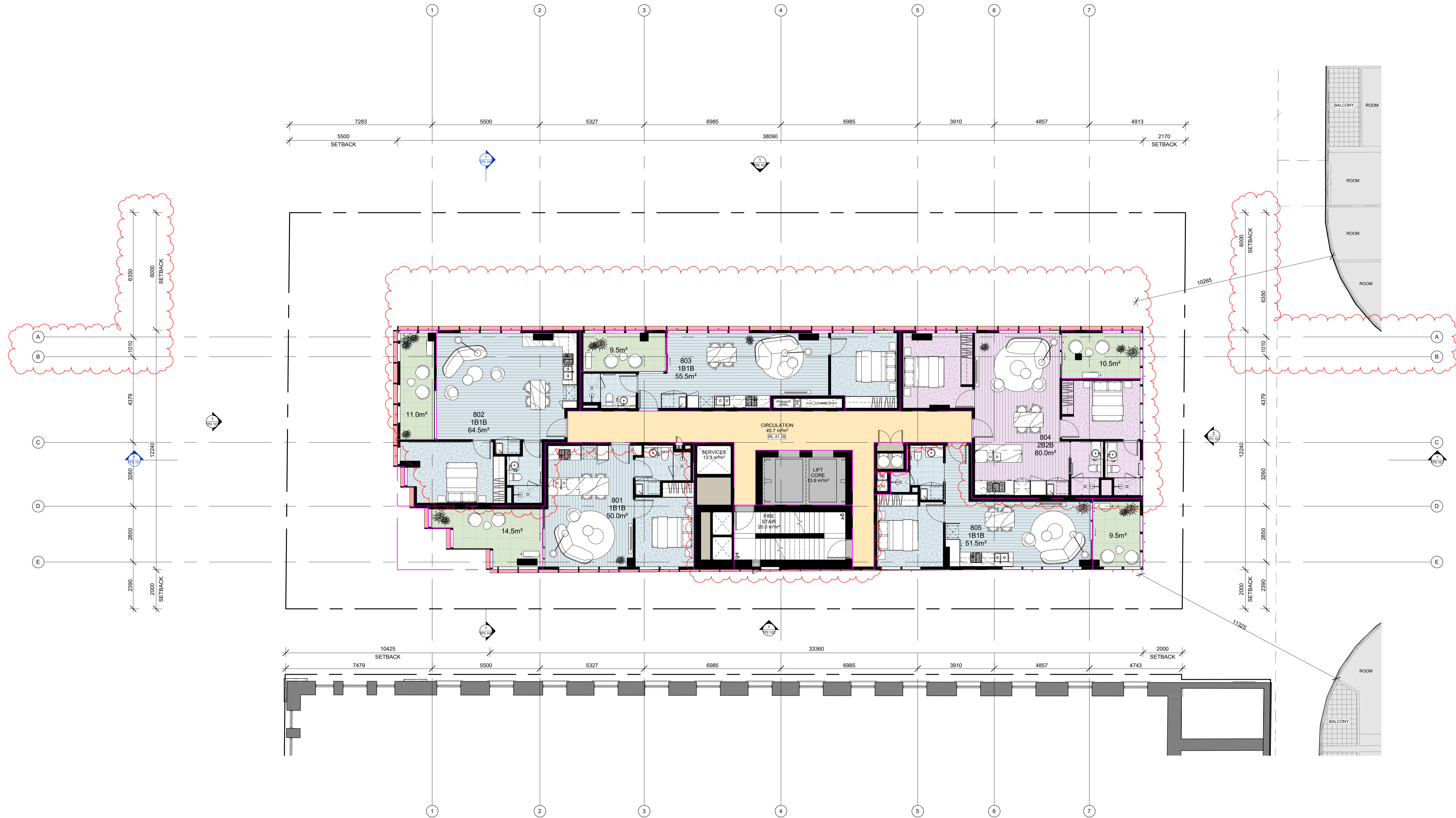
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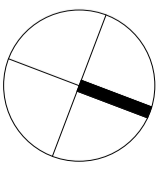
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Project
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102-108 JEFFCOTT STREET, WEST MELBOURNE.
Client
BLUE EARTH GROUP

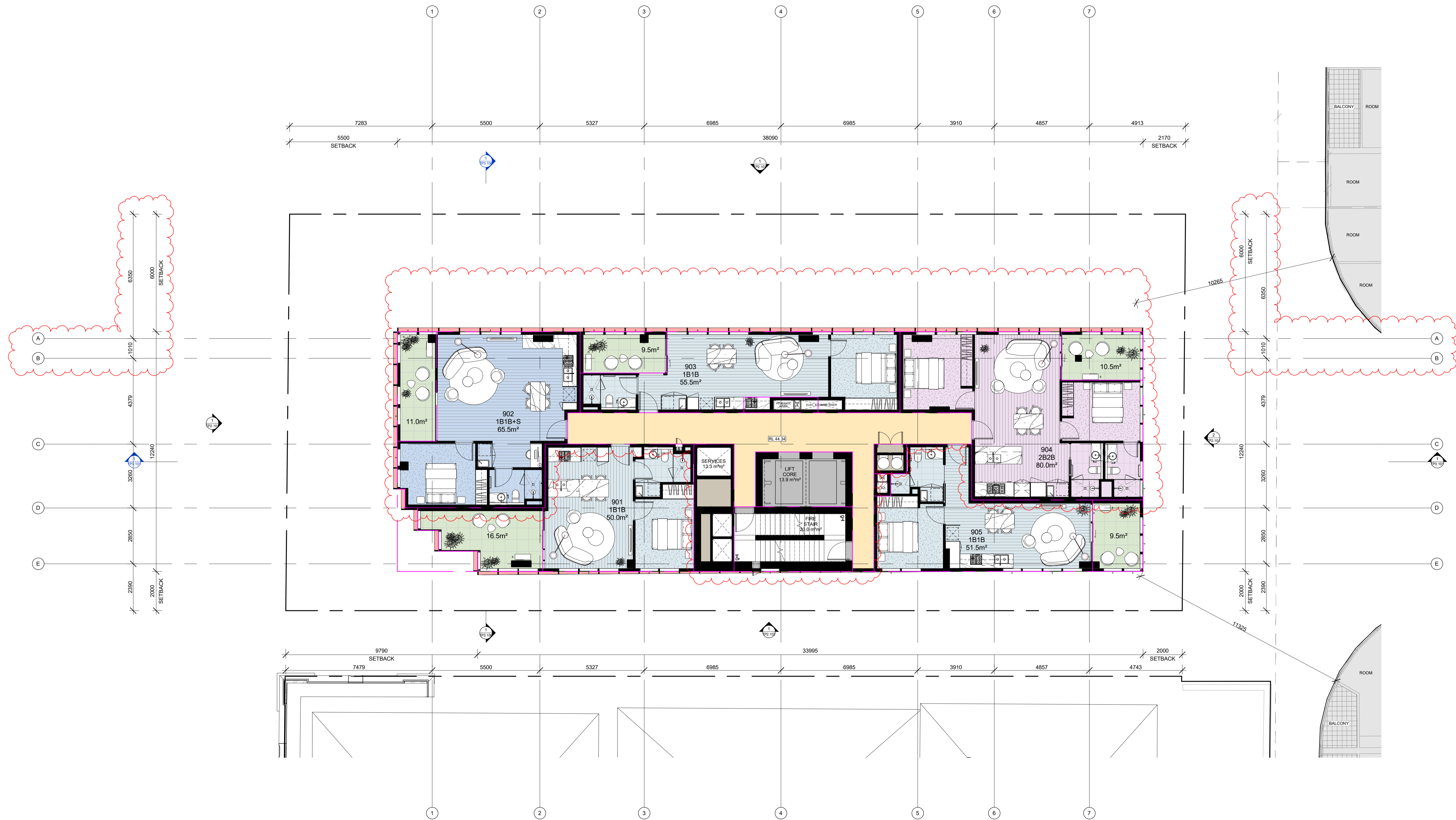
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B	10/05/2021	DEVELOPER
	23/11/2021	STRUCTURE COORDINATION
	02/12/2021	STRUCTURE & SERVICES COORDINATION
	09/12/2021	CONSULTANTS ISSUE
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	04/02/2022	TP PRELIM REVIEW ISSUE
	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title
OVERALL PLAN - LEVEL 08
Sheet
PRELIMINARY
NOT FOR CONSTRUCTION

TOWN PLANNING
Sheet No. **TP1.111** Revision **C**
Scale **1:100** at **A1**
Date **11/03/2022**



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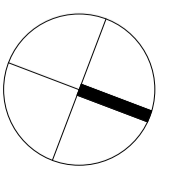
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Project
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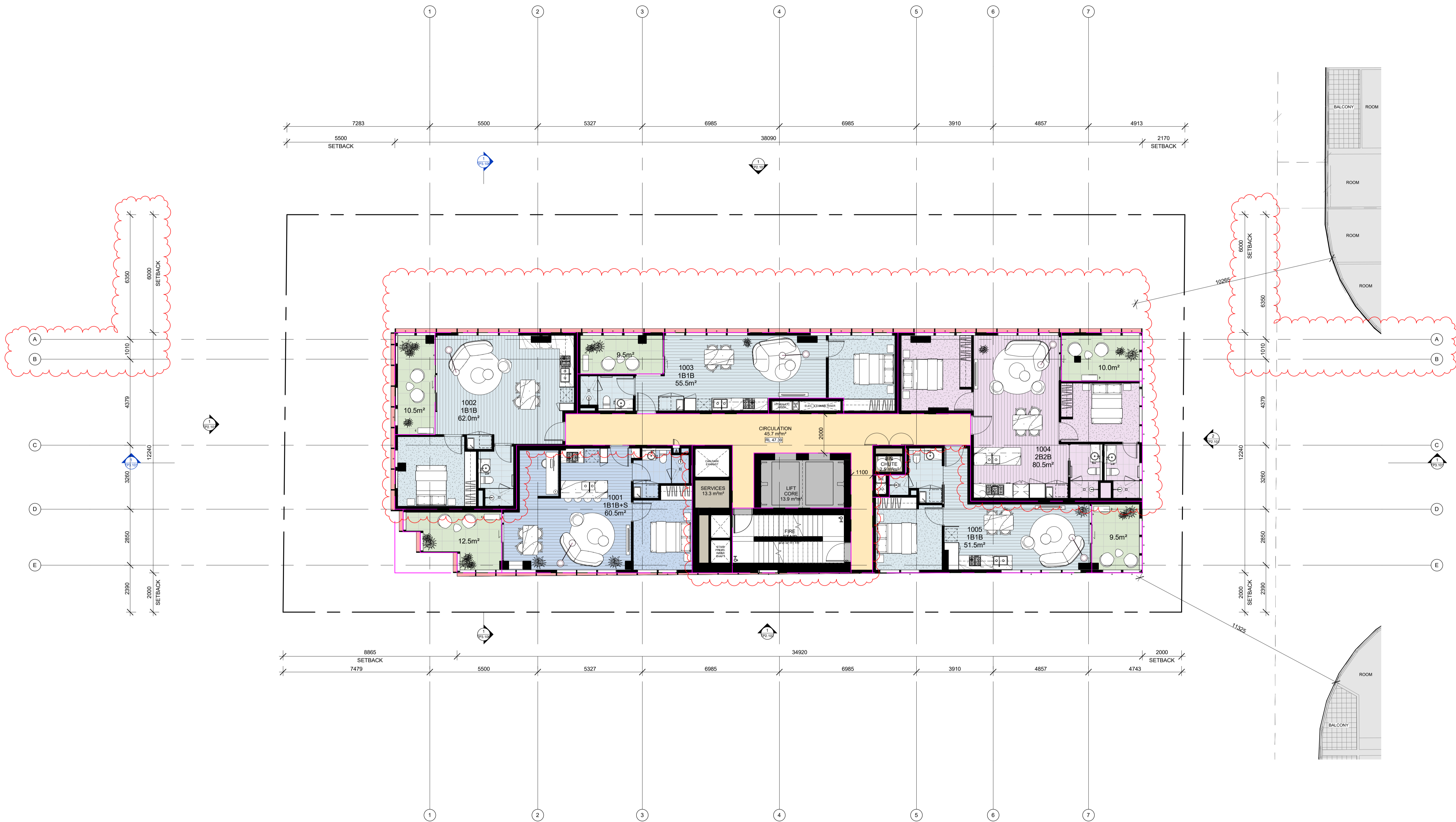
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B	10/05/2021	DEVELOPER
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	Dwg. 14	TP PRELIM REVIEW ISSUE
	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title
OVERALL PLAN - LEVEL 09
Sheet
PRELIMINARY
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TOWN PLANNING
Sheet No. **TP1.112 C**
Revision **20020**
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1 : 100 at A1
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Client
BLUE EARTH GROUP

No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	10/05/2021	DEVELOPER
	23/11/2021	STRUCTURE COORDINATION
	02/12/2021	STRUCTURE & SERVICES COORDINATION
	09/12/2021	CONSULTANTS ISSUE
	15/12/2021	DISCUSSION ISSUE
	21/01/2022	CONSULTANTS ISSUE
	25/01/2022	CONSULTANTS ISSUE
	Draft 14	TP PRELIM REVIEW ISSUE
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Title
OVERALL PLAN - LEVEL 10

Sheet
PRELIMINARY
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TOWN PLANNING

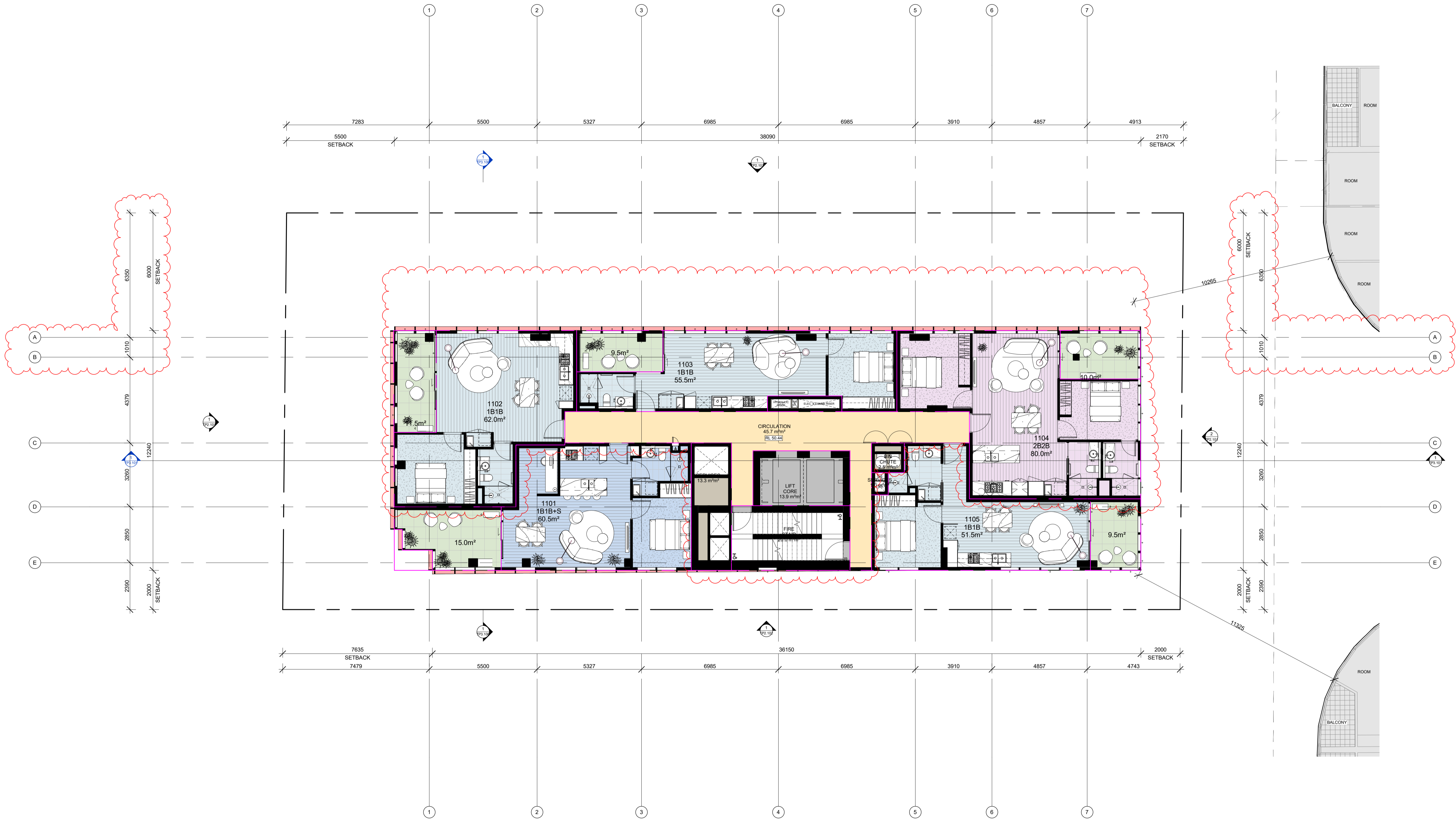
Sheet No. **TP1.113** Revision **C**

Scale
1 : 100 at **A1**

Date
11/03/2022

20020

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- UNIT DESCRIPTION
- 1 BED & 1 BATH
 - 1 BED & 1 BATH + STUDY
 - 2 BED & 2 BATH
 - BALCONY
 - CIRCULATION
 - CORE
 - SERVICES



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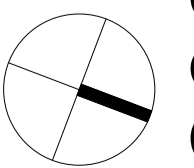
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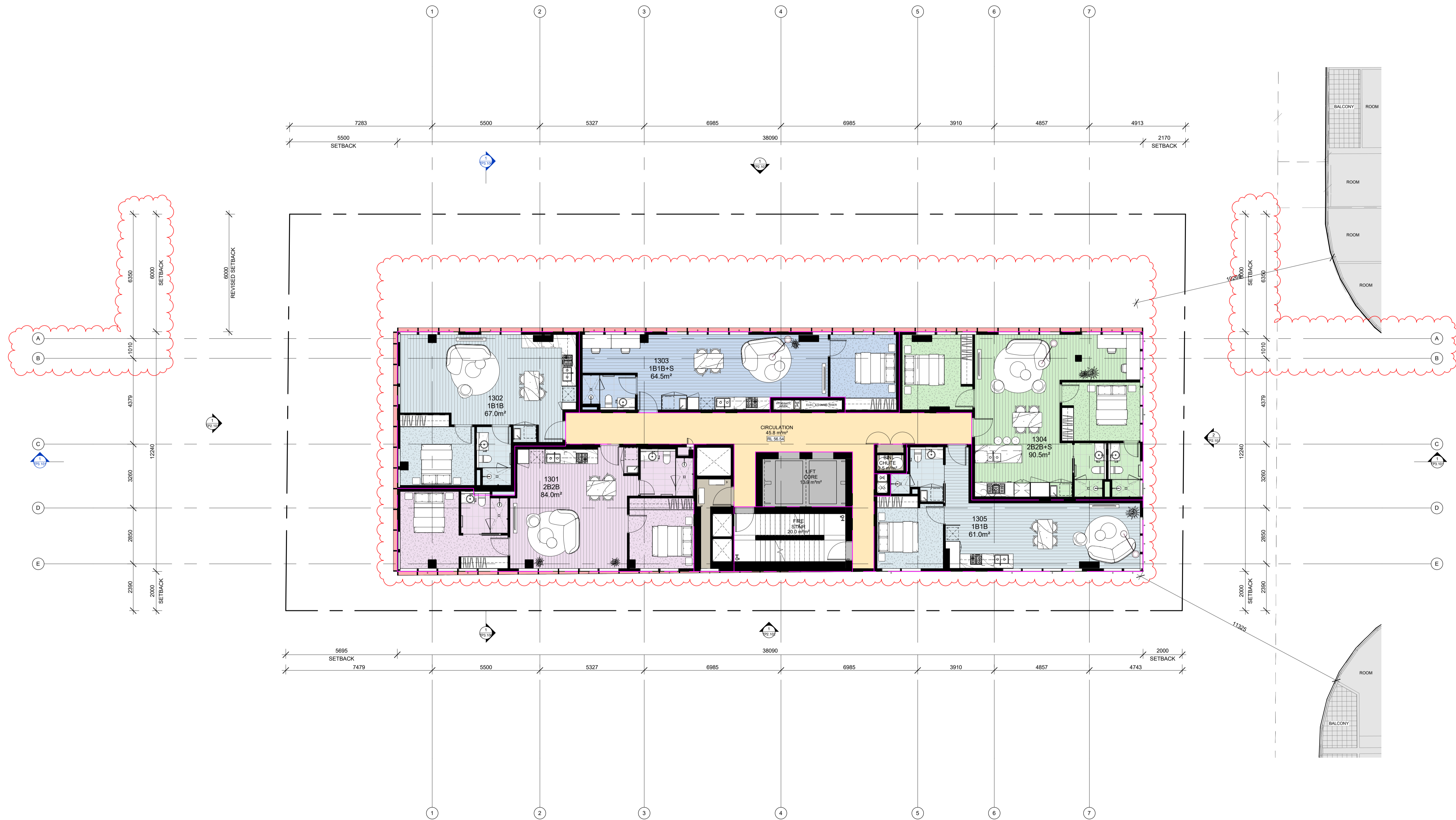
Project
102-108 JEFFCOTT STREET, WEST MELBOURNE
102-108 JEFFCOTT STREET, WEST MELBOURNE.
Client
BLUE EARTH GROUP

No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	10/05/2021	DEVELOPER
	23/11/2021	STRUCTURE COORDINATION
	02/12/2021	STRUCTURE & SERVICES COORDINATION
	09/12/2021	CONSULTANTS ISSUE
	15/12/2021	DISCUSSION ISSUE
	21/01/2022	CONSULTANTS ISSUE
	25/01/2022	CONSULTANTS ISSUE
	04/04/22	TP PRELIM REVIEW ISSUE
	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title
OVERALL PLAN - LEVEL 11
Sheet
PRELIMINARY
NOT FOR CONSTRUCTION

TOWN PLANNING
Sheet No. **TP1.114** C
Revision **20020**
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1 : 100 at A1
Date
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Project
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Client
BLUE EARTH GROUP

No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	10/05/2021	DEVELOPER
	23/11/2021	STRUCTURE COORDINATION
	02/12/2021	STRUCTURE & SERVICES COORDINATION
	09/12/2021	CONSULTANTS ISSUE
	15/12/2021	DISCUSSION ISSUE
	21/01/2022	CONSULTANTS ISSUE
	25/01/2022	CONSULTANTS ISSUE
	Dwg. 14	TP PRELIM REVIEW ISSUE
	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title
OVERALL PLAN - LEVEL 13

Sheet
PRELIMINARY
NOT FOR CONSTRUCTION

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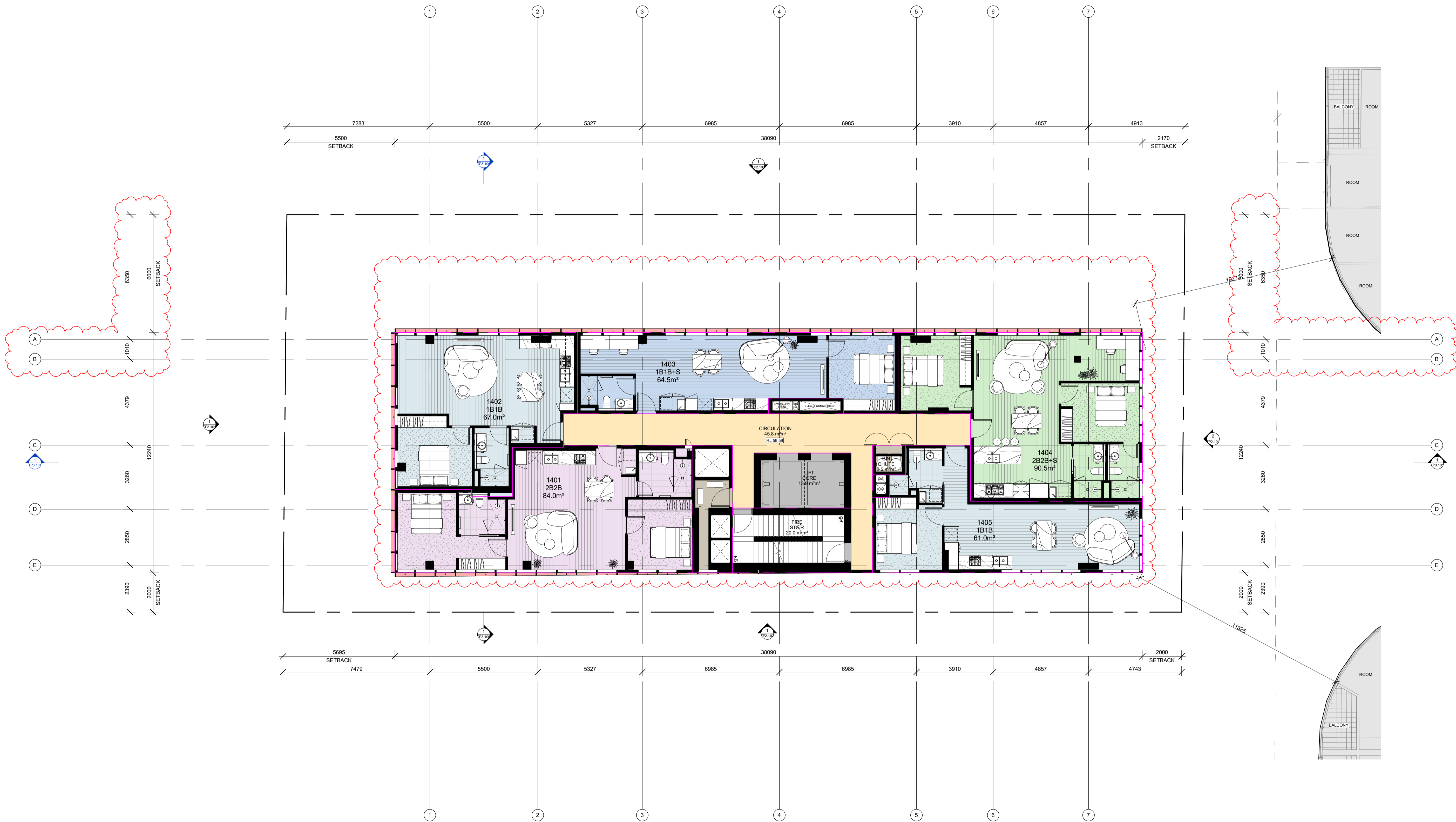
Sheet No. **TP1.116** Revision **C**

Scale
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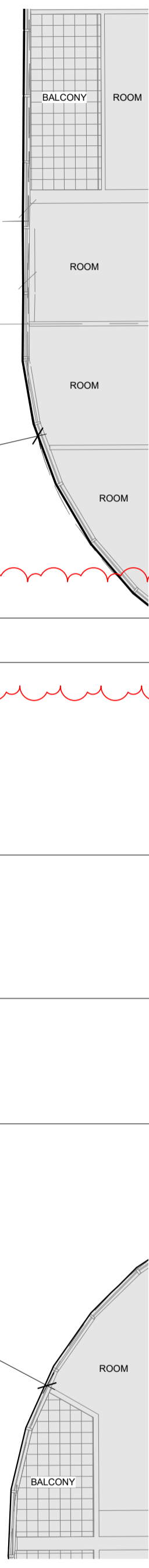
Date
11/03/2022

20020

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- UNIT DESCRIPTION**
- 1 BED & 1 BATH
 - 1 BED & 1 BATH + STUDY
 - 2 BED & 2 BATH
 - 2 BED & 2 BATH + STUDY
 - CIRCULATION
 - CORE
 - SERVICES



TOWN PLANNING



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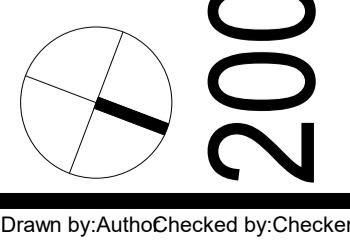
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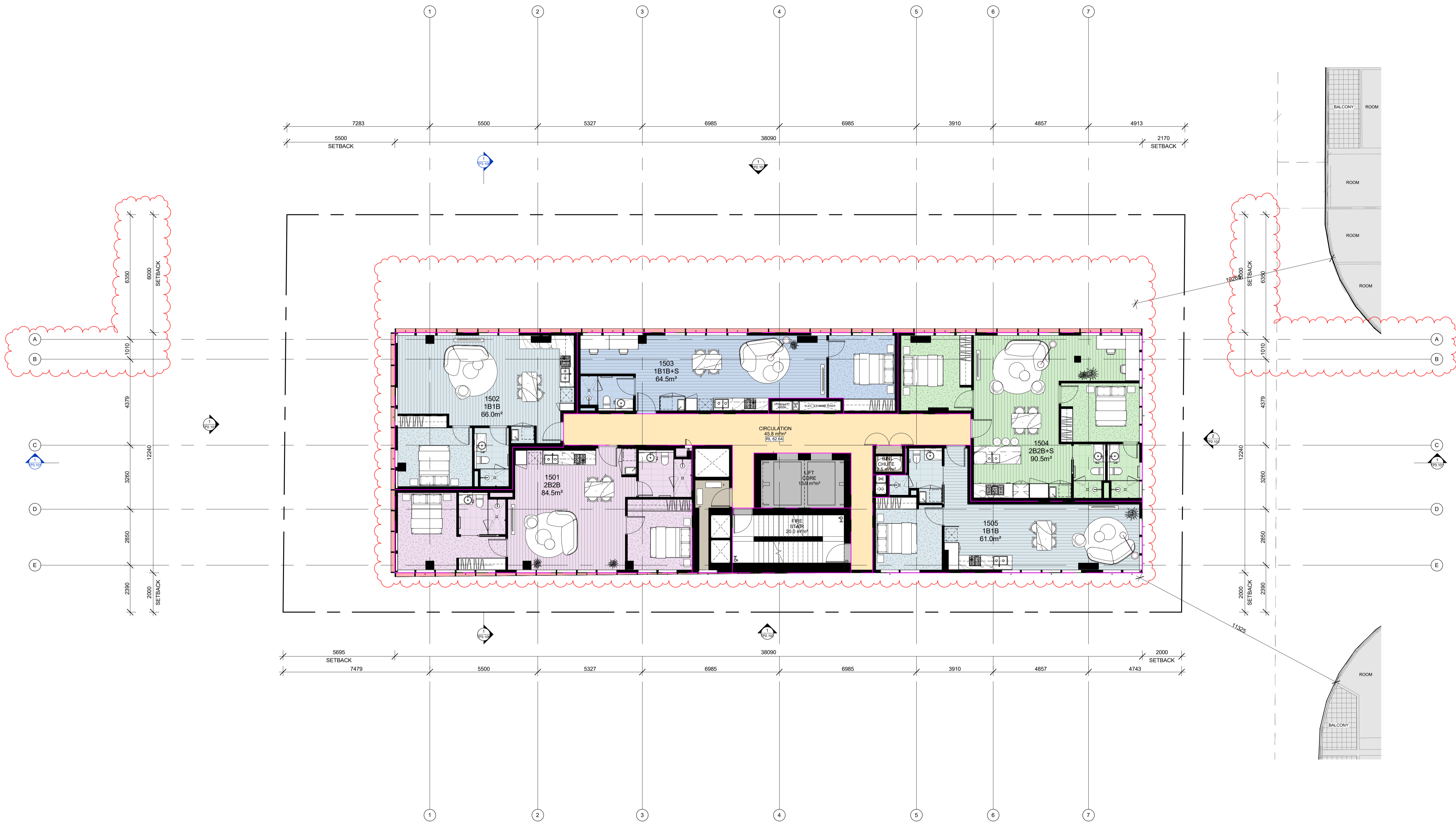
Project **102-108 JEFFCOTT STREET, WEST MELBOURNE**
 102-108 JEFFCOTT STREET, WEST MELBOURNE.
 Client **BLUE EARTH GROUP**

No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	10/05/2021	DEVELOPER
	23/11/2021	STRUCTURE COORDINATION
	02/12/2021	STRUCTURE & SERVICES COORDINATION
	09/12/2021	CONSULTANTS ISSUE
	15/12/2021	DISCUSSION ISSUE
	21/01/2022	CONSULTANTS ISSUE
	25/01/2022	CONSULTANTS ISSUE
	Dwg. 14	TP PRELIM REVIEW ISSUE
	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title **OVERALL PLAN - LEVEL 14**
 Sheet **PRELIMINARY**
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Sheet No. **TP1.117** Revision **C**
 Scale **1:100** at **A1**
 Date **11/03/2022**





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Project **102-108 JEFFCOTT STREET, WEST MELBOURNE**
 102-108 JEFFCOTT STREET, WEST MELBOURNE.
 Client **BLUE EARTH GROUP**

No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	10/05/2021	DEVELOPER
	23/11/2021	STRUCTURE COORDINATION
	02/12/2021	STRUCTURE & SERVICES COORDINATION
	09/12/2021	CONSULTANTS ISSUE
	15/12/2021	DISCUSSION ISSUE
	21/01/2022	CONSULTANTS ISSUE
	25/01/2022	CONSULTANTS ISSUE
	Dwg. 14	TP PRELIM REVIEW ISSUE
	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title **OVERALL PLAN - LEVEL 15**
 Sheet **PRELIMINARY**
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TOWN PLANNING

Sheet No. **TP1.118** Revision **C**

Scale **1:100** at **A1**

Date **11/03/2022**

20020

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- UNIT DESCRIPTION**
- 1 BED & 1 BATH
 - 1 BED & 1 BATH + STUDY
 - 2 BED & 2 BATH
 - 2 BED & 2 BATH + STUDY
 - CIRCULATION
 - CORE
 - SERVICES

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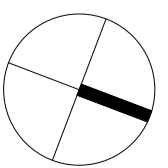
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Client
BLUE EARTH GROUP

No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	10/05/2021	DEVELOPER
	23/11/2021	STRUCTURE COORDINATION
	02/12/2021	STRUCTURE & SERVICES COORDINATION
	09/12/2021	CONSULTANTS ISSUE
	15/12/2021	DISCUSSION ISSUE
	21/01/2022	CONSULTANTS ISSUE
	25/01/2022	CONSULTANTS ISSUE
	Dwg. 14	TP PRELIM REVIEW ISSUE
A2	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title
OVERALL PLAN - LEVEL 16
Sheet
PRELIMINARY
NOT FOR CONSTRUCTION

TOWN PLANNING
Sheet No. **TP1.119** Revision **C**
Scale **1:100** at **A1**
Date **11/03/2022**
20020



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- UNIT DESCRIPTION**
- 1 BED & 1 BATH
 - 1 BED & 1 BATH + STUDY
 - 2 BED & 2 BATH
 - 2 BED & 2 BATH + STUDY
 - CIRCULATION
 - CORE
 - SERVICES

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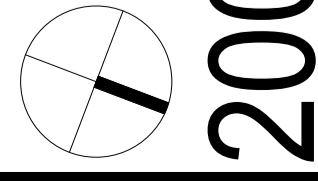
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Client
BLUE EARTH GROUP

No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	10/05/2021	DEVELOPER
	23/11/2021	STRUCTURE COORDINATION
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	15/12/2021	DISCUSSION ISSUE
	21/01/2022	CONSULTANTS ISSUE
	25/01/2022	CONSULTANTS ISSUE
	Dwg. 14	TP PRELIM REVIEW ISSUE
	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title
OVERALL PLAN - LEVEL 17
Sheet
PRELIMINARY
NOT FOR CONSTRUCTION

TOWN PLANNING
Sheet No. **TP1.120** Revision **C**
Scale
1 : 100 at **A1**
Date
11/03/2022



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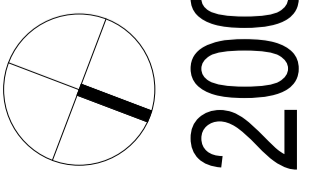
Project
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Client
BLUE EARTH GROUP

No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	10/05/2021	DEVELOPER
	23/11/2021	STRUCTURE COORDINATION
	02/12/2021	STRUCTURE & SERVICES COORDINATION
	09/12/2021	CONSULTANTS ISSUE
	15/12/2021	DISCUSSION ISSUE
	21/01/2022	CONSULTANTS ISSUE
	04/04/22	TP PRELIM REVIEW ISSUE
C	11/03/2022	TOWN PLANNING AMENDMENT REV B

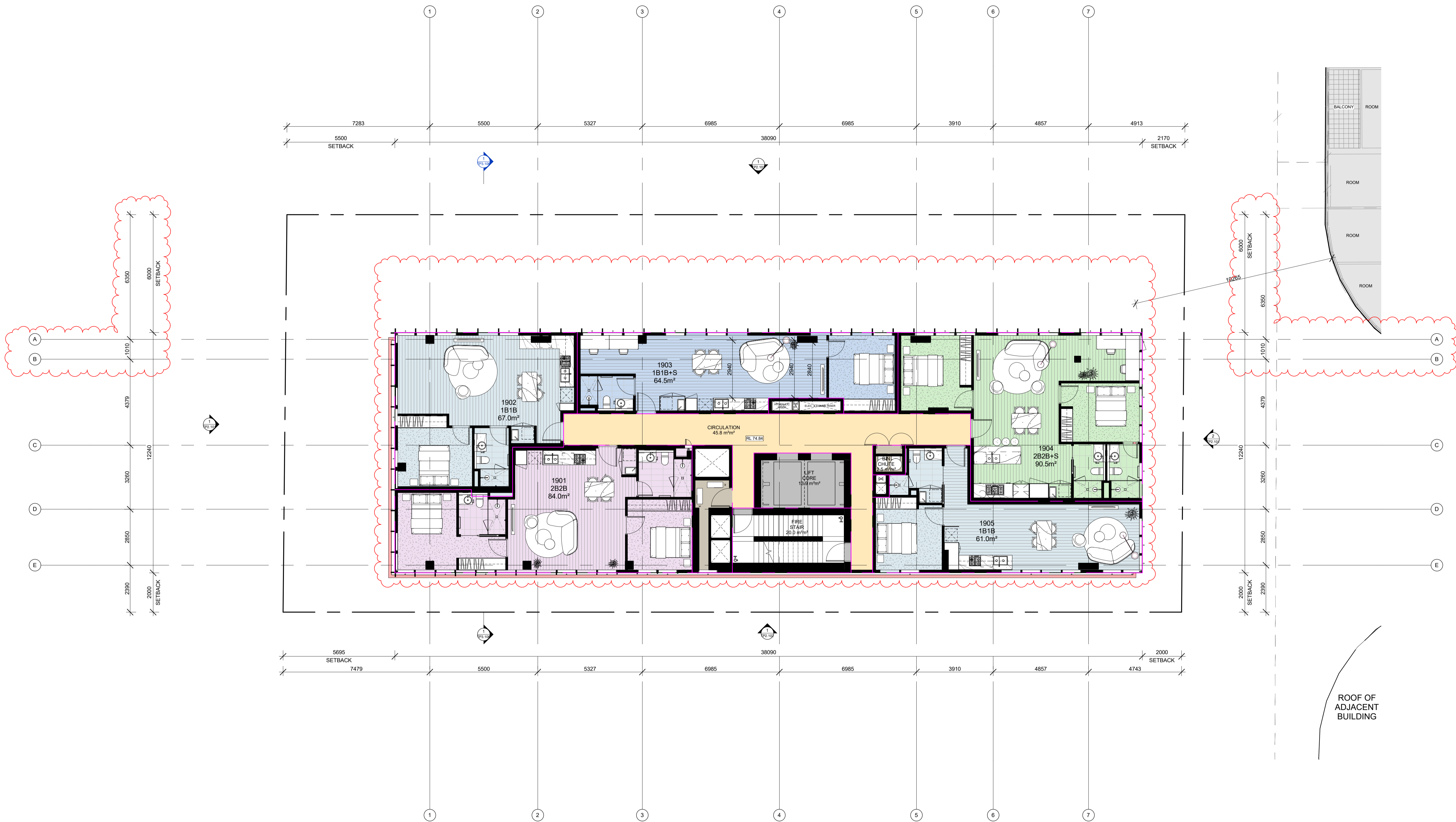
Title
OVERALL PLAN - LEVEL 18
Sheet
PRELIMINARY
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TOWN PLANNING

Sheet No. **TP1.121** Revision **C**
Scale **1:100** at **A1**
Date **11/03/2022**



20020
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- UNIT DESCRIPTION
- 1 BED & 1 BATH
 - 1 BED & 1 BATH + STUDY
 - 2 BED & 2 BATH
 - 2 BED & 2 BATH + STUDY
 - CIRCULATION
 - CORE
 - SERVICES

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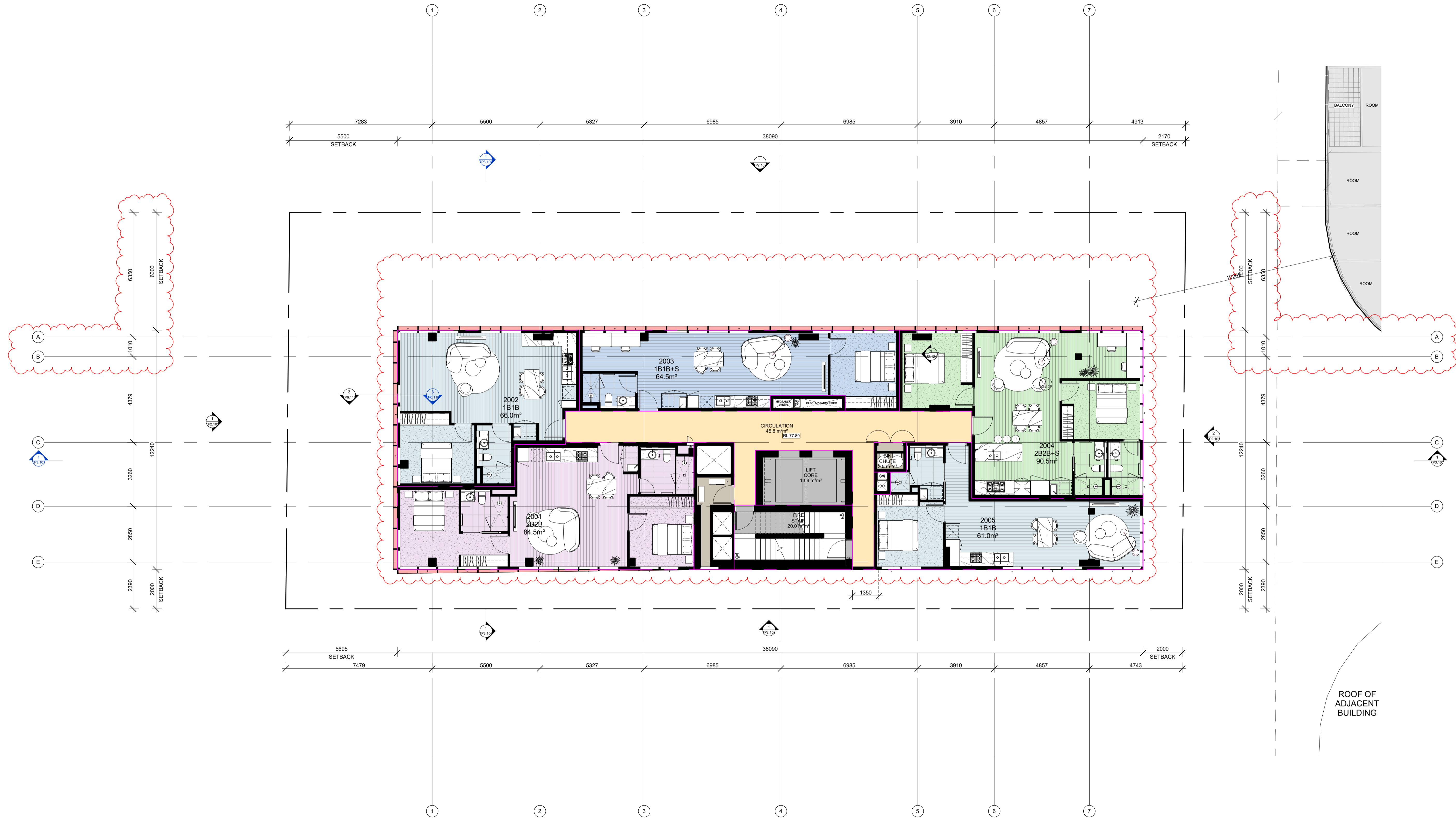
Project
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102-108 JEFFCOTT STREET, WEST MELBOURNE.
Client
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Amendments		
No.	Date	Notes
1	11/03/2022	TP PRELIM REVIEW ISSUE
2		TOWN PLANNING AMENDMENT REV B

Title
OVERALL PLAN - LEVEL 19
Sheet
PRELIMINARY
NOT FOR CONSTRUCTION

TOWN PLANNING
Sheet No. **TP1.122** Revision **C**
Scale
1 : 100 at **A1**
Date
11/03/2022

20020



- UNIT DESCRIPTION**
- 1 BED & 1 BATH
 - 1 BED & 1 BATH + STUDY
 - 2 BED & 2 BATH
 - 2 BED & 2 BATH + STUDY
 - CIRCULATION
 - CORE
 - SERVICES

NOTE: AC UNITS TO BE LOCATED ON ROOF

ROOF OF ADJACENT BUILDING

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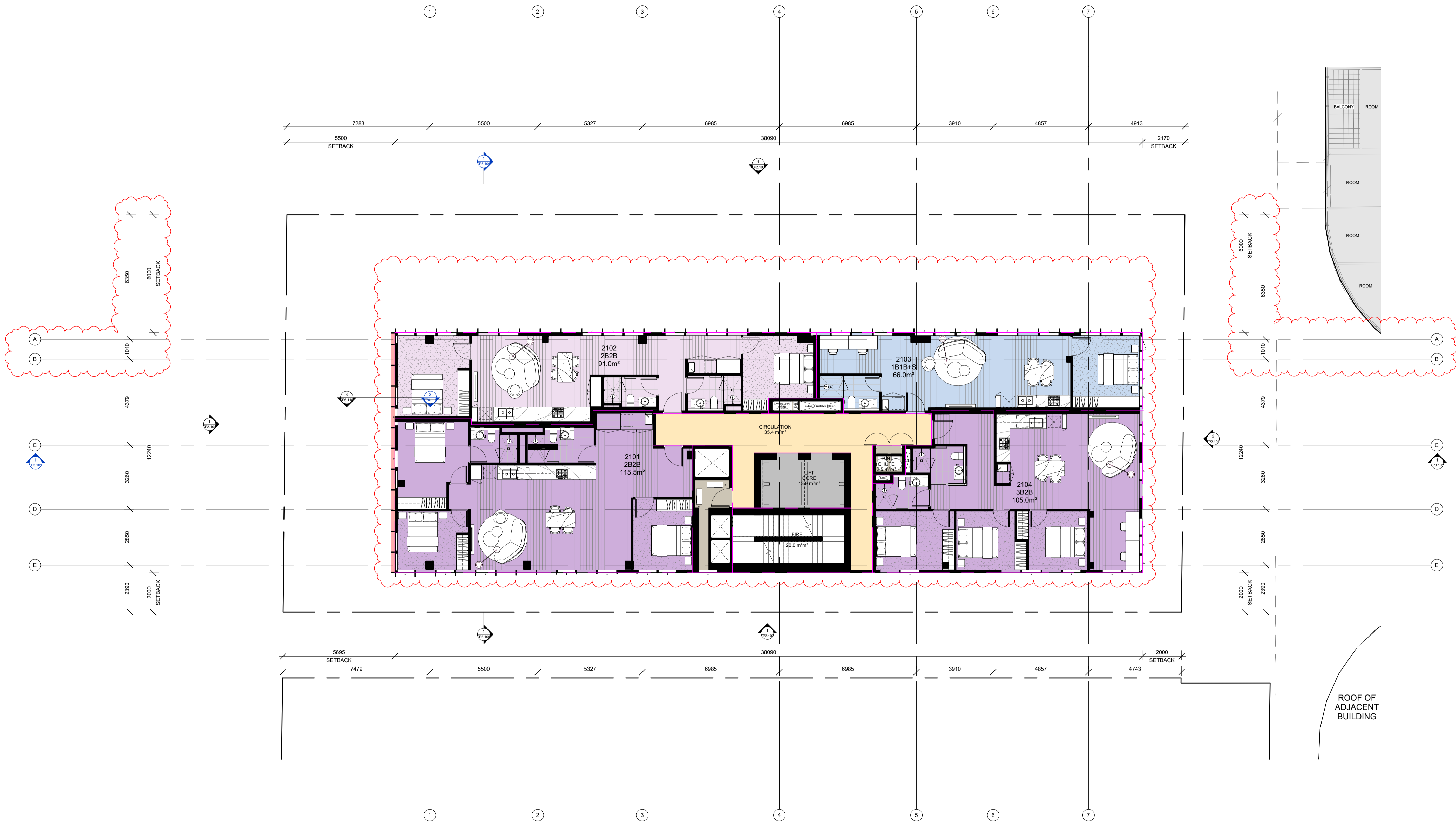
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No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	10/05/2021	DEVELOPER
	23/11/2021	STRUCTURE COORDINATION
	02/12/2021	STRUCTURE & SERVICES COORDINATION
	09/12/2021	CONSULTANTS ISSUE
	15/12/2021	DISCUSSION ISSUE
	21/01/2022	CONSULTANTS ISSUE
	25/01/2022	CONSULTANTS ISSUE
	DWG 14	TP PRELIM REVIEW ISSUE
	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title
OVERALL PLAN - LEVEL 20
 Sheet
PRELIMINARY
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TOWN PLANNING
 Sheet No. **TP1.123** Revision **C**
 Scale **1:100** at **A1**
 Date **11/03/2022**
20020
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- UNIT DESCRIPTION**
- 1 BED & 1 BATH + STUDY
 - 2 BED & 2 BATH
 - 3 BED & 2 BATH
 - CIRCULATION
 - CORE
 - SERVICES

ROOF OF ADJACENT BUILDING



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Client
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No.	Date	Notes
1	11/03/2022	TP PRELIM REVIEW ISSUE
2		TOWN PLANNING AMENDMENT REV B

Title
OVERALL PLAN - LEVEL 21
Sheet
PRELIMINARY
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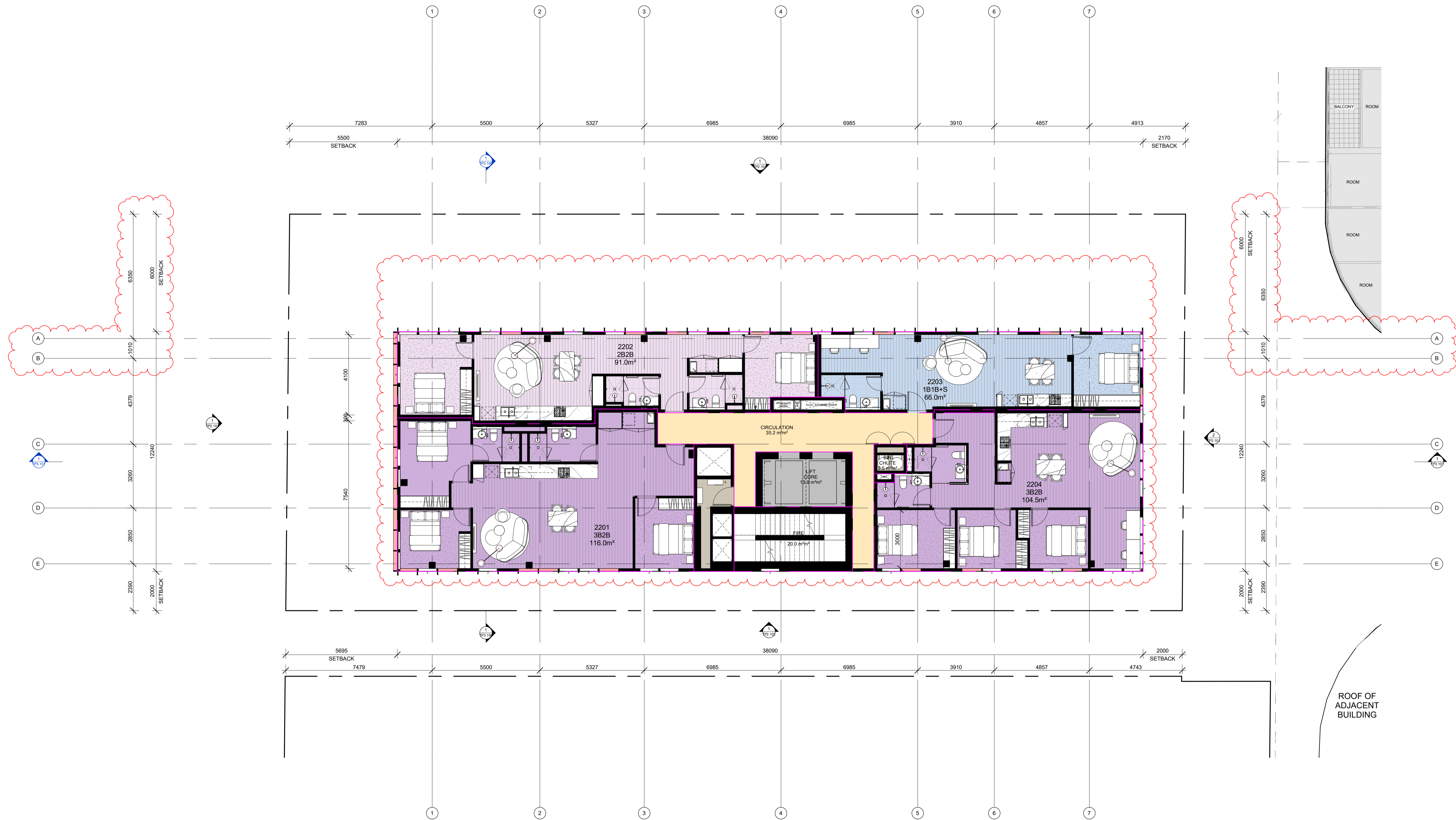
Sheet No. **TP1.124** Revision **C**

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Client
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Amendments		
No.	Date	Notes
1	11/03/2022	TP PRELIM REVIEW ISSUE
2		TOWN PLANNING AMENDMENT REV B

Title
OVERALL PLAN - LEVEL 22
Sheet
PRELIMINARY
NOT FOR CONSTRUCTION

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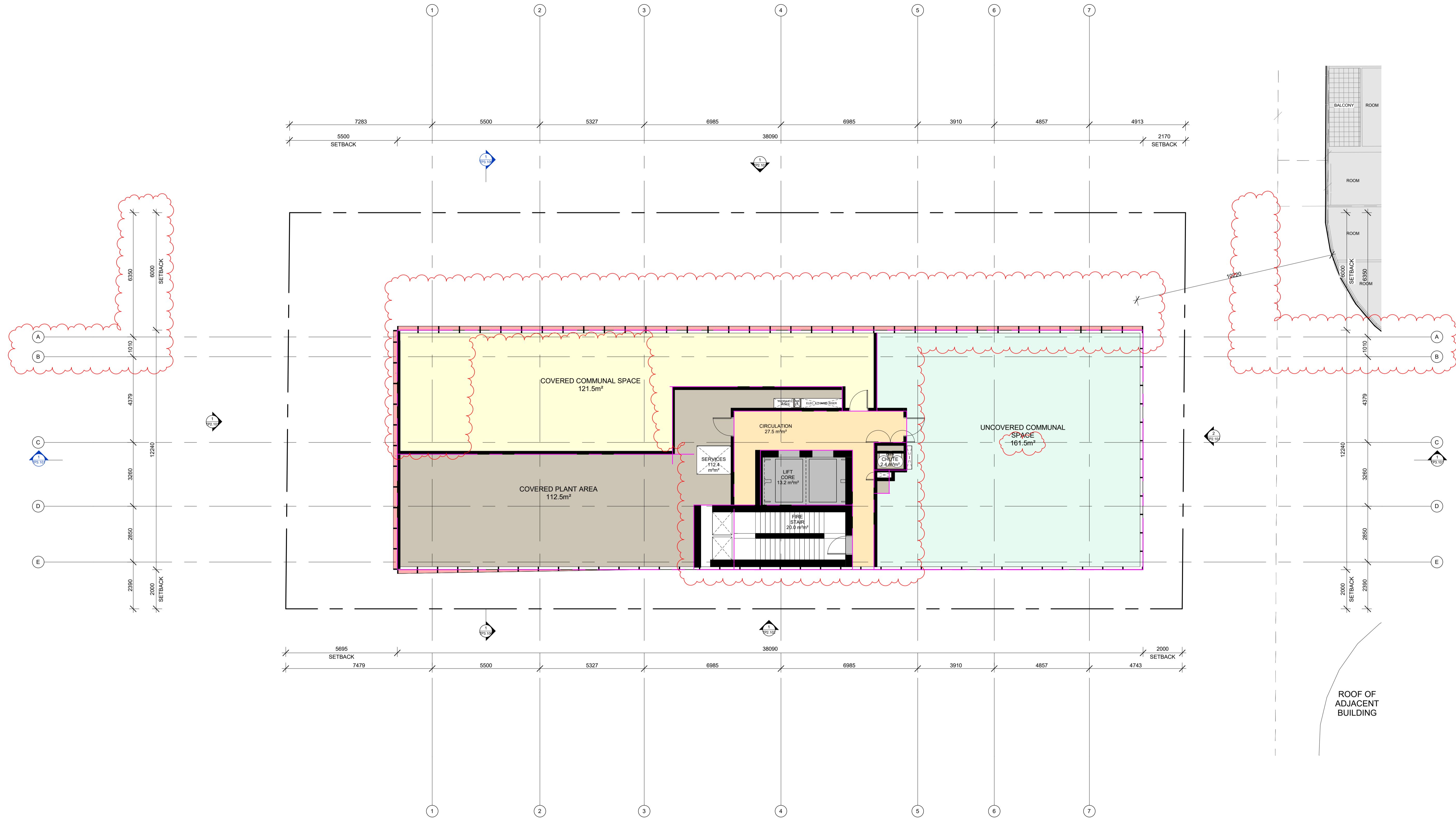
Sheet No. **TP1.125** Revision **C**

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BLUE EARTH GROUP

No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	10/05/2021	DEVELOPER
	23/11/2021	STRUCTURE COORDINATION
	02/12/2021	STRUCTURE & SERVICES COORDINATION
	09/12/2021	CONSULTANTS ISSUE
	15/12/2021	DISCUSSION ISSUE
	17/01/2022	ISSUED FOR VISUALISATION
	21/01/2022	CONSULTANTS ISSUE
	25/01/2022	CONSULTANTS ISSUE
	Date 14	PRELIM REVIEW ISSUE
C	11/03/2022	TOWN PLANNING AMENDMENT REV.B

Title
OVERALL PLAN - ROOF LEVEL
 Sheet
PRELIMINARY
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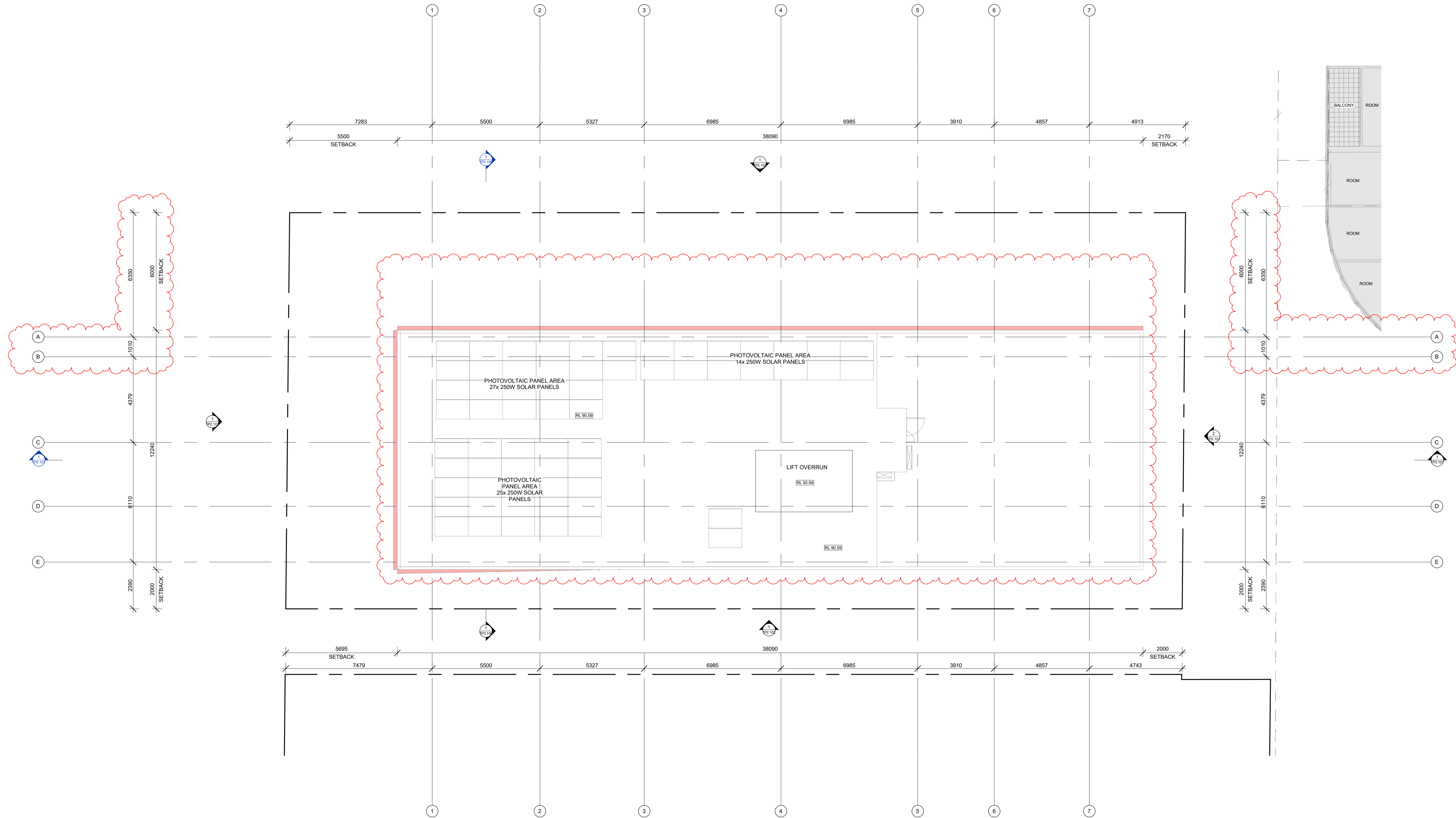
Sheet No. **TP1.127** Revision **C**

Scale
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Date
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No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	10/05/2021	DRAWING
C	23/11/2021	STRUCTURE COORDINATION
D	02/12/2021	STRUCTURE & SERVICES COORDINATION
E	21/01/2022	CONSULTANTS ISSUE
F	14/02/2022	TP PRELIM REVIEW ISSUE
G	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title
OVERALL PLAN - TOP ROOF LEVEL
 Sheet
PRELIMINARY
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TOWN PLANNING

Sheet No. **TP1.128** Revision **C**

Scale
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 Date
11/03/2022

20020

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TP - APARTMENT BADS COMPLIANCE									
APT. #	APT TYPE	DESCRIPTION	'D17' COMPLIANT?	'D19' COMPLIANT?	'D20' COMPLIANT?	'D24' COMPLIANT?	'D25' COMPLIANT?	'D26' COMPLIANT?	'D27' COMPLIANT?
LEVEL 01									
101	TYPE 03	1 BED & 1 BATH + STUDY	YES	YES	YES	YES	YES	YES	YES
102	TYPE 19	1 BED & 1 BATH	NO	YES	YES	YES	YES	YES	NO
103	TYPE 20	1 BED & 1 BATH	NO	YES	YES	YES	YES	YES	NO
104	TYPE 21	2 BED & 2 BATH	NO	YES	YES	YES	YES	YES	NO
LEVEL 02									
201	TYPE 01	1 BED & 1 BATH	YES	NO	YES	YES	YES	YES	YES
202	TYPE 02	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
203	TYPE 08B	1 BED & 1 BATH + STUDY	NO	NO	YES	YES	YES	YES	NO
204	TYPE 04	2 BED & 2 BATH + STUDY	YES	YES	YES	YES	YES	YES	YES
205	TYPE 06	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
LEVEL 03									
301	TYPE 01	1 BED & 1 BATH	YES	NO	YES	YES	YES	YES	YES
302	TYPE 07	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
303	TYPE 08	1 BED & 1 BATH	NO	YES	YES	YES	YES	YES	NO
304	TYPE 09	2 BED & 2 BATH	NO	YES	YES	YES	YES	YES	YES
305	TYPE 06	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
LEVEL 04									
401	TYPE 01	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
402	TYPE 07	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
403	TYPE 08	1 BED & 1 BATH	NO	YES	YES	YES	YES	YES	NO
404	TYPE 09	2 BED & 2 BATH	NO	YES	YES	YES	YES	YES	YES
405	TYPE 06	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
LEVEL 05									
501	TYPE 01	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
502	TYPE 07	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
503	TYPE 08	1 BED & 1 BATH	NO	YES	YES	YES	YES	YES	NO
504	TYPE 09	2 BED & 2 BATH	NO	YES	YES	YES	YES	YES	YES
505	TYPE 06	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
LEVEL 06									
601	TYPE 01	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
602	TYPE 07	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
603	TYPE 08	1 BED & 1 BATH	NO	YES	YES	YES	YES	YES	NO
604	TYPE 09	2 BED & 2 BATH	NO	YES	YES	YES	YES	YES	YES
605	TYPE 06	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
LEVEL 07									
701	TYPE 01	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
702	TYPE 07B	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
703	TYPE 08	1 BED & 1 BATH	NO	YES	YES	YES	YES	YES	NO
704	TYPE 09	2 BED & 2 BATH	NO	YES	YES	YES	YES	YES	YES
706	TYPE 06	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
LEVEL 08									
801	TYPE 01	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
802	TYPE 07B	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
803	TYPE 08	1 BED & 1 BATH	NO	YES	YES	YES	YES	YES	NO
804	TYPE 09	2 BED & 2 BATH	NO	YES	YES	YES	YES	YES	YES
805	TYPE 06	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
LEVEL 09									
901	TYPE 01	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
902	TYPE 05	1 BED & 1 BATH + STUDY	YES	YES	YES	YES	YES	YES	YES
903	TYPE 08	1 BED & 1 BATH	NO	YES	YES	YES	YES	YES	NO
904	TYPE 09	2 BED & 2 BATH	NO	YES	YES	YES	YES	YES	YES
905	TYPE 06	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
LEVEL 10									
1001	TYPE 10	1 BED & 1 BATH + STUDY	YES	YES	YES	YES	YES	YES	YES
1002	TYPE 11	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
1003	TYPE 08	1 BED & 1 BATH	NO	YES	YES	YES	YES	YES	NO
1004	TYPE 09	2 BED & 2 BATH	NO	YES	YES	YES	YES	YES	YES
1005	TYPE 06	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
LEVEL 11									
1101	TYPE 10	1 BED & 1 BATH + STUDY	YES	YES	YES	YES	YES	YES	YES
1102	TYPE 11	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
1103	TYPE 08	1 BED & 1 BATH	NO	YES	YES	YES	YES	YES	NO
1104	TYPE 09	2 BED & 2 BATH	NO	YES	YES	YES	YES	YES	YES
1105	TYPE 06	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
LEVEL 12									
1201	TYPE 10	1 BED & 1 BATH + STUDY	YES	YES	YES	YES	YES	YES	YES
1202	TYPE 11	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
1203	TYPE 08	1 BED & 1 BATH	NO	YES	YES	YES	YES	YES	NO

Page 39 of 153

TP - APARTMENT BADS COMPLIANCE									
APT. #	APT TYPE	DESCRIPTION	'D17' COMPLIANT?	'D19' COMPLIANT?	'D20' COMPLIANT?	'D24' COMPLIANT?	'D25' COMPLIANT?	'D26' COMPLIANT?	'D27' COMPLIANT?
1204	TYPE 09	2 BED & 2 BATH	NO	YES	YES	YES	YES	YES	YES
1205	TYPE 06	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
LEVEL 13									
1301	TYPE 12	2 BED & 2 BATH	NO	NO	YES	YES	YES	YES	NO
1302	TYPE 13	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
1303	TYPE 08B	1 BED & 1 BATH + STUDY	NO	NO	YES	YES	YES	YES	NO
1304	TYPE 04	2 BED & 2 BATH + STUDY	YES	YES	YES	YES	YES	YES	YES
1305	TYPE 06B	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
LEVEL 14									
1401	TYPE 12	2 BED & 2 BATH	NO	NO	YES	YES	YES	YES	NO
1402	TYPE 13	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
1403	TYPE 08B	1 BED & 1 BATH + STUDY	NO	NO	YES	YES	YES	YES	NO
1404	TYPE 04	2 BED & 2 BATH + STUDY	YES	YES	YES	YES	YES	YES	YES
1405	TYPE 06B	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
LEVEL 15									
1501	TYPE 12	2 BED & 2 BATH	NO	NO	YES	YES	YES	YES	NO
1502	TYPE 13	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
1503	TYPE 08B	1 BED & 1 BATH + STUDY	NO	NO	YES	YES	YES	YES	NO
1504	TYPE 04	2 BED & 2 BATH + STUDY	YES	YES	YES	YES	YES	YES	YES
1505	TYPE 06B	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
LEVEL 16									
1601	TYPE 12	2 BED & 2 BATH	NO	NO	YES	YES	YES	YES	NO
1602	TYPE 13	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
1603	TYPE 08B	1 BED & 1 BATH + STUDY	NO	NO	YES	YES	YES	YES	NO
1604	TYPE 04	2 BED & 2 BATH + STUDY	YES	YES	YES	YES	YES	YES	YES
1605	TYPE 06B	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
LEVEL 17									
1701	TYPE 12	2 BED & 2 BATH	NO	NO	YES	YES	YES	YES	NO
1702	TYPE 13	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
1703	TYPE 08B	1 BED & 1 BATH + STUDY	NO	NO	YES	YES	YES	YES	NO
1704	TYPE 04	2 BED & 2 BATH + STUDY	YES	YES	YES	YES	YES	YES	YES
1705	TYPE 06B	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
LEVEL 18									
1801	TYPE 12	2 BED & 2 BATH	NO	NO	YES	YES	YES	YES	NO
1802	TYPE 13	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
1803	TYPE 08B	1 BED & 1 BATH + STUDY	NO	NO	YES	YES	YES	YES	NO
1804	TYPE 04	2 BED & 2 BATH + STUDY	YES	YES	YES	YES	YES	YES	YES
1805	TYPE 06B	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
LEVEL 19									
1901	TYPE 12	2 BED & 2 BATH	NO	NO	YES	YES	YES	YES	NO
1902	TYPE 13	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
1903	TYPE 08B	1 BED & 1 BATH + STUDY	NO	NO	YES	YES	YES	YES	NO
1904	TYPE 04	2 BED & 2 BATH + STUDY	YES	YES	YES	YES	YES	YES	YES
1905	TYPE 06B	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
LEVEL 20									
2001	TYPE 12	2 BED & 2 BATH	NO	NO	YES	YES	YES	YES	NO
2002	TYPE 13	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
2003	TYPE 08B	1 BED & 1 BATH + STUDY	NO	NO	YES	YES	YES	YES	NO
2004	TYPE 04	2 BED & 2 BATH + STUDY	YES	YES	YES	YES	YES	YES	YES
2005	TYPE 06B	1 BED & 1 BATH	YES	YES	YES	YES	YES	YES	YES
LEVEL 21									
2101	TYPE 14	3 BED & 2 BATH	YES	YES	YES	YES	YES	YES	NO
2102	TYPE 15	2 BED & 2 BATH	YES	YES	YES	YES	YES	YES	YES
2103	TYPE 16	1 BED & 1 BATH + STUDY	NO	YES	YES	YES	YES	YES	NO
2104	TYPE 17	3 BED & 2 BATH	YES	NO	YES	YES	YES	YES	YES
LEVEL 22									
2201	TYPE 14	3 BED & 2 BATH	YES	YES	YES	YES	YES	YES	YES
2202	TYPE 15	2 BED & 2 BATH	YES	YES	YES	YES	YES	YES	YES
2203	TYPE 16	1 BED & 1 BATH + STUDY	NO	YES	YES	YES	YES	YES	YES
2204	TYPE 17	3 BED & 2 BATH	YES	NO	YES	YES	YES	YES	YES
TOTAL: 107									

STANDARD 'D7' COMMUNAL OPEN SPACE ASSESSMENT	
TOTAL NO. OF APARTMENTS	117
REQUIRED MINIMUM AREA OF COMMUNAL OPEN SPACE	250m ²
AREA OF COMMUNAL OPEN SPACE ACHIEVED	352m ²
BADS ASSESSMENT COMPLIANCE	
D17 - ACCESSIBILITY	
REQUIREMENT - 50%	
ACHIEVED - 64%	
D19 - PRIVATE OPEN SPACE (P.O.S.)	
REQUIREMENT - 100%	
ACHIEVED - 96%	
D20 - STORAGE	
REQUIREMENT - 100%	
ACHIEVED - 100%	
D24 - ROOM SIZES	
REQUIREMENT - 100%	
ACHIEVED - 97%	
D25 - ROOM DEPTH	
REQUIREMENT - 100%	
ACHIEVED - 100%	
D26 - WINDOWS	
REQUIREMENT - 100%	
ACHIEVED - 100%	
D27 - VENTILATION	
REQUIREMENT - 40%	
ACHIEVED - 66%	

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Project
102-108 JEFFCOTT STREET, WEST MELBOURNE
102-108 JEFFCOTT STREET, WEST MELBOURNE.
Client
BLUE EARTH GROUP

Amendments		
No.	Date	Notes
A	22.01.2021	TOWN PLANNING AMENDMENT
B	10.05.2021	DELPHI RPT
C	11.03.2022	TOWN PLANNING AMENDMENT REV B

Title
BADS ASSESSMENT - APARTMENT BREAKDOWN

Sheet
PRELIMINARY NOT FOR CONSTRUCTION

TOWN PLANNING

Sheet No. **TP1.300** Revision **C**

Scale
As indicated at A1

Date
11/03/2022

20020

Drawn by:AutoChecked by:Checker

NOTES:

CEILING HEIGHTS:
LIVING AREAS - MINIMUM 2.7M CEILING HEIGHT
BED + BATH - MINIMUM 2.4M CEILING HEIGHT

DOORS:
ALL APARTMENT ENTRANCE DOORS, ACCESSIBLE BATHROOMS DOORS & MASTER BEDROOM DOORS SHALL PROVIDE A CLEAR OPENING WIDTH OF AT LEAST 850mm & IN THE CASE OF DESIGN OPTION B, SHALL BE FITTED WITH READILY REMOVABLE HINGES.

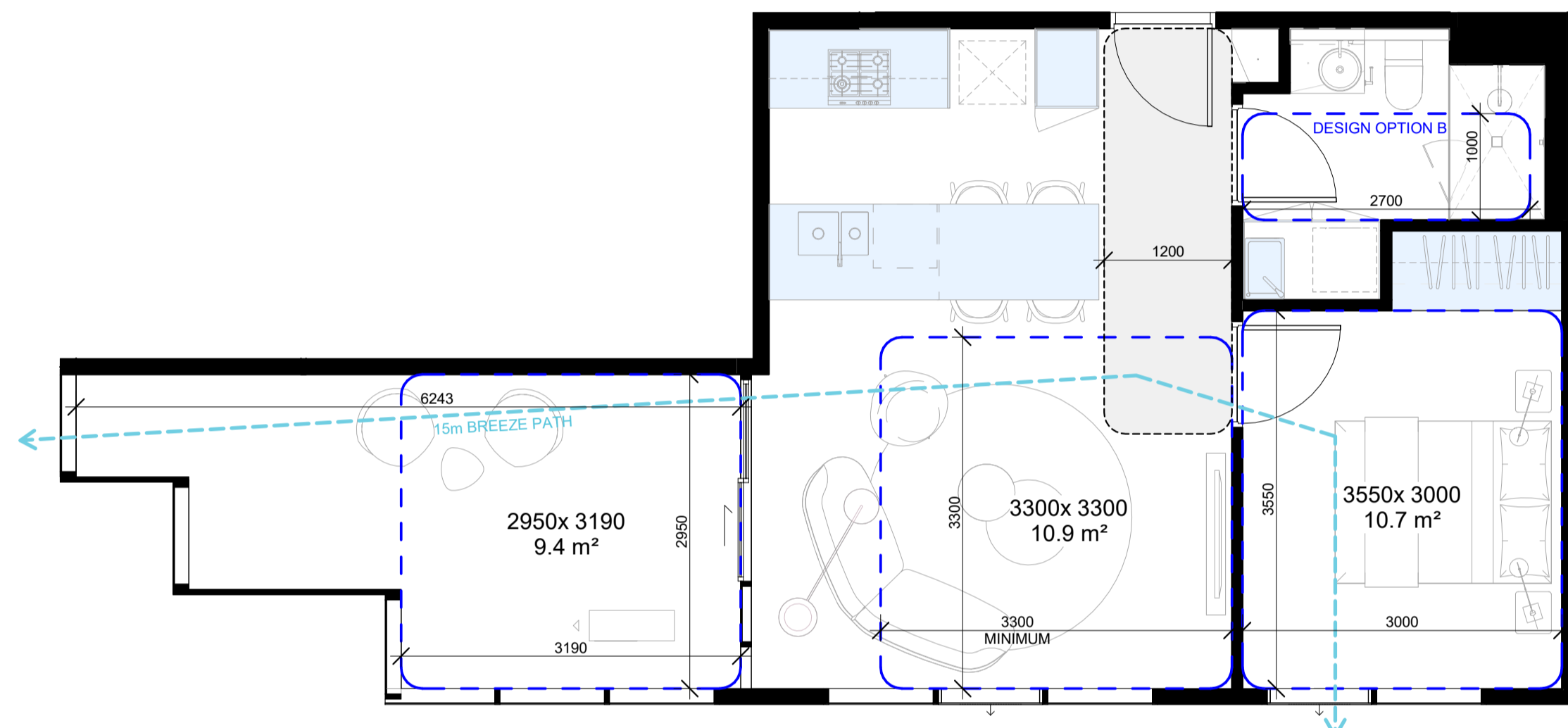
SHOWERS:
ALL APARTMENT SHOWERS TO BE HOBLESS STEP FREE SHOWERS & IN THE CASE OF DESIGN OPTION B, SHALL HAVE A REMOVABLE SCREEN.

LEGEND

	STANDARD 'D17' COMPLIANT
	STANDARD 'D19' COMPLIANT
	STANDARD 'D19' NOT COMPLIANT
	STANDARD 'D24' COMPLIANT
	STANDARD 'D24' NOT COMPLIANT
	STANDARD 'D25' COMPLIANT
	STANDARD 'D26' COMPLIANT
	STANDARD 'D27' COMPLIANT
	STORAGE

APARTMENT BADS REQUIREMENTS - LEGEND

D17 - ACCESSIBILITY	<ul style="list-style-type: none"> CLEAR PATH WITH MINIMUM 1.2m WIDTH - CONNECTING DWELLING ENTRANCE TO MAIN BEDROOM, ADAPTABLE BATHROOM AND LIVING AREA DESIGN OPTION A: 1.2m x 1.2m CLEAR PATH (850mm CLEAR DOOR), or DESIGN OPTION B: 1m x 2.7m CLEAR PATH (820mm CLEAR DOOR) SLIDING DOOR OR DOOR WITH READILY REMOVABLE HINGES HOBLESS SHOWER TOILET LOCATED IN CORNER OF ROOM, OR CLOSET TO DOOR OPENING (CLEAR OF ANY CIRCULATION)
D19 - P.O.S.	<p>STUDIO / 1 BEDROOM: 8m² WITH MINIMUM 1.8m DIMENSION</p> <p>NOTE: ADDITIONAL 1.5m² TO BE ADDED IF A/C UNIT TO BE LOCATED ON BALCONY</p> <p>2 BEDROOM: 10m² WITH MINIMUM 2m DIMENSION</p> <p>3 BEDROOM: 12m² WITH MINIMUM 2.4m DIMENSION</p>
D20 - STORAGE	<p>STUDIO / 1 BEDROOM: TOTAL VOLUME - 8m³ MINIMUM DWELLING STORAGE - 5m³</p> <p>1 BEDROOM: TOTAL VOLUME - 10m³ MINIMUM DWELLING STORAGE - 6m³</p> <p>2 BEDROOM: TOTAL VOLUME - 14m³ MINIMUM DWELLING STORAGE - 9m³</p> <p>3 BEDROOM: TOTAL VOLUME - 18m³ MINIMUM DWELLING STORAGE - 12m³</p>
D24 - ROOM SIZES	<p>LIVING AREAS</p> <p>STUDIO / 1 BEDROOM - 3.3m MINIMUM WIDTH, 10m² MINIMUM AREA</p> <p>2 OR MORE BEDROOMS - 3.6m MINIMUM WIDTH, 12m² MINIMUM AREA</p> <p>MAIN BEDROOM - 3m (W) x 3.4m (D) MINIMUM</p> <p>SECONDARY BEDROOM(S) - 3m (W) x 3m (D) MINIMUM</p>
D25 - ROOM DEPTH	MAX DEPTH 9m
D27 - VENTILATION	<p>MINIMUM BREEZE PATH: 5m</p> <p>MAXIMUM BREEZE PATH: 18m</p>



1 BADS ASSESSMENT - APT TYPE 01
SCALE 1:50

1 BED 1 BATH
AREA: 50.0m² + 8m²-16.5m² (BALCONY)
APT: 201, 301, 401, 501, 601, 701, 801, 901

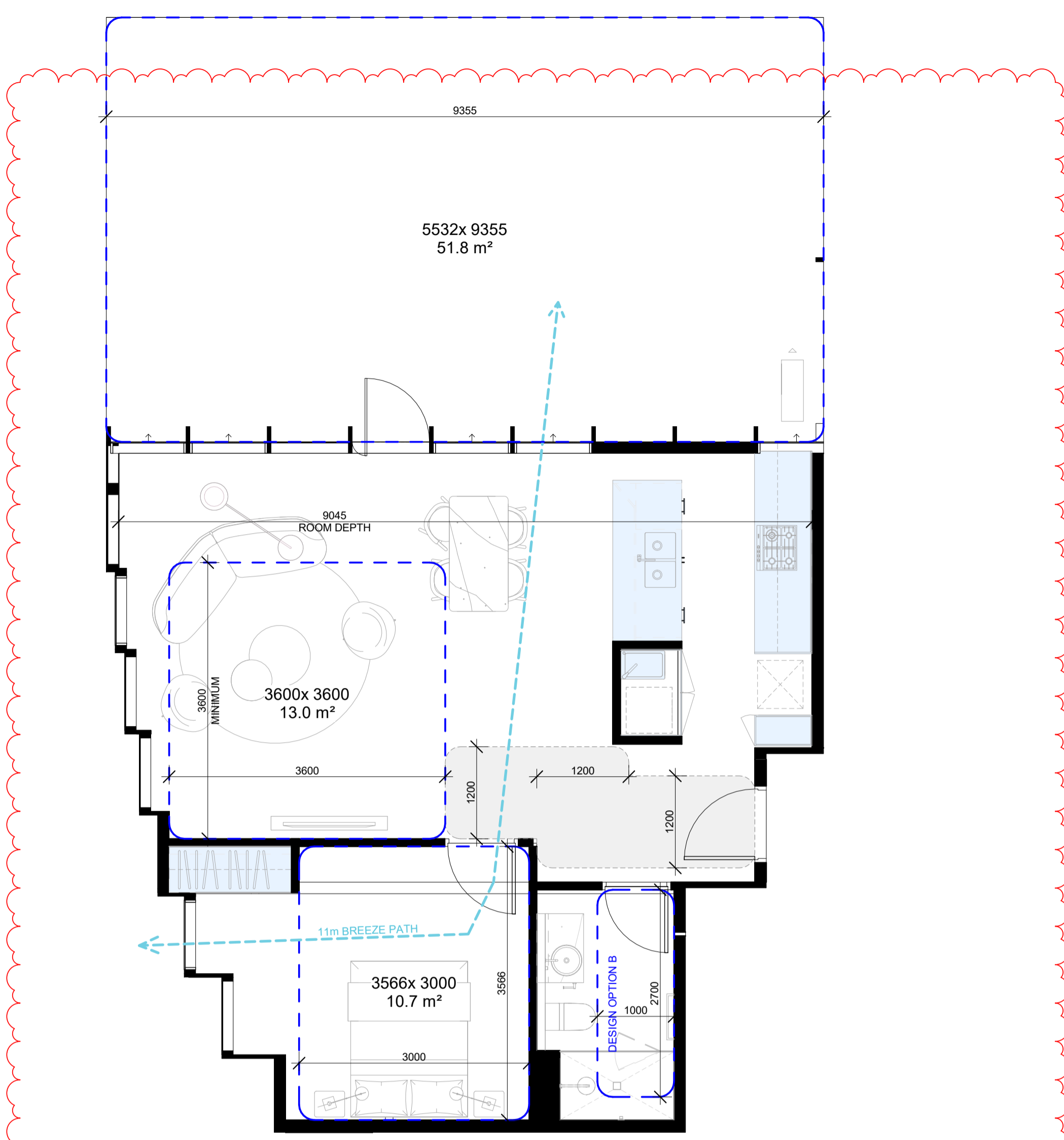
TYPE 01 INTERNAL STORAGE SCHEDULE

ISLAND BENCH	1.30 m³
KITCHEN BENCH	2.20 m³
LAUNDRY	2.34 m³
ROBE	3.06 m³
TOTAL INTERNAL STORAGE	8.89 m³

APARTMENT TYPE 01 - BADS ASSESSMENT TABLE

DESCRIPTION	UNIT TYPE	QTY	STANDARD 'D17' COMPLIANT?	STANDARD 'D19' COMPLIANT?	STANDARD 'D20' COMPLIANT?	STANDARD 'D24' COMPLIANT?	STANDARD 'D25' COMPLIANT?	STANDARD 'D26' COMPLIANT?	STANDARD 'D27' COMPLIANT?
1 BED & 1 BATH	TYPE 01	8	YES	<varies>	YES	YES	YES	YES	YES

*APT 201, 301, 401 DO NOT COMPLY WITH BADS 'D19' COMPLIANCE REQUIREMENT IF A/C UNIT TO BE INSTALLED ON BALCONY



2 BADS ASSESSMENT - APT TYPE 02
SCALE 1:50

2 BED 1 BATH
AREA: 72m² + 51.5m² (BALCONY)
APT: 202

TYPE 02 INTERNAL STORAGE SCHEDULE

ISLAND BENCH	0.31 m³
KITCHEN BENCH	2.67 m³
LAUNDRY	2.67 m³
ROBE	2.44 m³
TOTAL INTERNAL STORAGE	8.09 m³

APARTMENT TYPE 02 - BADS ASSESSMENT TABLE

DESCRIPTION	UNIT TYPE	QTY	STANDARD 'D17' COMPLIANT?	STANDARD 'D19' COMPLIANT?	STANDARD 'D20' COMPLIANT?	STANDARD 'D24' COMPLIANT?	STANDARD 'D25' COMPLIANT?	STANDARD 'D26' COMPLIANT?	STANDARD 'D27' COMPLIANT?
1 BED & 1 BATH	TYPE 02	1	YES	YES	YES	YES	YES	YES	YES



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Project
102-108 JEFFCOTT STREET, WEST MELBOURNE
102-108 JEFFCOTT STREET, WEST MELBOURNE.

Client
BLUE EARTH GROUP

Amendments

No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title
BETTER APARTMENT DESIGN
STANDARD ASSESSMENT

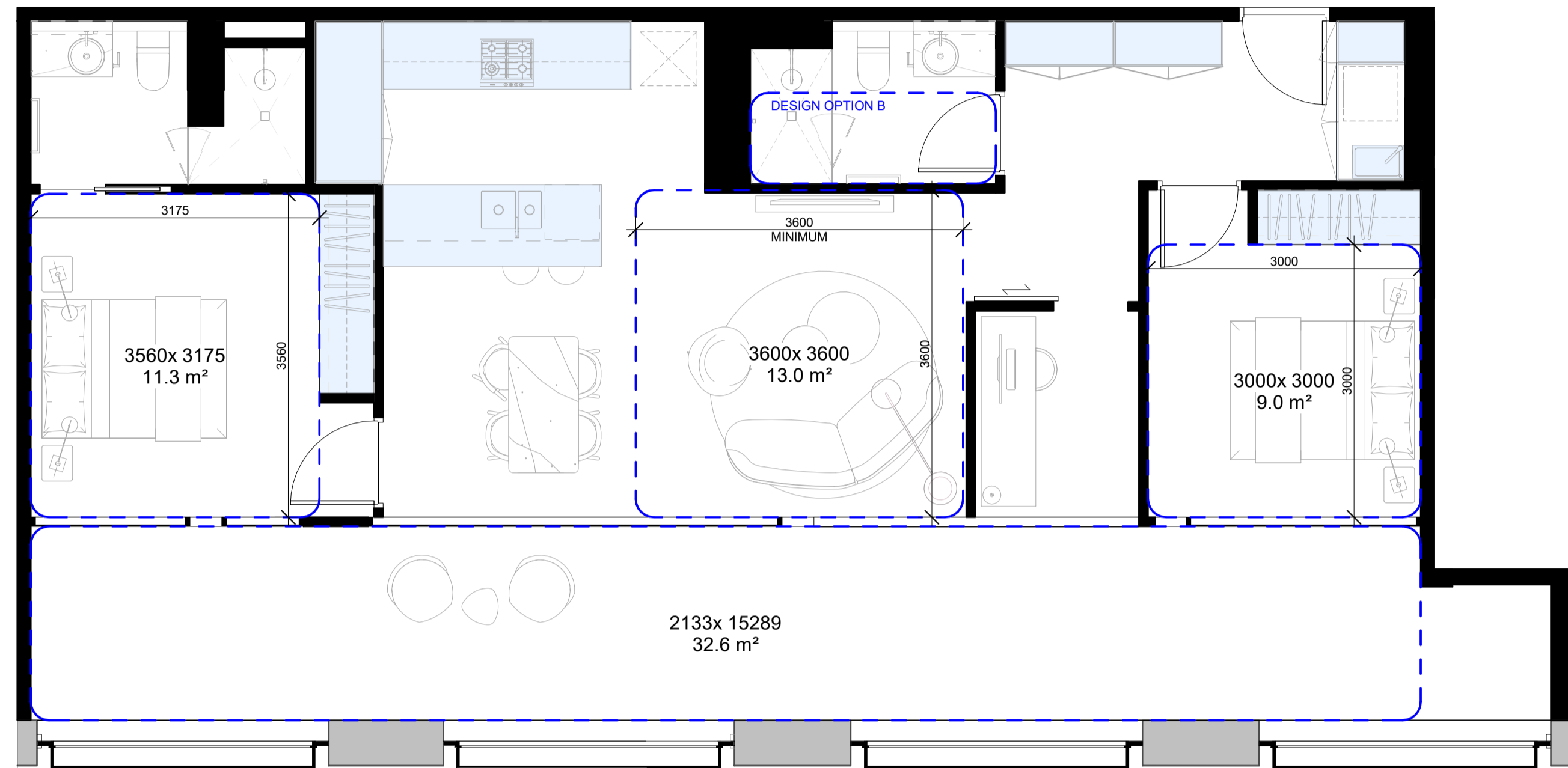
Sheet No.
TP1.301

Revision
C

Scale
1:50 at A1

Date
11/03/2022

20020



3 BADS ASSESSMENT - APT TYPE 03
SCALE 1:50

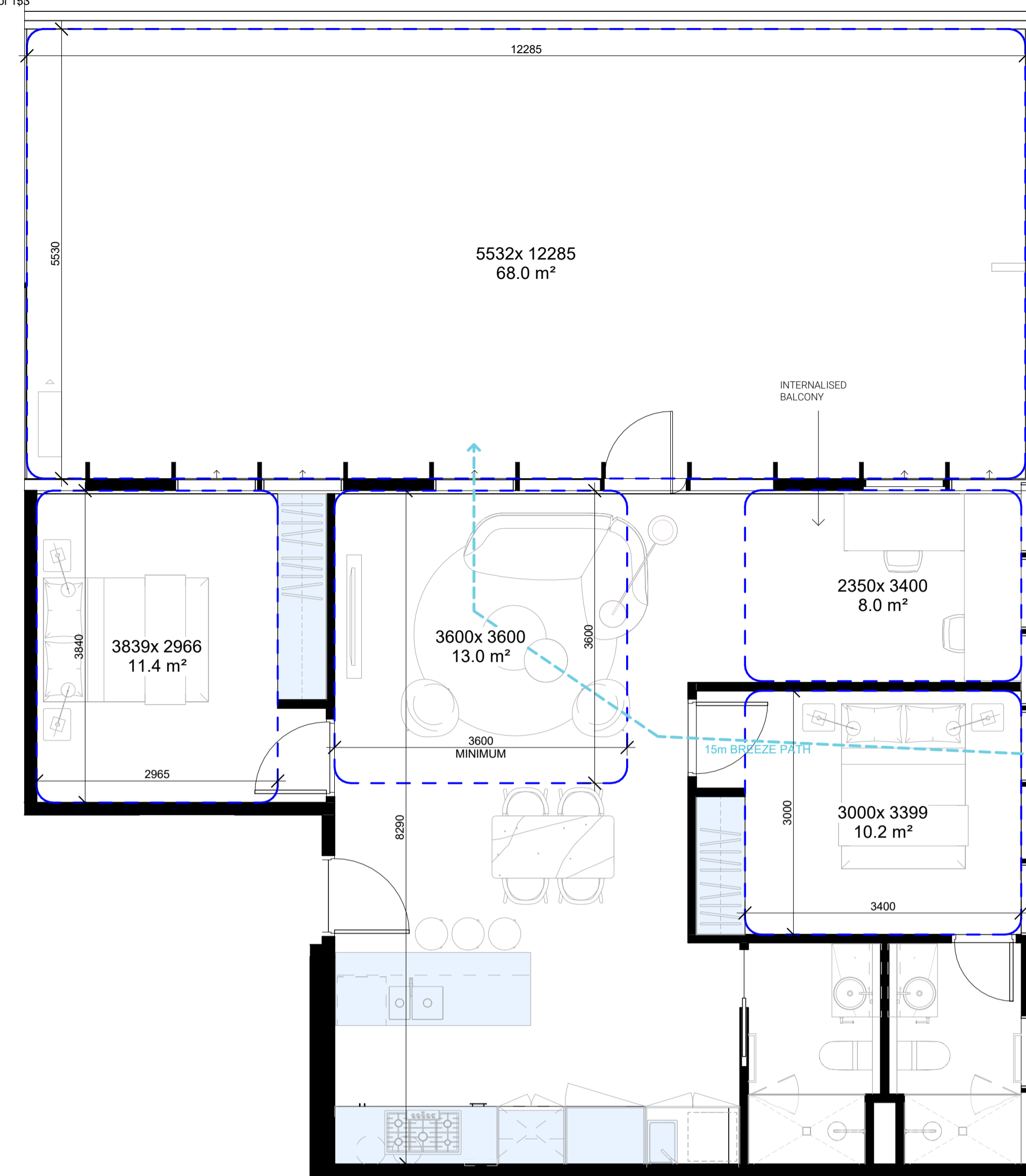
2 BED 2 BATH + STUDY
AREA: 88.0m² + 44.0m² (BALCONY)
APT: 103

TYPE 03 INTERNAL STORAGE SCHEDULE

CUPBOARD	3.83 m³
ISLAND BENCH	1.03 m³
KITCHEN BENCH	4.66 m³
LAUNDRY	2.34 m³
ROBE	6.12 m³
TOTAL INTERNAL STORAGE	17.98 m³

APARTMENT TYPE 03 - BADS ASSESSMENT TABLE

DESCRIPTION	UNIT TYPE	QTY	STANDARD 'D17' COMPLIANT?	STANDARD 'D19' COMPLIANT?	STANDARD 'D20' COMPLIANT?	STANDARD 'D24' COMPLIANT?	STANDARD 'D25' COMPLIANT?	STANDARD 'D26' COMPLIANT?	STANDARD 'D27' COMPLIANT?
1 BED & 1 BATH + STUDY	TYPE 03	1	YES	YES	YES	YES	YES	YES	YES



2 BADS ASSESSMENT - APT TYPE 04
SCALE 1:50

2 BED 2 BATH + STUDY
AREA: 9.5m² + 68.5m² (BALCONY ONLY ON LEVEL 02)
APT: 204

TYPE 04 INTERNAL STORAGE SCHEDULE

ISLAND BENCH	0.81 m³
KITCHEN BENCH	1.82 m³
LAUNDRY	2.10 m³
WARDROBE	6.48 m³
TOTAL INTERNAL STORAGE	11.20 m³

APARTMENT TYPE 04 - BADS ASSESSMENT TABLE

DESCRIPTION	UNIT TYPE	QTY	STANDARD 'D17' COMPLIANT?	STANDARD 'D19' COMPLIANT?	STANDARD 'D20' COMPLIANT?	STANDARD 'D24' COMPLIANT?	STANDARD 'D25' COMPLIANT?	STANDARD 'D26' COMPLIANT?	STANDARD 'D27' COMPLIANT?
2 BED & 2 BATH + STUDY	TYPE 04	9	YES	YES	YES	YES	YES	YES	YES

NOTES:

CEILING HEIGHTS:
LIVING AREAS - MINIMUM 2.7M CEILING HEIGHT
BED + BATH - MINIMUM 2.4M CEILING HEIGHT

DOORS:
ALL APARTMENT ENTRANCE DOORS, ACCESSIBLE BATHROOM DOORS & MASTER BEDROOM DOORS SHALL PROVIDE A CLEAR OPENING WIDTH OF AT LEAST 850mm & IN THE CASE OF DESIGN OPTION B, SHALL BE FITTED WITH READILY REMOVABLE HINGES.

SHOWERS:
ALL APARTMENT SHOWERS TO BE HOBLESS STEP FREE SHOWERS & IN THE CASE OF DESIGN OPTION B, SHALL HAVE A REMOVABLE SCREEN.

LEGEND

	STANDARD 'D17' COMPLIANT
	STANDARD 'D19' COMPLIANT
	STANDARD 'D19' NOT COMPLIANT
	STANDARD 'D24' COMPLIANT
	STANDARD 'D24' NOT COMPLIANT
	STANDARD 'D24' NOT COMPLIANT
	STANDARD 'D25' COMPLIANT
	STANDARD 'D26' COMPLIANT
	STANDARD 'D27' COMPLIANT
	STORAGE

APARTMENT BADS REQUIREMENTS - LEGEND

D17 - ACCESSIBILITY	<ul style="list-style-type: none"> CLEAR PATH WITH MINIMUM 1.2m WIDTH - CONNECTING DWELLING ENTRANCE TO MAIN BEDROOM, ADAPTIBLE BATHROOM AND LIVING AREA DESIGN OPTION A: 1.2m x 1.2m CLEAR PATH (850mm CLEAR DOOR) or DESIGN OPTION B: 1m x 2.7m CLEAR PATH (820mm CLEAR DOOR) SLIDING DOOR OR DOOR WITH READILY REMOVABLE HINGES HOBLESS SHOWER TOILET LOCATED IN CORNER OF ROOM, OR CLOSET TO DOOR OPENING (CLEAR OF ANY CIRCULATION)
D19 - P.O.S.	<p>STUDIO / 1 BEDROOM: 8m², WITH MINIMUM 1.8m DIMENSION</p> <p>NOTE: ADDITIONAL 1.5m² TO BE ADDED IF A/C UNIT TO BE LOCATED ON BALCONY</p> <p>2 BEDROOM: 10m², WITH MINIMUM 2m DIMENSION</p> <p>3 BEDROOM: 12m², WITH MINIMUM 2.4m DIMENSION</p>
D20 - STORAGE	<p>STUDIO: TOTAL VOLUME - 8m³ MINIMUM DWELLING STORAGE - 5m³</p> <p>1 BEDROOM: TOTAL VOLUME - 10m³ MINIMUM DWELLING STORAGE - 6m³</p> <p>2 BEDROOM: TOTAL VOLUME - 14m³ MINIMUM DWELLING STORAGE - 9m³</p> <p>3 BEDROOM: TOTAL VOLUME - 18m³ MINIMUM DWELLING STORAGE - 12m³</p>
D24 - ROOM SIZES	<p>LIVING AREAS</p> <p>STUDIO / 1 BEDROOM - 3.3m MINIMUM WIDTH, 10m² MINIMUM AREA</p> <p>2 OR MORE BEDROOMS - 3.6m MINIMUM WIDTH, 12m² MINIMUM AREA</p> <p>MAIN BEDROOM - 3m (W) x 3.4m (D) MINIMUM</p> <p>SECONDARY BEDROOM(S) - 3m (W) x 3m (D) MINIMUM</p>
D25 - ROOM DEPTH	MAX DEPTH 9m
D27 - VENTILATION	<p>MINIMUM BREEZE PATH: 5m</p> <p>MAXIMUM BREEZE PATH: 18m</p>



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Project
102-108 JEFFCOTT STREET, WEST MELBOURNE
102-108 JEFFCOTT STREET, WEST MELBOURNE.

Client
BLUE EARTH GROUP

No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title
BETTER APARTMENT DESIGN STANDARD ASSESSMENT

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TOWN PLANNING

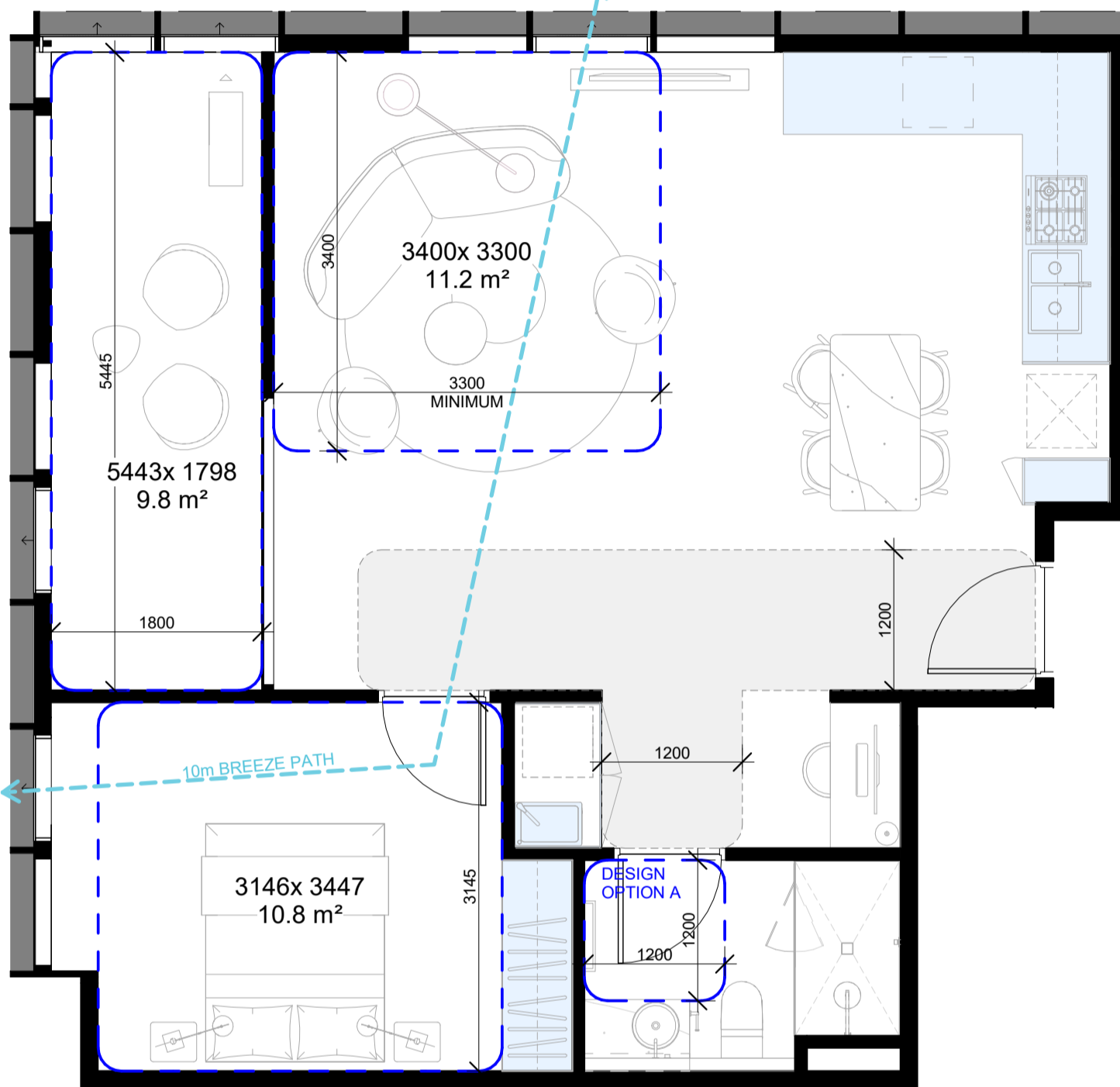
Sheet No. **TP1.302 C**

Revision

Scale
1:50 at A1

Date
11/03/2022

20020



1 BADS ASSESSMENT - APT TYPE 05
SCALE 1:50

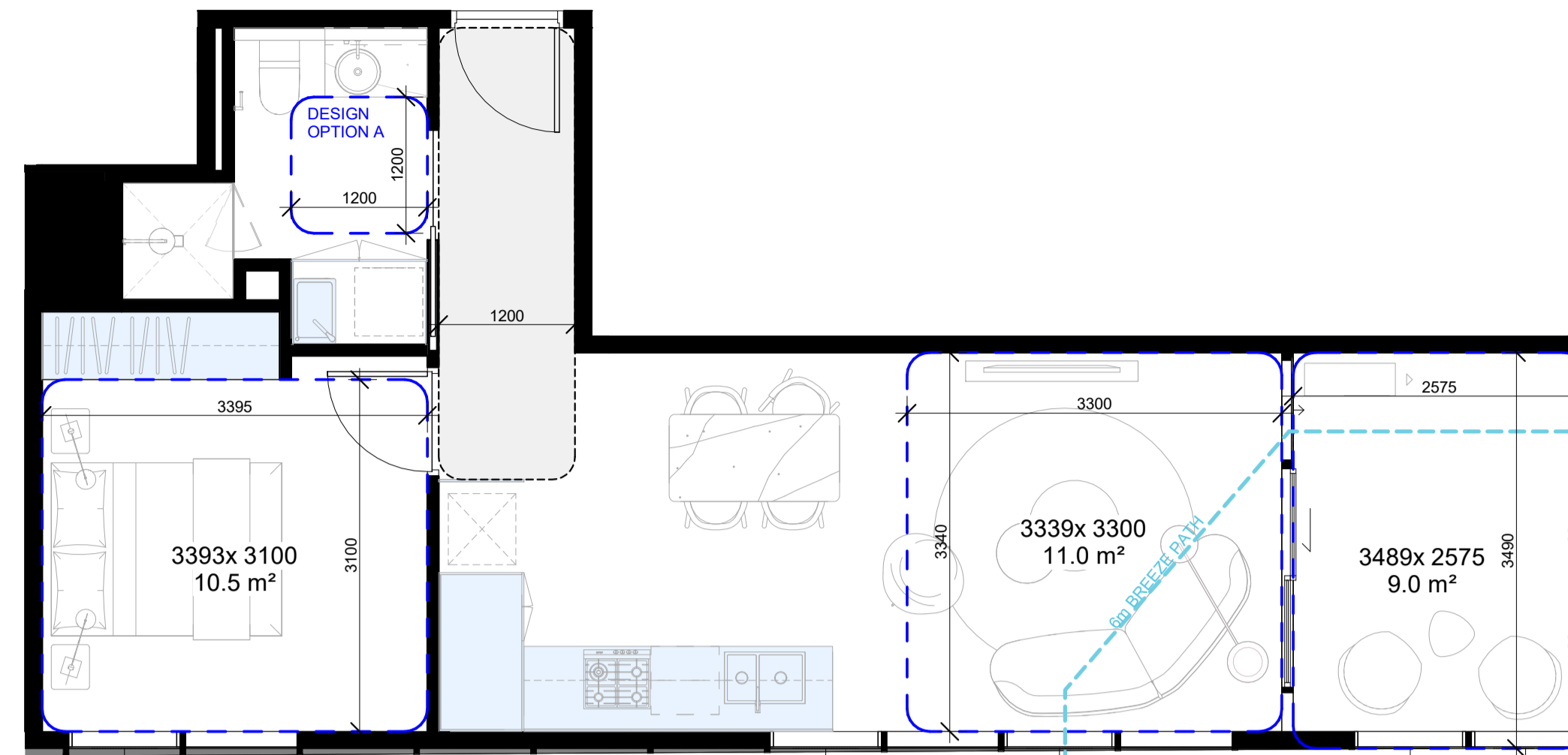
1 BED 1 BATH + STUDY
AREA: 65.5m² + 11.0m² (BALCONY)
APT: 902

TYPE 05 INTERNAL STORAGE SCHEDULE

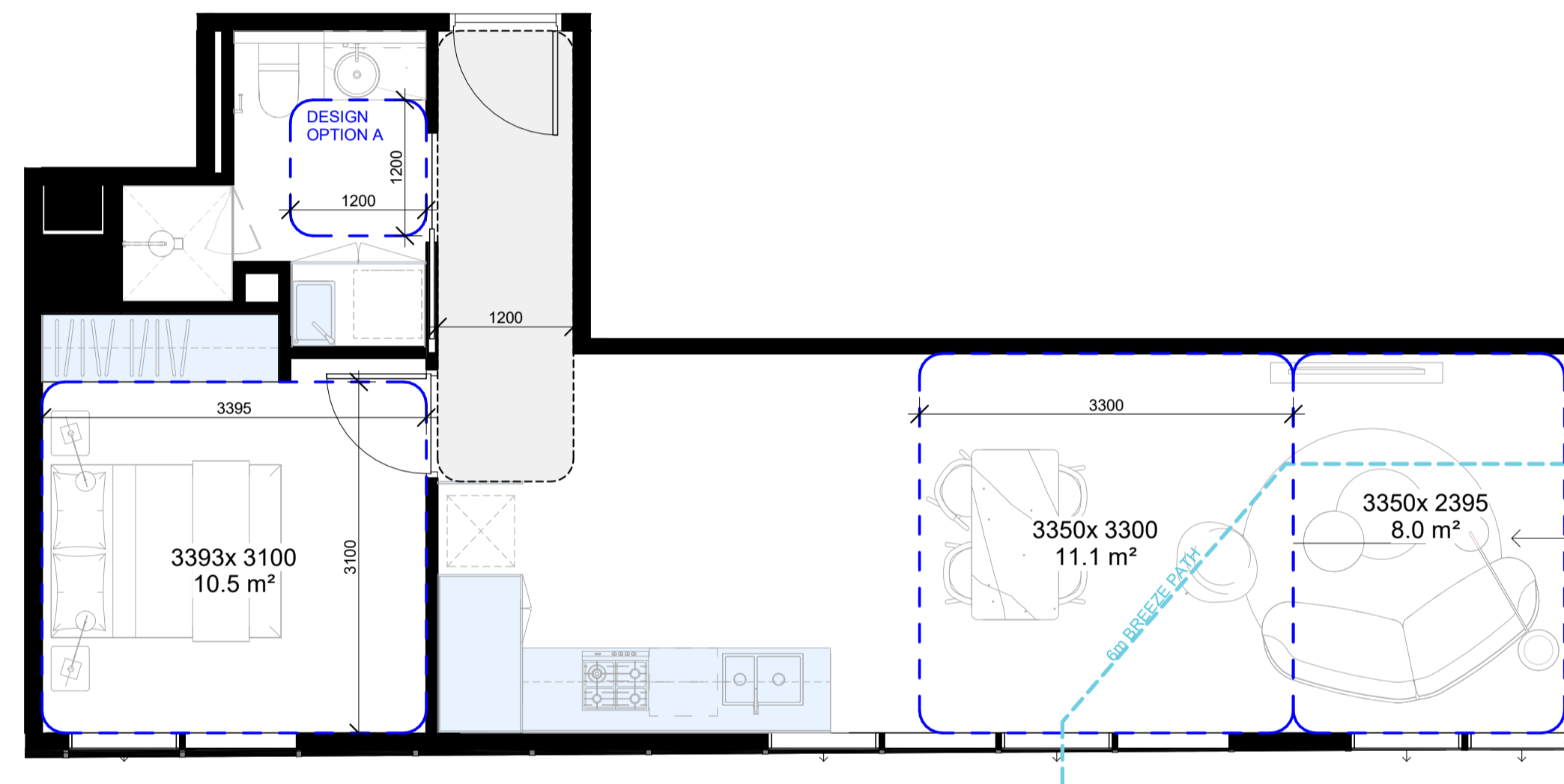
KITCHEN BENCH	3.59 m³
LAUNDRY	2.41 m³
WARDROBE	2.75 m³
TOTAL INTERNAL STORAGE	8.75 m³

APARTMENT TYPE 05 - BADS ASSESSMENT TABLE

DESCRIPTION	UNIT TYPE	QTY	STANDARD 'D17' COMPLIANT?	STANDARD 'D19' COMPLIANT?	STANDARD 'D20' COMPLIANT?	STANDARD 'D24' COMPLIANT?	STANDARD 'D25' COMPLIANT?	STANDARD 'D26' COMPLIANT?	STANDARD 'D27' COMPLIANT?
1 BED & 1 BATH + STUDY	TYPE 05	1	YES	YES	YES	YES	YES	YES	YES



2 BADS ASSESSMENT - APT TYPE 06
SCALE 1:50



3 BADS ASSESSMENT - APT TYPE 06B
SCALE 1:50

1 BED 1 BATH
TYPE 06 AREA: 51.5m² + 9.5m² (BALCONY)
APT: 205, 305, 405, 505, 605, 705, 805, 905, 1005, 1105, 1205

TYPE 06B AREA: 61.0m²
APT: 1305, 1405, 1505, 1605, 1705, 1805, 1905, 2005

TYPE 06C AREA: 58.5m²
APT: 2105

TYPE 06 INTERNAL STORAGE SCHEDULE

KITCHEN BENCH	3.04 m³
LAUNDRY	2.16 m³
WARDROBE	3.20 m³
TOTAL INTERNAL STORAGE	8.40 m³

APARTMENT TYPE 06 - BADS ASSESSMENT TABLE

DESCRIPTION	UNIT TYPE	QTY	STANDARD 'D17' COMPLIANT?	STANDARD 'D19' COMPLIANT?	STANDARD 'D20' COMPLIANT?	STANDARD 'D24' COMPLIANT?	STANDARD 'D25' COMPLIANT?	STANDARD 'D26' COMPLIANT?	STANDARD 'D27' COMPLIANT?
1 BED & 1 BATH	TYPE 06	11	YES	YES	YES	YES	YES	YES	YES
1 BED & 1 BATH	TYPE 06B	8	YES	YES	YES	YES	YES	YES	YES
1 BED & 1 BATH	TYPE 06C	1	YES	YES	YES	YES	YES	YES	YES

NOTES:

CEILING HEIGHTS:
LIVING AREAS - MINIMUM 2.7M CEILING HEIGHT
BED + BATH - MINIMUM 2.4M CEILING HEIGHT

DOORS:
ALL APARTMENT ENTRANCE DOORS, ACCESSIBLE BATHROOMS DOORS & MASTER BEDROOM DOORS SHALL PROVIDE A CLEAR OPENING WIDTH OF AT LEAST 850mm & IN THE CASE OF DESIGN OPTION B, SHALL BE FITTED WITH READILY REMOVABLE HINGES.

SHOWERS:
ALL APARTMENT SHOWERS TO BE HOBLESS STEP FREE SHOWERS & IN THE CASE OF DESIGN OPTION B, SHALL HAVE A REMOVABLE SCREEN.

LEGEND

	STANDARD 'D17' COMPLIANT
	STANDARD 'D19' COMPLIANT
	STANDARD 'D19' NOT COMPLIANT
	STANDARD 'D24' COMPLIANT
	STANDARD 'D24' NOT COMPLIANT
	STANDARD 'D25' COMPLIANT
	STANDARD 'D26' COMPLIANT
	STANDARD 'D27' COMPLIANT
	STORAGE

APARTMENT BADS REQUIREMENTS - LEGEND

D17 - ACCESSIBILITY	<ul style="list-style-type: none"> CLEAR PATH WITH MINIMUM 1.2m WIDTH - CONNECTING DWELLING ENTRANCE TO MAIN BEDROOM, ADAPTABLE BATHROOM AND LIVING AREA DESIGN OPTION A: 1.2m x 1.2m CLEAR PATH (850mm CLEAR DOOR), or DESIGN OPTION B: 1m x 2.7m CLEAR PATH (820mm CLEAR DOOR) SLIDING DOOR OR DOOR WITH READILY REMOVABLE HINGES HOBLESS SHOWER TOILET LOCATED IN CORNER OF ROOM, OR CLOSET TO DOOR OPENING (CLEAR OF ANY CIRCULATION)
D19 - P.O.S.	<p>STUDIO / 1 BEDROOM: 8m², WITH MINIMUM 1.8m DIMENSION</p> <p>NOTE: ADDITIONAL 1.5m² TO BE ADDED IF A/C UNIT TO BE LOCATED ON BALCONY</p> <p>2 BEDROOM: 10m², WITH MINIMUM 2m DIMENSION</p> <p>3 BEDROOM: 12m², WITH MINIMUM 2.4m DIMENSION</p>
D20 - STORAGE	<p>STUDIO: TOTAL VOLUME - 8m³, MINIMUM DWELLING STORAGE - 5m³</p> <p>1 BEDROOM: TOTAL VOLUME - 10m³, MINIMUM DWELLING STORAGE - 6m³</p> <p>2 BEDROOM: TOTAL VOLUME - 14m³, MINIMUM DWELLING STORAGE - 9m³</p> <p>3 BEDROOM: TOTAL VOLUME - 18m³, MINIMUM DWELLING STORAGE - 12m³</p>
D24 - ROOM SIZES	<p>LIVING AREAS</p> <p>STUDIO / 1 BEDROOM - 3.3m MINIMUM WIDTH, 10m² MINIMUM AREA</p> <p>2 OR MORE BEDROOMS - 3.6m MINIMUM WIDTH, 12m² MINIMUM AREA</p> <p>MAIN BEDROOM - 3m (W) x 3.4m (D) MINIMUM</p> <p>SECONDARY BEDROOM(S) - 3m (W) x 3m (D) MINIMUM</p>
D25 - ROOM DEPTH	MAX DEPTH 9m
D27 - VENTILATION	<p>MINIMUM BREEZE PATH: 5m</p> <p>MAXIMUM BREEZE PATH: 18m</p>



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Project

102-108 JEFFCOTT STREET, WEST MELBOURNE
102-108 JEFFCOTT STREET, WEST MELBOURNE.

Client

BLUE EARTH GROUP

Amendments

No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title

BETTER APARTMENT DESIGN
STANDARD ASSESSMENT

Sheet

PRELIMINARY
NOT FOR CONSTRUCTION

Sheet No.

TP1.303 C

Scale

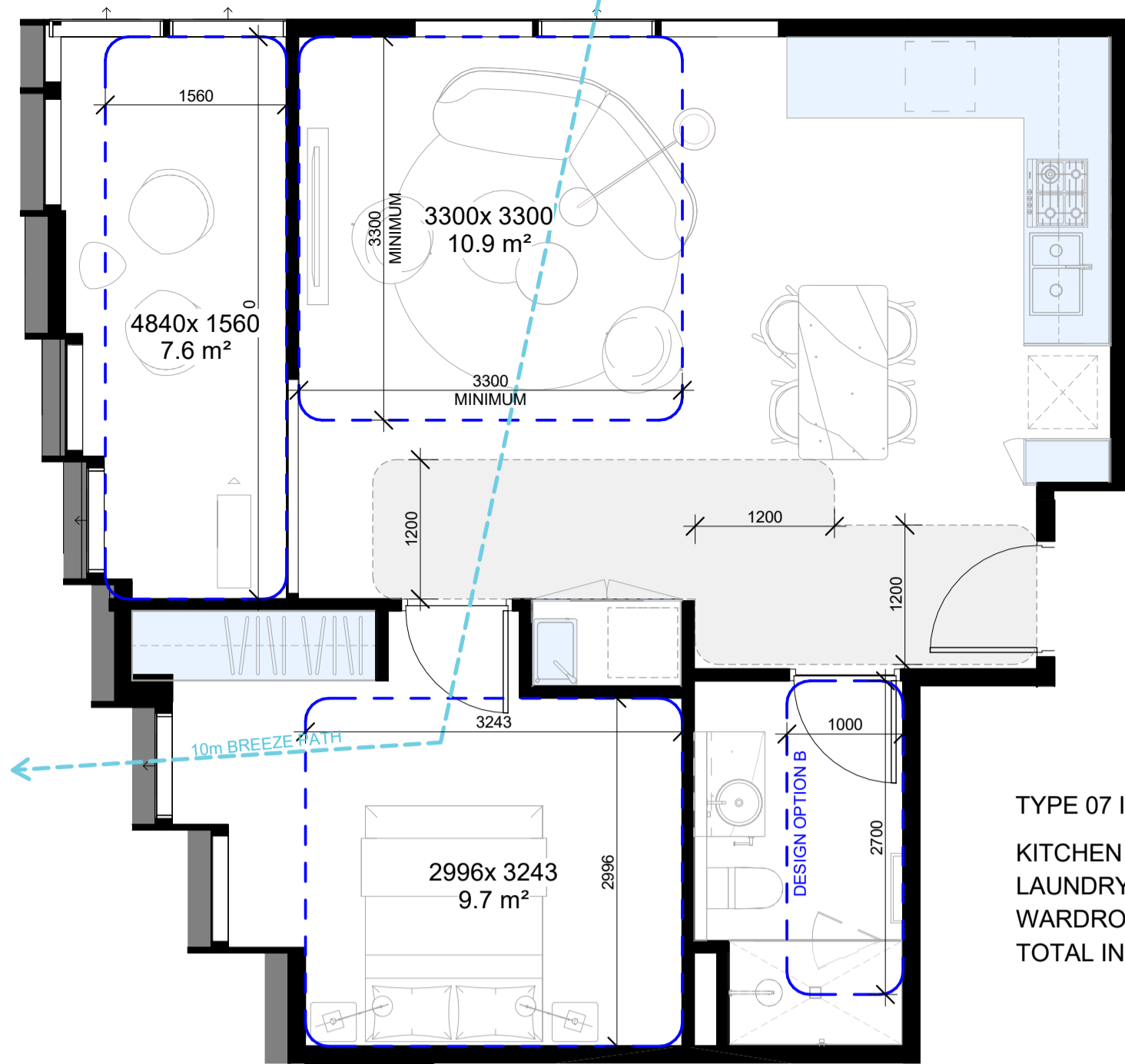
1:50 at A1

Date

11/03/2022

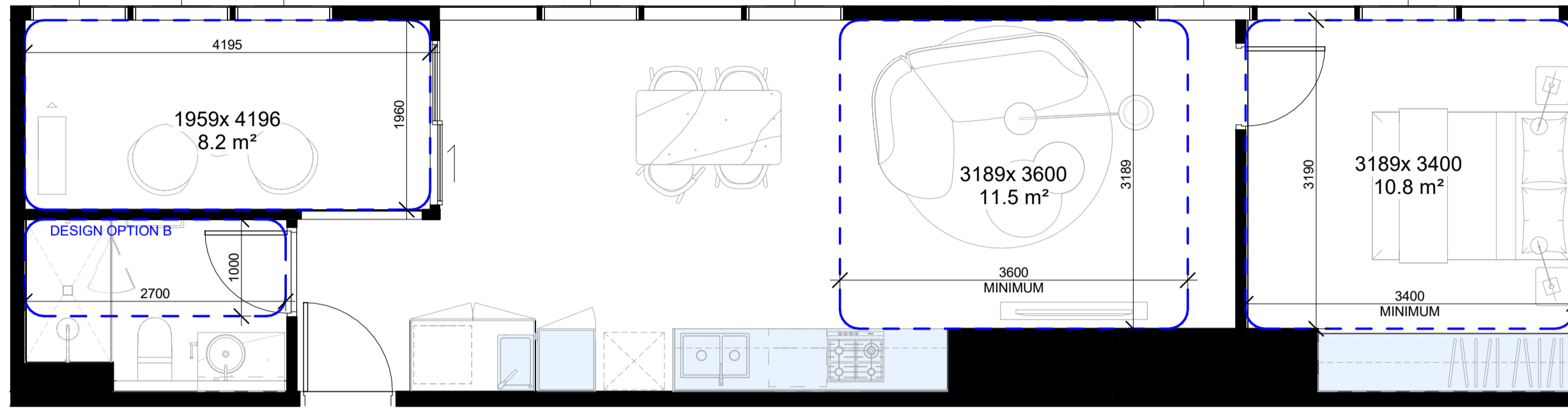
TOWN PLANNING

20020



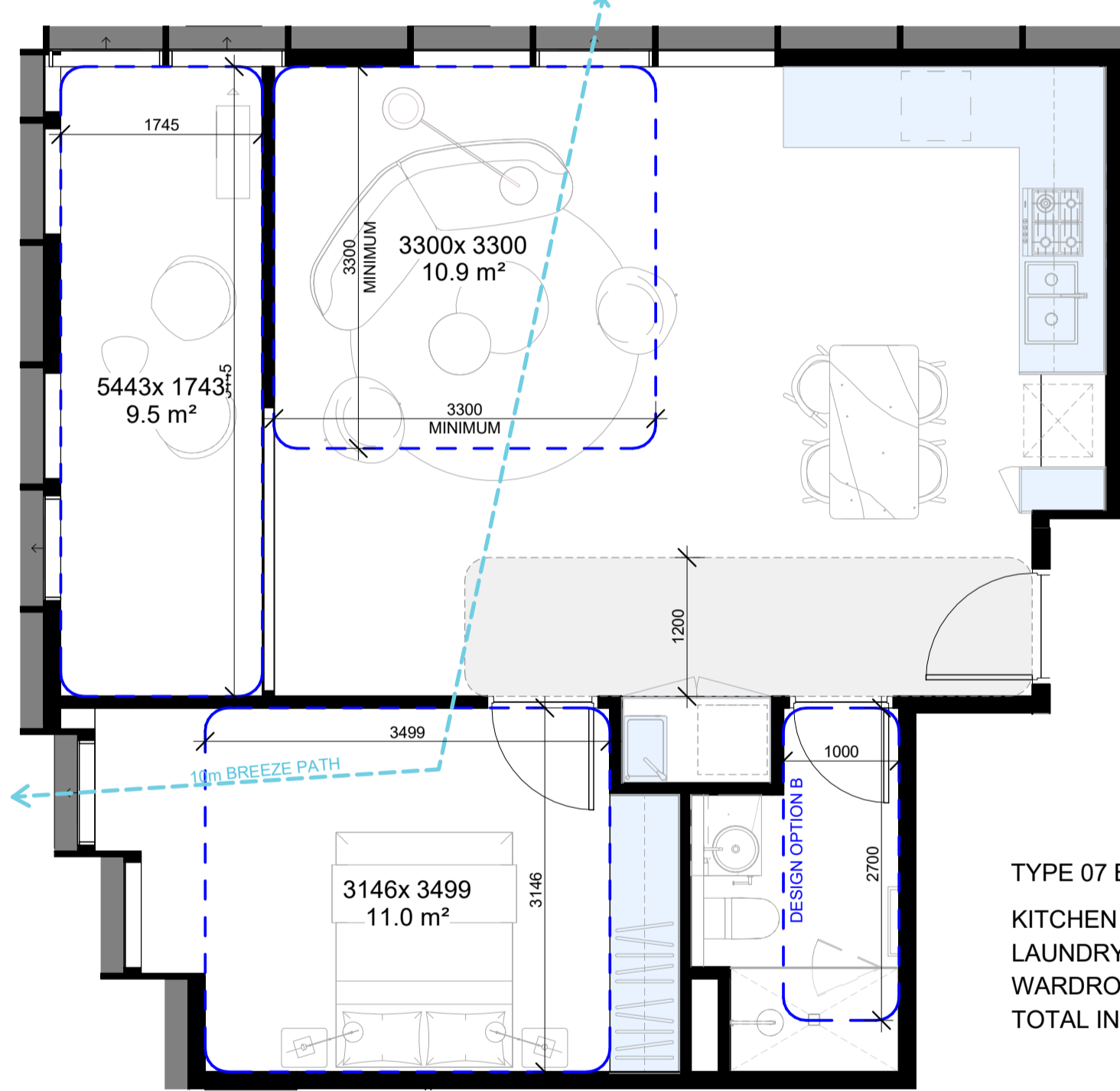
TYPE 07 INTERNAL STORAGE SCHEDULE

KITCHEN BENCH	3.59 m³
LAUNDRY	2.52 m³
WARDROBE	3.21 m³
TOTAL INTERNAL STORAGE	9.32 m³



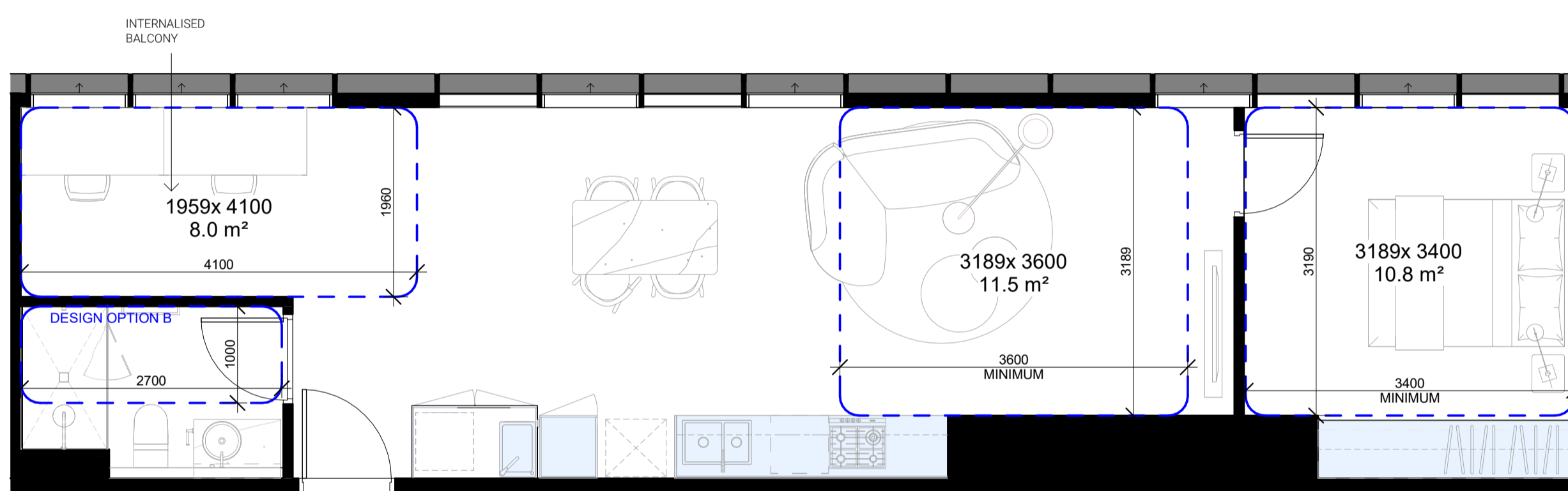
3 BADS ASSESSMENT - APT TYPE 08
SCALE 1 : 50

1 BADS ASSESSMENT - APT TYPE 07
SCALE 1 : 50



TYPE 07 B INTERNAL STORAGE SCHEDULE

KITCHEN BENCH	3.59 m³
LAUNDRY	2.52 m³
WARDROBE	3.68 m³
TOTAL INTERNAL STORAGE	9.78 m³



4 BADS ASSESSMENT - APT TYPE 08 B
SCALE 1 : 50

2 BADS ASSESSMENT - APT TYPE 07 B
SCALE 1 : 50

1 BED 1 BATH
TYPE 07 AREA: 62.0m² + 9.5m² (BALCONY)
APT: 302, 402, 502, 602

TYPE 07 B AREA: 64.5m² + 10.5m² (BALCONY)
APT: 702, 802

APARTMENT TYPE 07 - BADS ASSESSMENT TABLE

DESCRIPTION	Unit Type	QTY	STANDARD D17 COMPLIANT?	STANDARD D19 COMPLIANT?	STANDARD D20 COMPLIANT?	STANDARD D24 COMPLIANT?	STANDARD D25 COMPLIANT?	STANDARD D26 COMPLIANT?	STANDARD D27 COMPLIANT?
1 BED & 1 BATH	TYPE 07	4	YES	YES	YES	YES	YES	YES	YES
1 BED & 1 BATH	TYPE 07B	2	YES	YES	YES	YES	YES	YES	YES

1 BED 1 BATH
TYPE 08 AREA: 55m² + 9.5m² (BALCONY)
APT: 303, 403, 503, 603, 703, 803, 903, 1003, 1103, 1203

TYPE 08B AREA: 55m² + 90.5m² (BALCONY ONLY ON LEVEL 02)
APT: 203, 1303, 1403, 1503, 1603, 1703, 1803, 1903, 2003, 2103

TYPE 08 INTERNAL STORAGE SCHEDULE

KITCHEN BENCH	3.12 m³
LAUNDRY	2.50 m³
ROBE	4.06 m³
TOTAL INTERNAL STORAGE	9.67 m³

APARTMENT TYPE 08 - BADS ASSESSMENT TABLE

DESCRIPTION	Unit Type	QTY	STANDARD D17 COMPLIANT?	STANDARD D19 COMPLIANT?	STANDARD D20 COMPLIANT?	STANDARD D24 COMPLIANT?	STANDARD D25 COMPLIANT?	STANDARD D26 COMPLIANT?	STANDARD D27 COMPLIANT?
1 BED & 1 BATH	TYPE 08	10	NO	YES	YES	YES	YES	YES	NO
1 BED & 1 BATH + STUDY	TYPE 08B	9	NO	NO	YES	YES	YES	YES	NO

NOTES:

CEILING HEIGHTS:
LIVING AREAS - MINIMUM 2.7M CEILING HEIGHT
BED + BATH - MINIMUM 2.4M CEILING HEIGHT

DOORS:
ALL APARTMENT ENTRANCE DOORS, ACCESSIBLE BATHROOMS DOORS & MASTER BEDROOM DOORS SHALL PROVIDE A CLEAR OPENING WIDTH OF AT LEAST 850mm & IN THE CASE OF DESIGN OPTION B, SHALL BE FITTED WITH READILY REMOVABLE HINGES.

SHOWERS:
ALL APARTMENT SHOWERS TO BE HOBLESS STEP FREE SHOWERS & IN THE CASE OF DESIGN OPTION B, SHALL HAVE A REMOVABLE SCREEN.

LEGEND

	STANDARD 'D17' COMPLIANT
	STANDARD 'D19' COMPLIANT
	STANDARD 'D19' NOT COMPLIANT
	STANDARD 'D24' COMPLIANT
	STANDARD 'D24' NOT COMPLIANT
	STANDARD 'D25' COMPLIANT
	STANDARD 'D26' COMPLIANT
	STANDARD 'D27' COMPLIANT
	STORAGE

APARTMENT BADS REQUIREMENTS - LEGEND

D17 - ACCESSIBILITY	<ul style="list-style-type: none"> CLEAR PATH WITH MINIMUM 1.2m WIDTH - CONNECTING DWELLING ENTRANCE TO MAIN BEDROOM, ADAPTABLE BATHROOM AND LIVING AREA DESIGN OPTION A: 1.2m x 1.2m CLEAR PATH (850mm CLEAR DOOR), or DESIGN OPTION B: 1m x 2.7m CLEAR PATH (820mm CLEAR DOOR) SLIDING DOOR OR DOOR WITH READILY REMOVABLE HINGES HOBLESS SHOWER TOILET LOCATED IN CORNER OF ROOM, OR CLOSET TO DOOR OPENING (CLEAR OF ANY CIRCULATION)
D19 - P.O.S.	<p>STUDIO / 1 BEDROOM: 8m² WITH MINIMUM 1.8m DIMENSION</p> <p>2 BEDROOM: 10m² WITH MINIMUM 2m DIMENSION</p> <p>3 BEDROOM: 12m² WITH MINIMUM 2.4m DIMENSION</p> <p>NOTE: ADDITIONAL 1.5m² TO BE ADDED IF A/C UNIT TO BE LOCATED ON BALCONY</p>
D20 - STORAGE	<p>STUDIO / 1 BEDROOM: TOTAL VOLUME - 8m³ MINIMUM DWELLING STORAGE - 5m³</p> <p>2 BEDROOM: TOTAL VOLUME - 10m³ MINIMUM DWELLING STORAGE - 6m³</p> <p>3 BEDROOM: TOTAL VOLUME - 14m³ MINIMUM DWELLING STORAGE - 9m³</p>
D24 - ROOM SIZES	<p>LIVING AREAS</p> <p>STUDIO / 1 BEDROOM - 3.3m MINIMUM WIDTH, 10m² MINIMUM AREA</p> <p>2 OR MORE BEDROOMS - 3.6m MINIMUM WIDTH, 12m² MINIMUM AREA</p> <p>MAIN BEDROOM - 3m (W) x 3.4m (D) MINIMUM</p> <p>SECONDARY BEDROOM(S) - 3m (W) x 3m (D) MINIMUM</p>
D25 - ROOM DEPTH	MAX DEPTH 9m
D27 - VENTILATION	<p>MINIMUM BREEZE PATH: 5m</p> <p>MAXIMUM BREEZE PATH: 18m</p>



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Project
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102-108 JEFFCOTT STREET, WEST MELBOURNE.

Client
BLUE EARTH GROUP

Amendments	
No.	Date
A	22/01/2021
B	11/03/2022

Title
BETTER APARTMENT DESIGN STANDARD ASSESSMENT

Sheet
PRELIMINARY NOT FOR CONSTRUCTION

TOWN PLANNING

Sheet No. **TP1.304** Revision **C**

Scale **1 : 50** at **A1**

Date **11/03/2022**

20020

NOTES:

CEILING HEIGHTS:
LIVING AREAS - MINIMUM 2.7M CEILING HEIGHT
BED + BATH - MINIMUM 2.4M CEILING HEIGHT

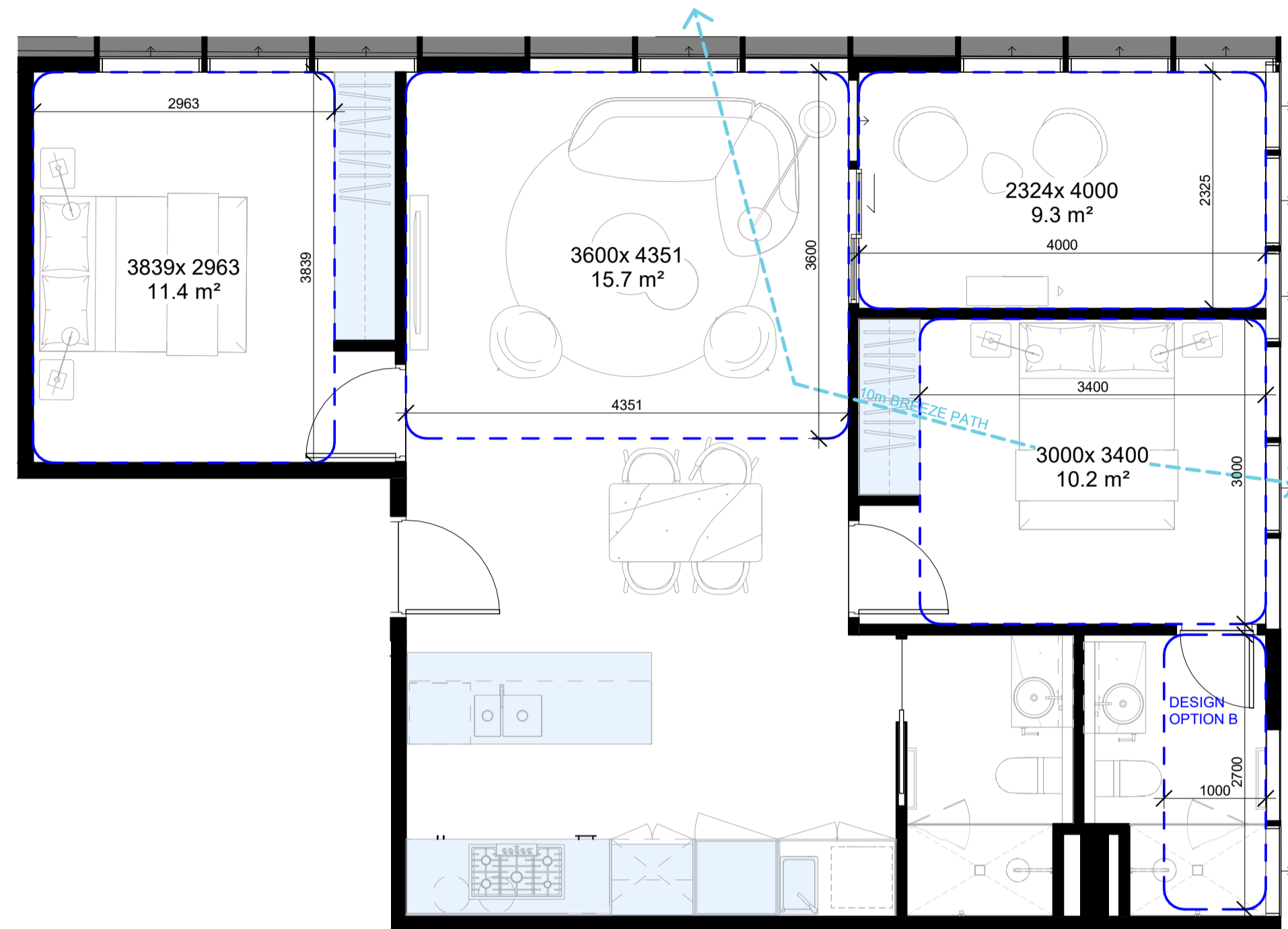
DOORS:
ALL APARTMENT ENTRANCE DOORS, ACCESSIBLE BATHROOMS DOORS & MASTER BEDROOM DOORS SHALL PROVIDE A CLEAR OPENING WIDTH OF AT LEAST 850mm & IN THE CASE OF DESIGN OPTION B, SHALL BE FITTED WITH READILY REMOVABLE HINGES.

SHOWERS:
ALL APARTMENT SHOWERS TO BE HOBLESS STEP FREE SHOWERS & IN THE CASE OF DESIGN OPTION B, SHALL HAVE A REMOVABLE SCREEN.

LEGEND

	STANDARD 'D17' COMPLIANT
	STANDARD 'D19' COMPLIANT
	STANDARD 'D19' NOT COMPLIANT
	STANDARD 'D24' COMPLIANT
	STANDARD 'D24' NOT COMPLIANT
	STANDARD 'D25' COMPLIANT
	STANDARD 'D26' COMPLIANT
	STANDARD 'D27' COMPLIANT
	STORAGE

APARTMENT BADS REQUIREMENTS - LEGEND	
D17 - ACCESSIBILITY	<ul style="list-style-type: none"> CLEAR PATH WITH MINIMUM 1.2m WIDTH - CONNECTING DWELLING ENTRANCE TO MAIN BEDROOM, ADAPTABLE BATHROOM AND LIVING AREA DESIGN OPTION A: 1.2m x 1.2m CLEAR PATH (850mm CLEAR DOOR), or DESIGN OPTION B: 1m x 2.7m CLEAR PATH (820mm CLEAR DOOR) SLIDING DOOR OR DOOR WITH READILY REMOVABLE HINGES HOBLESS SHOWER TOILET LOCATED IN CORNER OF ROOM, OR CLOSET TO DOOR OPENING (CLEAR OF ANY CIRCULATION)
D19 - P.O.S.	<p>STUDIO / 1 BEDROOM: 8m², WITH MINIMUM 1.8m DIMENSION</p> <p>NOTE: ADDITIONAL 1.5m² TO BE ADDED IF A/C UNIT TO BE LOCATED ON BALCONY</p> <p>2 BEDROOM: 10m², WITH MINIMUM 2m DIMENSION</p> <p>3 BEDROOM: 12m², WITH MINIMUM 2.4m DIMENSION</p>
D20 - STORAGE	<p>STUDIO: TOTAL VOLUME - 8m³ MINIMUM DWELLING STORAGE - 5m³</p> <p>1 BEDROOM: TOTAL VOLUME - 10m³ MINIMUM DWELLING STORAGE - 6m³</p> <p>2 BEDROOM: TOTAL VOLUME - 14m³ MINIMUM DWELLING STORAGE - 9m³</p> <p>3 BEDROOM: TOTAL VOLUME - 18m³ MINIMUM DWELLING STORAGE - 12m³</p>
D24 - ROOM SIZES	<p>LIVING AREAS</p> <p>STUDIO / 1 BEDROOM - 3.3m MINIMUM WIDTH, 10m² MINIMUM AREA</p> <p>2 OR MORE BEDROOMS - 3.6m MINIMUM WIDTH, 12m² MINIMUM AREA</p> <p>MAIN BEDROOM - 3m (W) x 3.4m (D) MINIMUM SECONDARY BEDROOM(S) - 3m (W) x 3m (D) MINIMUM</p>
D25 - ROOM DEPTH	MAX DEPTH 9m
D27 - VENTILATION	<p>MINIMUM BREEZE PATH: 5m</p> <p>MAXIMUM BREEZE PATH: 18m</p>



1 BADS ASSESSMENT - APT TYPE 09
SCALE 1 : 50

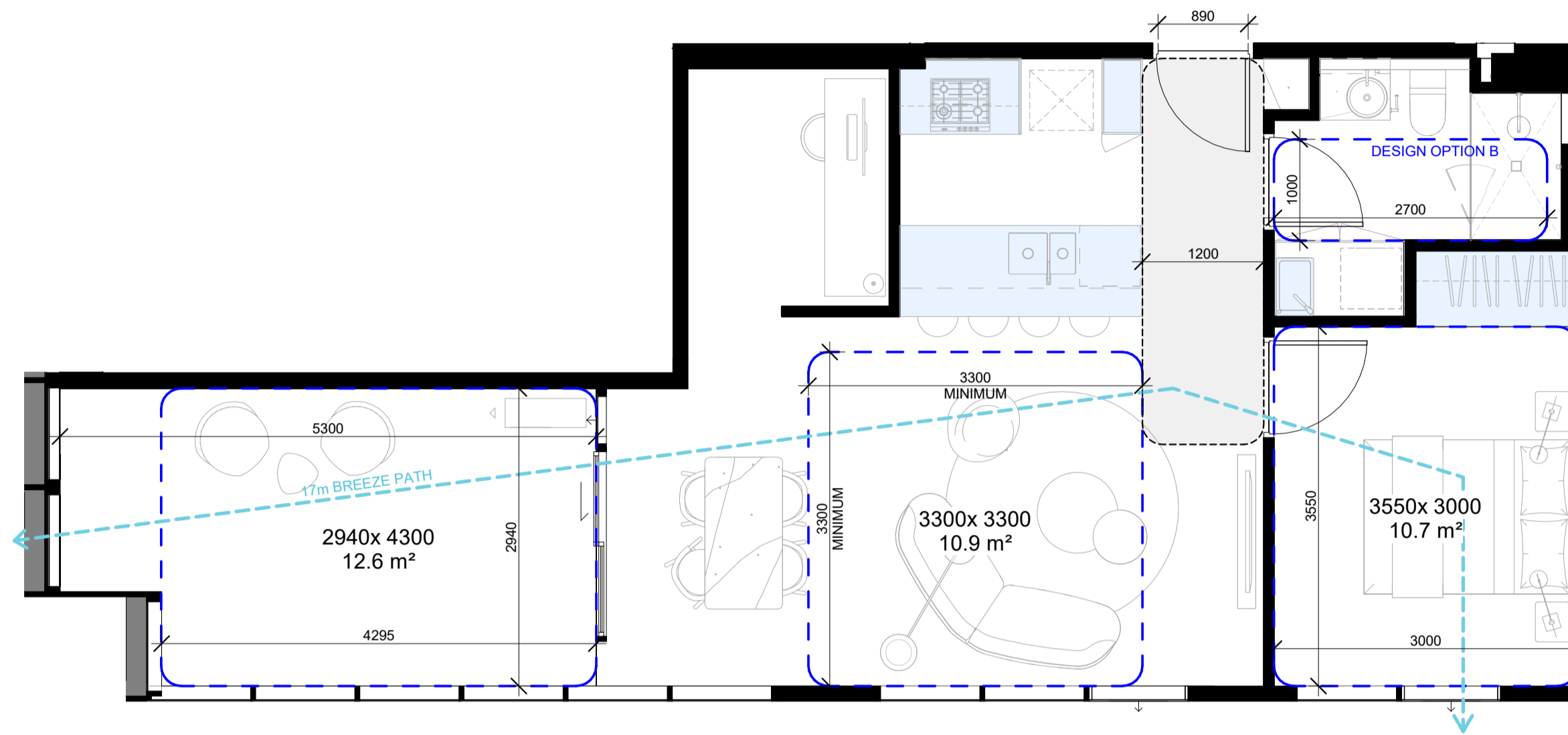
2 BED 2 BATH
AREA: 80.0m² + 10.5m² (BALCONY)
APT: 304, 404, 504, 604, 704, 804, 904, 1004, 1104, 1204

TYPE 09 INTERNAL STORAGE SCHEDULE

ISLAND BENCH	0.81 m³
KITCHEN BENCH	1.82 m³
LAUNDRY	2.10 m³
WARDROBE	6.59 m³
TOTAL INTERNAL STORAGE	11.31 m³

APARTMENT TYPE 09 - BADS ASSESSMENT TABLE

Unit Type	QTY	STANDARD 'D17' COMPLIANT?	STANDARD 'D19' COMPLIANT?	STANDARD 'D20' COMPLIANT?	STANDARD 'D24' COMPLIANT?	STANDARD 'D25' COMPLIANT?	STANDARD 'D26' COMPLIANT?	STANDARD 'D27' COMPLIANT?
2 BED & 2 BATH TYPE 09	10	NO	YES	YES	YES	YES	YES	YES



2 BADS ASSESSMENT - APT TYPE 10
SCALE 1 : 50

1 BED 1 BATH + STUDY
AREA: 60.5m² + 10.5m²-16.5m² (BALCONY)
APT: 1001, 1101, 1201

TYPE 10 INTERNAL STORAGE SCHEDULE

ISLAND BENCH	1.30 m³
KITCHEN BENCH	1.63 m³
LAUNDRY	2.34 m³
WARDROBE	3.06 m³
TOTAL INTERNAL STORAGE	8.33 m³

APARTMENT TYPE 10 - BADS ASSESSMENT TABLE

Unit Type	QTY	STANDARD 'D17' COMPLIANT?	STANDARD 'D19' COMPLIANT?	STANDARD 'D20' COMPLIANT?	STANDARD 'D24' COMPLIANT?	STANDARD 'D25' COMPLIANT?	STANDARD 'D26' COMPLIANT?	STANDARD 'D27' COMPLIANT?
1 BED & 1 BATH + STUDY TYPE 10	3	YES	YES	YES	YES	YES	YES	YES



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Project
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102-108 JEFFCOTT STREET, WEST MELBOURNE.
Client
BLUE EARTH GROUP

No.	Date	Notes
A	22.01.2021	TOWN PLANNING AMENDMENT
S	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title
BETTER APARTMENT DESIGN
STANDARD ASSESSMENT
Sheet
PRELIMINARY
NOT FOR CONSTRUCTION

TOWN PLANNING
Sheet No.
TP1.305
Revision
C
Scale
1 : 50
at A1
Date
11/03/2022
20020

NOTES:

CEILING HEIGHTS:
LIVING AREAS - MINIMUM 2.7M CEILING HEIGHT
BED + BATH - MINIMUM 2.4M CEILING HEIGHT

DOORS:
ALL APARTMENT ENTRANCE DOORS, ACCESSIBLE BATHROOMS DOORS & MASTER BEDROOM DOORS SHALL PROVIDE A CLEAR OPENING WIDTH OF AT LEAST 850mm & IN THE CASE OF DESIGN OPTION B, SHALL BE FITTED WITH READILY REMOVABLE HINGES.

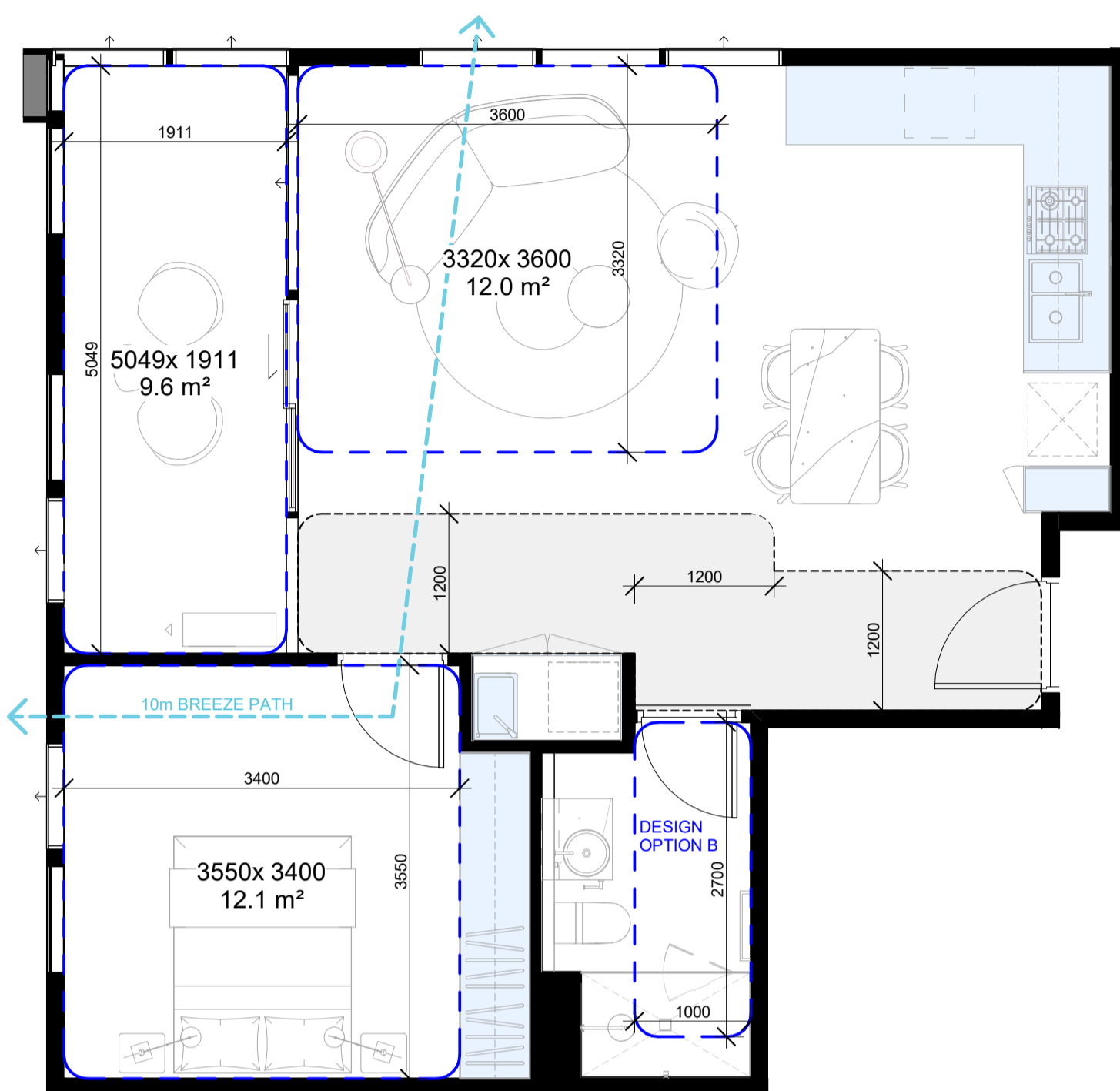
SHOWERS:
ALL APARTMENT SHOWERS TO BE HOBLESS STEP FREE SHOWERS & IN THE CASE OF DESIGN OPTION B, SHALL HAVE A REMOVABLE SCREEN.

LEGEND

	STANDARD 'D17' COMPLIANT
	STANDARD 'D19' COMPLIANT
	STANDARD 'D19' NOT COMPLIANT
	STANDARD 'D24' COMPLIANT
	STANDARD 'D24' NOT COMPLIANT
	STANDARD 'D25' COMPLIANT
	STANDARD 'D26' COMPLIANT
	STANDARD 'D27' COMPLIANT
	STORAGE

APARTMENT BADS REQUIREMENTS - LEGEND

D17 - ACCESSIBILITY	<ul style="list-style-type: none"> CLEAR PATH WITH MINIMUM 1.2m WIDTH - CONNECTING DWELLING ENTRANCE TO MAIN BEDROOM, ADAPTABLE BATHROOM AND LIVING AREA DESIGN OPTION A: 1.2m x 1.2m CLEAR PATH (850mm CLEAR DOOR), or DESIGN OPTION B: 1m x 2.7m CLEAR PATH (820mm CLEAR DOOR) SLIDING DOOR OR DOOR WITH READILY REMOVABLE HINGES HOBLESS SHOWER TOILET LOCATED IN CORNER OF ROOM, OR CLOSET TO DOOR OPENING (CLEAR OF ANY CIRCULATION)
D19 - P.O.S.	<p>STUDIO / 1 BEDROOM: 8m², WITH MINIMUM 1.8m DIMENSION</p> <p>NOTE: ADDITIONAL 1.5m² TO BE ADDED IF A/C UNIT TO BE LOCATED ON BALCONY</p> <p>2 BEDROOM: 10m², WITH MINIMUM 2m DIMENSION</p> <p>3 BEDROOM: 12m², WITH MINIMUM 2.4m DIMENSION</p>
D20 - STORAGE	<p>STUDIO: TOTAL VOLUME - 8m³, MINIMUM DWELLING STORAGE - 5m³</p> <p>1 BEDROOM: TOTAL VOLUME - 10m³, MINIMUM DWELLING STORAGE - 6m³</p> <p>2 BEDROOM: TOTAL VOLUME - 14m³, MINIMUM DWELLING STORAGE - 9m³</p> <p>3 BEDROOM: TOTAL VOLUME - 18m³, MINIMUM DWELLING STORAGE - 12m³</p>
D24 - ROOM SIZES	<p>LIVING AREAS</p> <p>STUDIO / 1 BEDROOM - 3.3m MINIMUM WIDTH, 10m² MINIMUM AREA</p> <p>2 OR MORE BEDROOMS - 3.6m MINIMUM WIDTH, 12m² MINIMUM AREA</p> <p>MAIN BEDROOM - 3m (W) x 3.4m (D) MINIMUM</p> <p>SECONDARY BEDROOM(S) - 3m (W) x 3m (D) MINIMUM</p>
D25 - ROOM DEPTH	MAX DEPTH 9m
D27 - VENTILATION	<p>MINIMUM BREEZE PATH: 5m</p> <p>MAXIMUM BREEZE PATH: 18m</p>



1 BADS ASSESSMENT - APT TYPE 11
SCALE 1 : 50

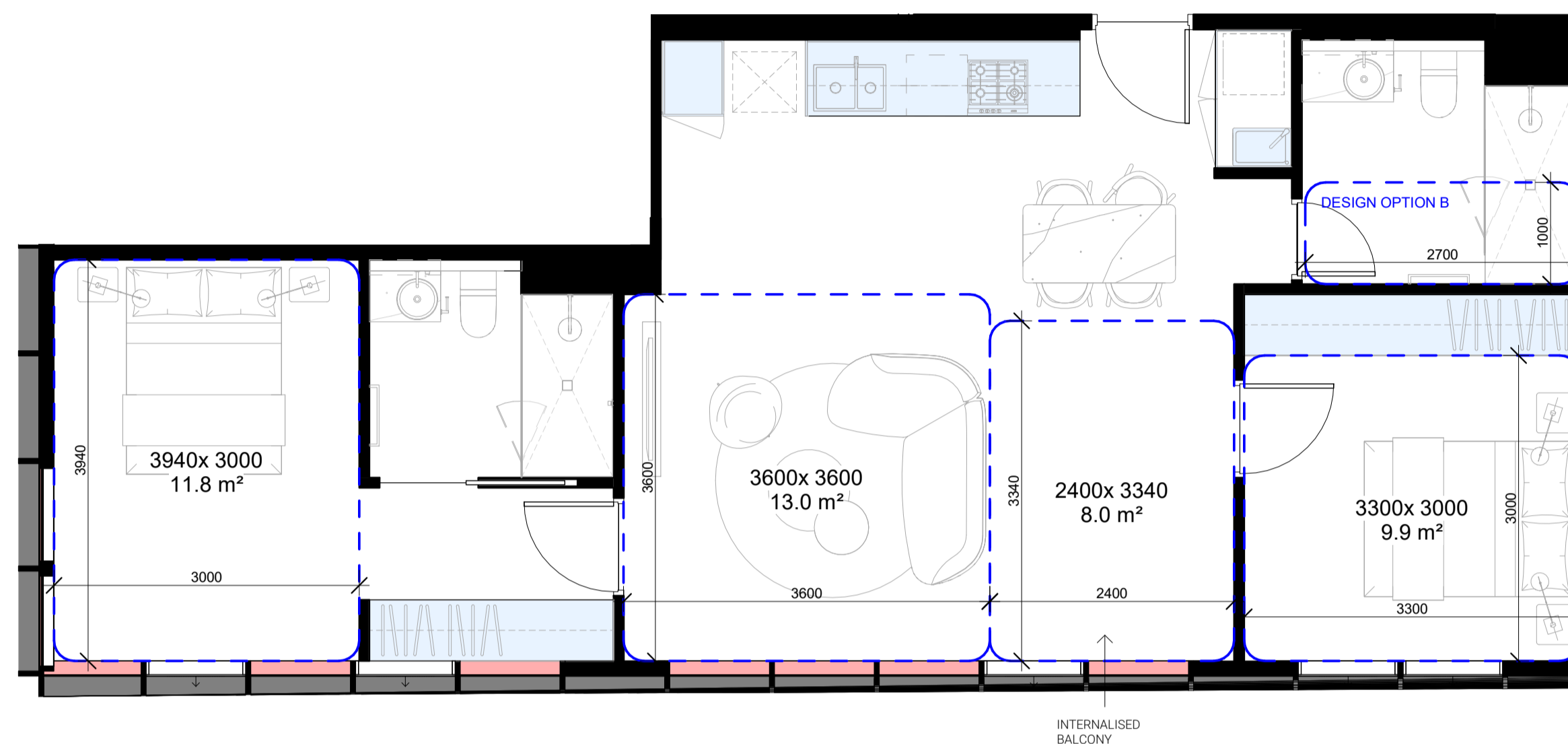
2 BED 2 BATH
AREA: 73m² + 9.5m² (BALCONY)
APT: 902, 1002, 1102

TYPE 11 INTERNAL STORAGE SCHEDULE

KITCHEN BENCH	3.59 m³
LAUNDRY	2.52 m³
WARDROBE	4.28 m³
TOTAL INTERNAL STORAGE	10.39 m³

APARTMENT TYPE 11 - BADS ASSESSMENT TABLE

Unit Type	QTY	STANDARD 'D17' COMPLIANT?	STANDARD 'D19' COMPLIANT?	STANDARD 'D20' COMPLIANT?	STANDARD 'D24' COMPLIANT?	STANDARD 'D25' COMPLIANT?	STANDARD 'D26' COMPLIANT?	STANDARD 'D27' COMPLIANT?
1 BED & 1 BATH TYPE 11	3	YES	YES	YES	YES	YES	YES	YES



2 BADS ASSESSMENT - APT TYPE 12
SCALE 1 : 50

2 BED 2 BATH
AREA: 84.5m²
APT: 1301, 1401, 1501, 1601, 1701, 1801, 1901, 2001, 2101

TYPE 12 INTERNAL STORAGE SCHEDULE

KITCHEN BENCH	6.24 m³
LAUNDRY	4.90 m³
WARDROBE	17.44 m³
TOTAL INTERNAL STORAGE	28.58 m³

APARTMENT TYPE 12 - BADS ASSESSMENT TABLE

Unit Type	QTY	STANDARD 'D17' COMPLIANT?	STANDARD 'D19' COMPLIANT?	STANDARD 'D20' COMPLIANT?	STANDARD 'D24' COMPLIANT?	STANDARD 'D25' COMPLIANT?	STANDARD 'D26' COMPLIANT?	STANDARD 'D27' COMPLIANT?
2 BED & 2 BATH TYPE 12	8	NO	NO	YES	YES	YES	YES	NO



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Project
102-108 JEFFCOTT STREET, WEST MELBOURNE
102-108 JEFFCOTT STREET, WEST MELBOURNE.
Client
BLUE EARTH GROUP

No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	10/05/2021	DELIVERED
C	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title
BETTER APARTMENT DESIGN
STANDARD ASSESSMENT
Sheet
PRELIMINARY
NOT FOR CONSTRUCTION

TOWN PLANNING
Sheet No. TP1.306
Revision C
Scale 1 : 50 at A1
Date 11/03/2022
20020

NOTES:

CEILING HEIGHTS:
LIVING AREAS - MINIMUM 2.7M CEILING HEIGHT
BED + BATH - MINIMUM 2.4M CEILING HEIGHT

DOORS:
ALL APARTMENT ENTRANCE DOORS, ACCESSIBLE BATHROOMS DOORS & MASTER BEDROOM DOORS SHALL PROVIDE A CLEAR OPENING WIDTH OF AT LEAST 850mm & IN THE CASE OF DESIGN OPTION B, SHALL BE FITTED WITH READILY REMOVABLE HINGES.

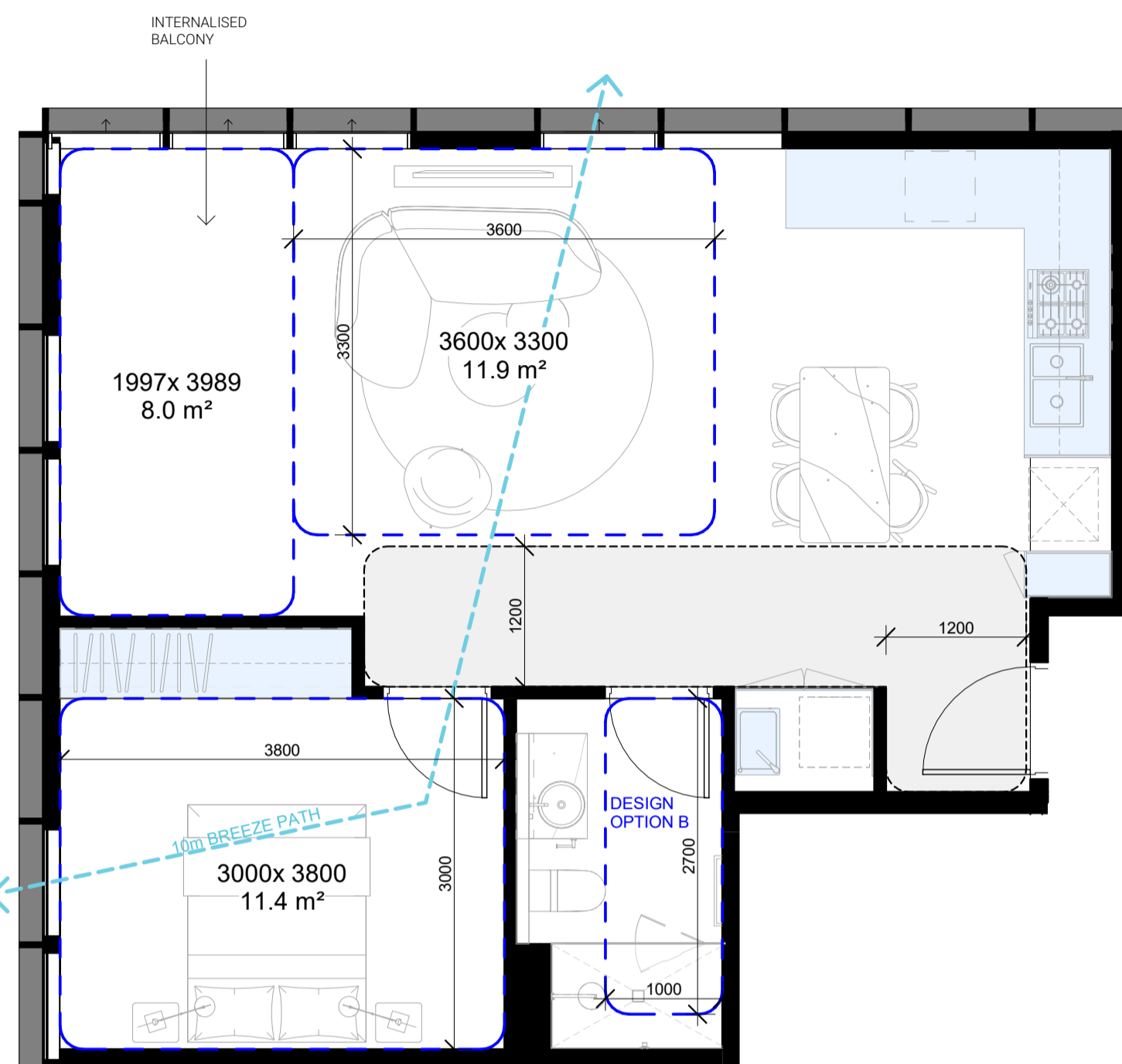
SHOWERS:
ALL APARTMENT SHOWERS TO BE HOBLESS STEP FREE SHOWERS & IN THE CASE OF DESIGN OPTION B, SHALL HAVE A REMOVABLE SCREEN.

LEGEND

	STANDARD 'D17' COMPLIANT
	STANDARD 'D19' COMPLIANT
	STANDARD 'D19' NOT COMPLIANT
	STANDARD 'D24' COMPLIANT
	STANDARD 'D24' COMPLIANT
	STANDARD 'D24' NOT COMPLIANT
	STANDARD 'D25' COMPLIANT
	STANDARD 'D26' COMPLIANT
	STANDARD 'D27' COMPLIANT
	STORAGE

APARTMENT BADS REQUIREMENTS - LEGEND

D17 - ACCESSIBILITY	<ul style="list-style-type: none"> CLEAR PATH WITH MINIMUM 1.2m WIDTH - CONNECTING DWELLING ENTRANCE TO MAIN BEDROOM, ADAPTABLE BATHROOM AND LIVING AREA DESIGN OPTION A: 1.2m x 1.2m CLEAR PATH (850mm CLEAR DOOR), or DESIGN OPTION B: 1m x 2.7m CLEAR PATH (820mm CLEAR DOOR) SLIDING DOOR OR DOOR WITH READILY REMOVABLE HINGES HOBLESS SHOWER TOILET LOCATED IN CORNER OF ROOM, OR CLOSET TO DOOR OPENING (CLEAR OF ANY CIRCULATION)
D19 - P.O.S.	<p>STUDIO / 1 BEDROOM: 8m², WITH MINIMUM 1.8m DIMENSION</p> <p>NOTE: ADDITIONAL 1.5m² TO BE ADDED IF A/C UNIT TO BE LOCATED ON BALCONY</p> <p>2 BEDROOM: 10m², WITH MINIMUM 2m DIMENSION</p> <p>3 BEDROOM: 12m², WITH MINIMUM 2.4m DIMENSION</p>
D20 - STORAGE	<p>STUDIO: TOTAL VOLUME - 8m³ MINIMUM DWELLING STORAGE - 5m³</p> <p>1 BEDROOM: TOTAL VOLUME - 10m³ MINIMUM DWELLING STORAGE - 6m³</p> <p>2 BEDROOM: TOTAL VOLUME - 14m³ MINIMUM DWELLING STORAGE - 9m³</p> <p>3 BEDROOM: TOTAL VOLUME - 18m³ MINIMUM DWELLING STORAGE - 12m³</p>
D24 - ROOM SIZES	<p>LIVING AREAS</p> <p>STUDIO / 1 BEDROOM - 3.3m MINIMUM WIDTH, 10m² MINIMUM AREA</p> <p>2 OR MORE BEDROOMS - 3.6m MINIMUM WIDTH, 12m² MINIMUM AREA</p> <p>MAIN BEDROOM - 3m (W) x 3.4m (D) MINIMUM SECONDARY BEDROOM(S) - 3m (W) x 3m (D) MINIMUM</p>
D25 - ROOM DEPTH	MAX DEPTH 9m
D27 - VENTILATION	<p>MINIMUM BREEZE PATH: 5m</p> <p>MAXIMUM BREEZE PATH: 18m</p>



1 BADS ASSESSMENT - APT TYPE 13
SCALE 1 : 50

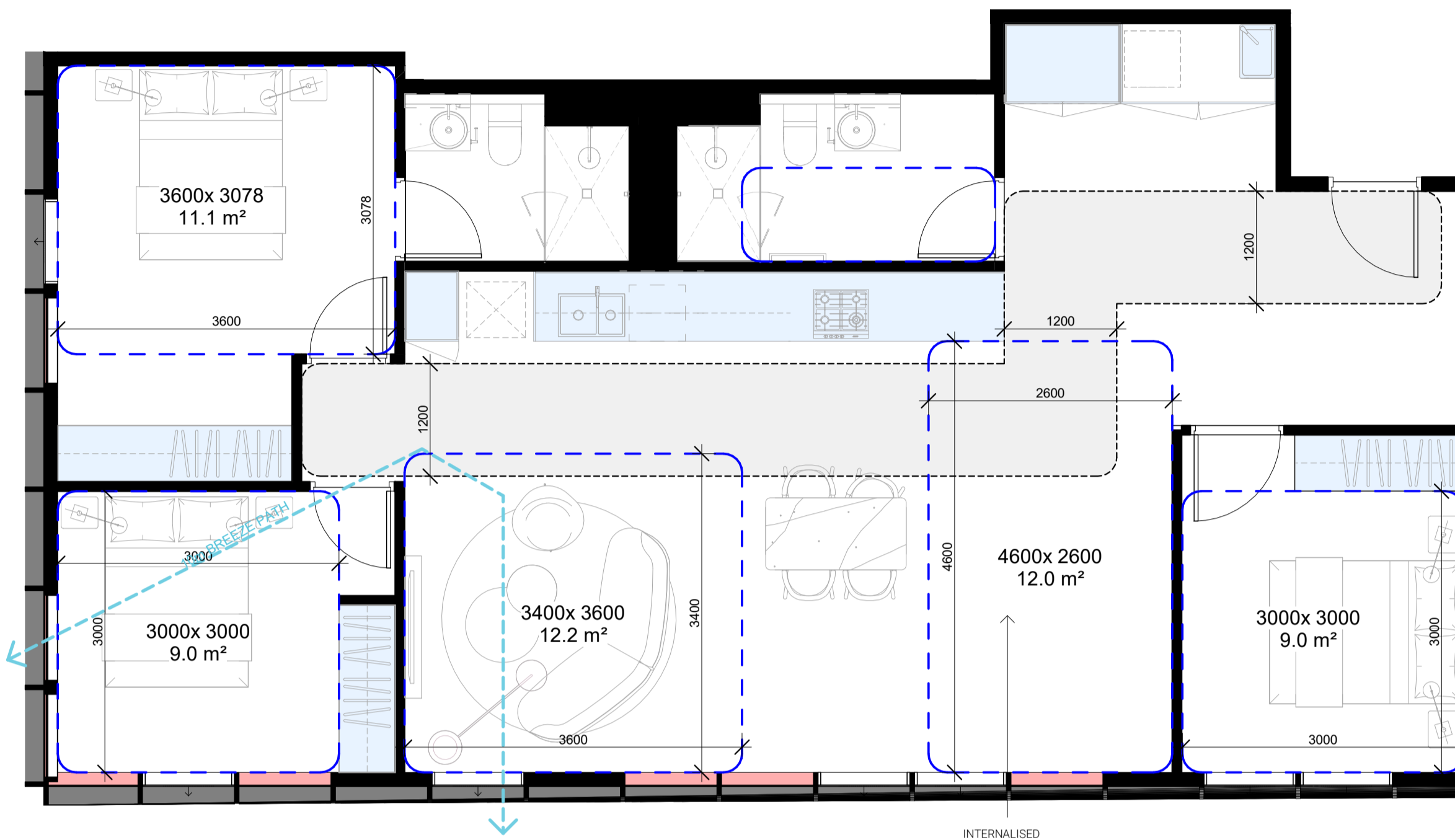
1 BED 1 BATH
AREA: 67.0m²
APT: 1302, 1402, 1502, 1602, 1702, 1802, 1902, 2002, 2102

TYPE 13 INTERNAL STORAGE SCHEDULE

KITCHEN BENCH	1.82 m³
LAUNDRY	2.16 m³
ROBE	3.83 m³
TOTAL INTERNAL STORAGE	7.80 m³

APARTMENT TYPE 13 - BADS ASSESSMENT TABLE

Unit Type	QTY	STANDARD 'D17' COMPLIANT?	STANDARD 'D19' COMPLIANT?	STANDARD 'D20' COMPLIANT?	STANDARD 'D24' COMPLIANT?	STANDARD 'D25' COMPLIANT?	STANDARD 'D26' COMPLIANT?	STANDARD 'D27' COMPLIANT?
1 BED & 1 BATH TYPE 13	8	YES	YES	YES	YES	YES	YES	YES



2 BADS ASSESSMENT - APT TYPE 14
SCALE 1 : 50

3 BED 2 BATH
AREA: 96.0m²
APT: 2201

TYPE 14 INTERNAL STORAGE SCHEDULE

CUPBOARD	2.76 m³
KITCHEN BENCH	1.82 m³
LAUNDRY	2.34 m³
WARDROBE	10.40 m³
TOTAL INTERNAL STORAGE	17.32 m³

APARTMENT TYPE 14 - BADS ASSESSMENT TABLE

Unit Type	QTY	STANDARD 'D17' COMPLIANT?	STANDARD 'D19' COMPLIANT?	STANDARD 'D20' COMPLIANT?	STANDARD 'D24' COMPLIANT?	STANDARD 'D25' COMPLIANT?	STANDARD 'D26' COMPLIANT?	STANDARD 'D27' COMPLIANT?
3 BED & 2 BATH TYPE 14	2	YES	YES	YES	YES	YES	YES	<varies>



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Project
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102-108 JEFFCOTT STREET, WEST MELBOURNE.
Client
BLUE EARTH GROUP

No.	Date	Notes
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BETTER APARTMENT DESIGN
STANDARD ASSESSMENT
Sheet
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TOWN PLANNING

Sheet No. TP1.307
Revision C
Scale 1 : 50 at A1
Date 11/03/2022

20020

NOTES:

CEILING HEIGHTS:
LIVING AREAS - MINIMUM 2.7M CEILING HEIGHT
BED + BATH - MINIMUM 2.4M CEILING HEIGHT

DOORS:
ALL APARTMENT ENTRANCE DOORS, ACCESSIBLE BATHROOMS DOORS & MASTER BEDROOM DOORS SHALL PROVIDE A CLEAR OPENING WIDTH OF AT LEAST 850mm & IN THE CASE OF DESIGN OPTION B, SHALL BE FITTED WITH READILY REMOVABLE HINGES.

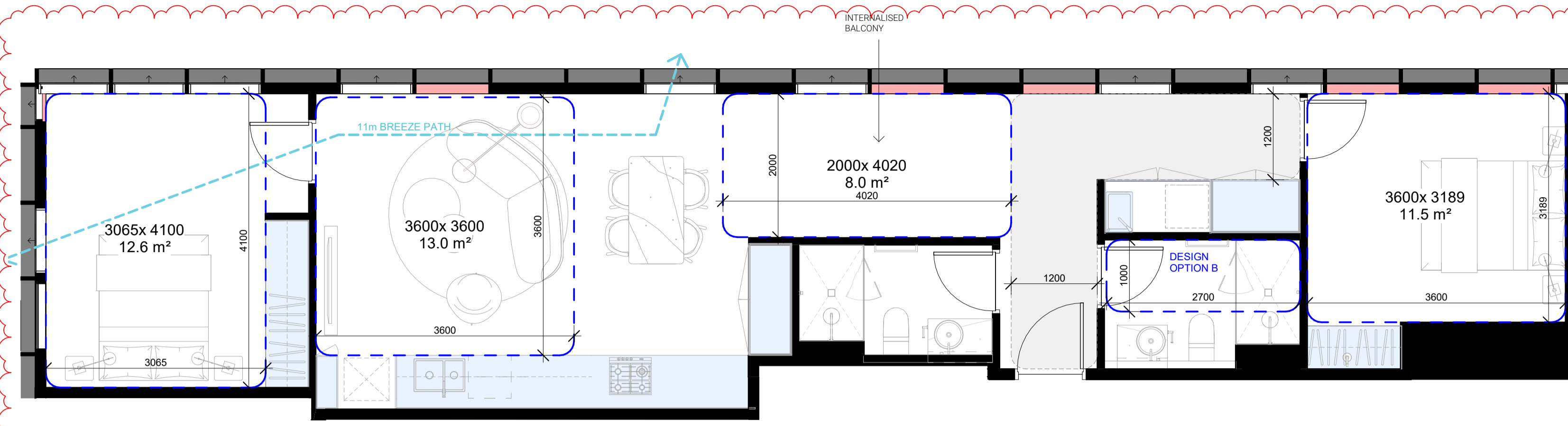
SHOWERS:
ALL APARTMENT SHOWERS TO BE HOBLESS STEP FREE SHOWERS & IN THE CASE OF DESIGN OPTION B, SHALL HAVE A REMOVABLE SCREEN.

LEGEND

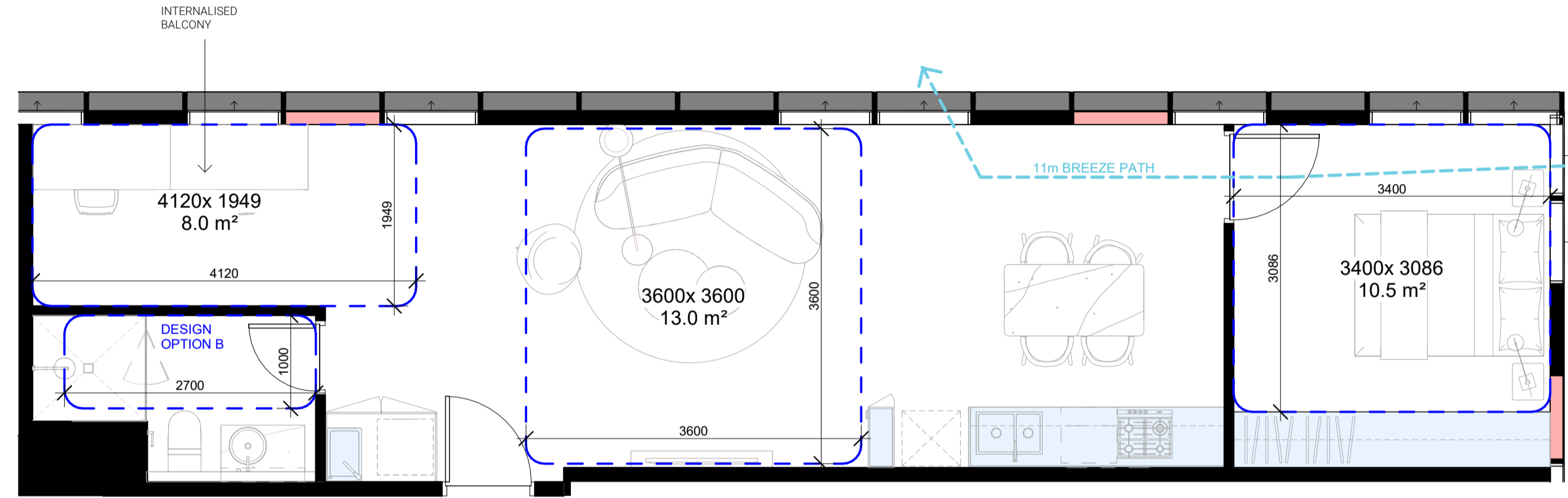
	STANDARD 'D17' COMPLIANT
	STANDARD 'D19' COMPLIANT
	STANDARD 'D19' NOT COMPLIANT
	STANDARD 'D24' COMPLIANT
	STANDARD 'D24' NOT COMPLIANT
	STANDARD 'D25' COMPLIANT
	STANDARD 'D25' NOT COMPLIANT
	STANDARD 'D26' COMPLIANT
	STANDARD 'D27' COMPLIANT
	STORAGE

APARTMENT BADS REQUIREMENTS - LEGEND

D17 - ACCESSIBILITY	<ul style="list-style-type: none"> CLEAR PATH WITH MINIMUM 1.2m WIDTH - CONNECTING DWELLING ENTRANCE TO MAIN BEDROOM, ADAPTABLE BATHROOM AND LIVING AREA DESIGN OPTION A: 1.2m x 1.2m CLEAR PATH (850mm CLEAR DOOR), or DESIGN OPTION B: 1m x 2.7m CLEAR PATH (820mm CLEAR DOOR) SLIDING DOOR OR DOOR WITH READILY REMOVABLE HINGES HOBLESS SHOWER TOILET LOCATED IN CORNER OF ROOM, OR CLOSET TO DOOR OPENING (CLEAR OF ANY CIRCULATION)
D19 - P.O.S.	<p>STUDIO / 1 BEDROOM: 8m², WITH MINIMUM 1.8m DIMENSION</p> <p>NOTE: ADDITIONAL 1.5m² TO BE ADDED IF A/C UNIT TO BE LOCATED ON BALCONY</p> <p>2 BEDROOM: 10m², WITH MINIMUM 2m DIMENSION</p> <p>3 BEDROOM: 12m², WITH MINIMUM 2.4m DIMENSION</p>
D20 - STORAGE	<p>STUDIO: TOTAL VOLUME - 8m³ MINIMUM DWELLING STORAGE - 5m³</p> <p>1 BEDROOM: TOTAL VOLUME - 10m³ MINIMUM DWELLING STORAGE - 6m³</p> <p>2 BEDROOM: TOTAL VOLUME - 14m³ MINIMUM DWELLING STORAGE - 9m³</p> <p>3 BEDROOM: TOTAL VOLUME - 18m³ MINIMUM DWELLING STORAGE - 12m³</p>
D24 - ROOM SIZES	<p>LIVING AREAS</p> <p>STUDIO / 1 BEDROOM - 3.3m MINIMUM WIDTH, 10m² MINIMUM AREA</p> <p>2 OR MORE BEDROOMS - 3.6m MINIMUM WIDTH, 12m² MINIMUM AREA</p> <p>MAIN BEDROOM - 3m (W) x 3.4m (D) MINIMUM SECONDARY BEDROOM(S) - 3m (W) x 3m (D) MINIMUM</p>
D25 - ROOM DEPTH	MAX DEPTH 9m
D27 - VENTILATION	<p>MINIMUM BREEZE PATH: 5m</p> <p>MAXIMUM BREEZE PATH: 18m</p>



1 BADS ASSESSMENT - APT TYPE 15
SCALE 1 : 50



2 BADS ASSESSMENT - APT TYPE 16
SCALE 1 : 50

3 BED 2 BATH
AREA: 91.0m²
APT: 2202

TYPE 15 INTERNAL STORAGE SCHEDULE

CUPBOARD	4.33 m³
KITCHEN BENCH	1.82 m³
LAUNDRY	2.68 m³
WARDROBE	3.57 m³
TOTAL INTERNAL STORAGE	12.40 m³

3 BED 2 BATH
AREA: 95.5m²
APT: 2203

TYPE 16 INTERNAL STORAGE SCHEDULE

KITCHEN BENCH	2.20 m³
LAUNDRY	2.16 m³
WARDROBE	5.20 m³
TOTAL INTERNAL STORAGE	9.55 m³

APARTMENT TYPE 15 - BADS ASSESSMENT TABLE

Unit Type	QTY	STANDARD 'D17' COMPLIANT?	STANDARD 'D19' COMPLIANT?	STANDARD 'D20' COMPLIANT?	STANDARD 'D24' COMPLIANT?	STANDARD 'D25' COMPLIANT?	STANDARD 'D26' COMPLIANT?	STANDARD 'D27' COMPLIANT?
2 BED & 2 BATH	2	YES	YES	YES	YES	YES	YES	YES

APARTMENT TYPE 16 - BADS ASSESSMENT TABLE

Unit Type	QTY	STANDARD 'D17' COMPLIANT?	STANDARD 'D19' COMPLIANT?	STANDARD 'D20' COMPLIANT?	STANDARD 'D24' COMPLIANT?	STANDARD 'D25' COMPLIANT?	STANDARD 'D26' COMPLIANT?	STANDARD 'D27' COMPLIANT?
1 BED & 1 BATH + STUDY	2	NO	YES	YES	YES	YES	YES	<varies>

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Project
102-108 JEFFCOTT STREET, WEST MELBOURNE
102-108 JEFFCOTT STREET, WEST MELBOURNE.

Client
BLUE EARTH GROUP

Amendments

No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
S	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title
BETTER APARTMENT DESIGN
STANDARD ASSESSMENT

Sheet
PRELIMINARY
NOT FOR CONSTRUCTION

TOWN PLANNING

Sheet No. TP1.308
Revision C

Scale
1 : 50 at A1

Date
11/03/2022

20020

Drawn by:AutoChecked by:Checker

NOTES:

CEILING HEIGHTS:
LIVING AREAS - MINIMUM 2.7M CEILING HEIGHT
BED + BATH - MINIMUM 2.4M CEILING HEIGHT

DOORS:
ALL APARTMENT ENTRANCE DOORS, ACCESSIBLE BATHROOMS DOORS & MASTER BEDROOM DOORS SHALL PROVIDE A CLEAR OPENING WIDTH OF AT LEAST 850mm & IN THE CASE OF DESIGN OPTION B, SHALL BE FITTED WITH READILY REMOVABLE HINGES.

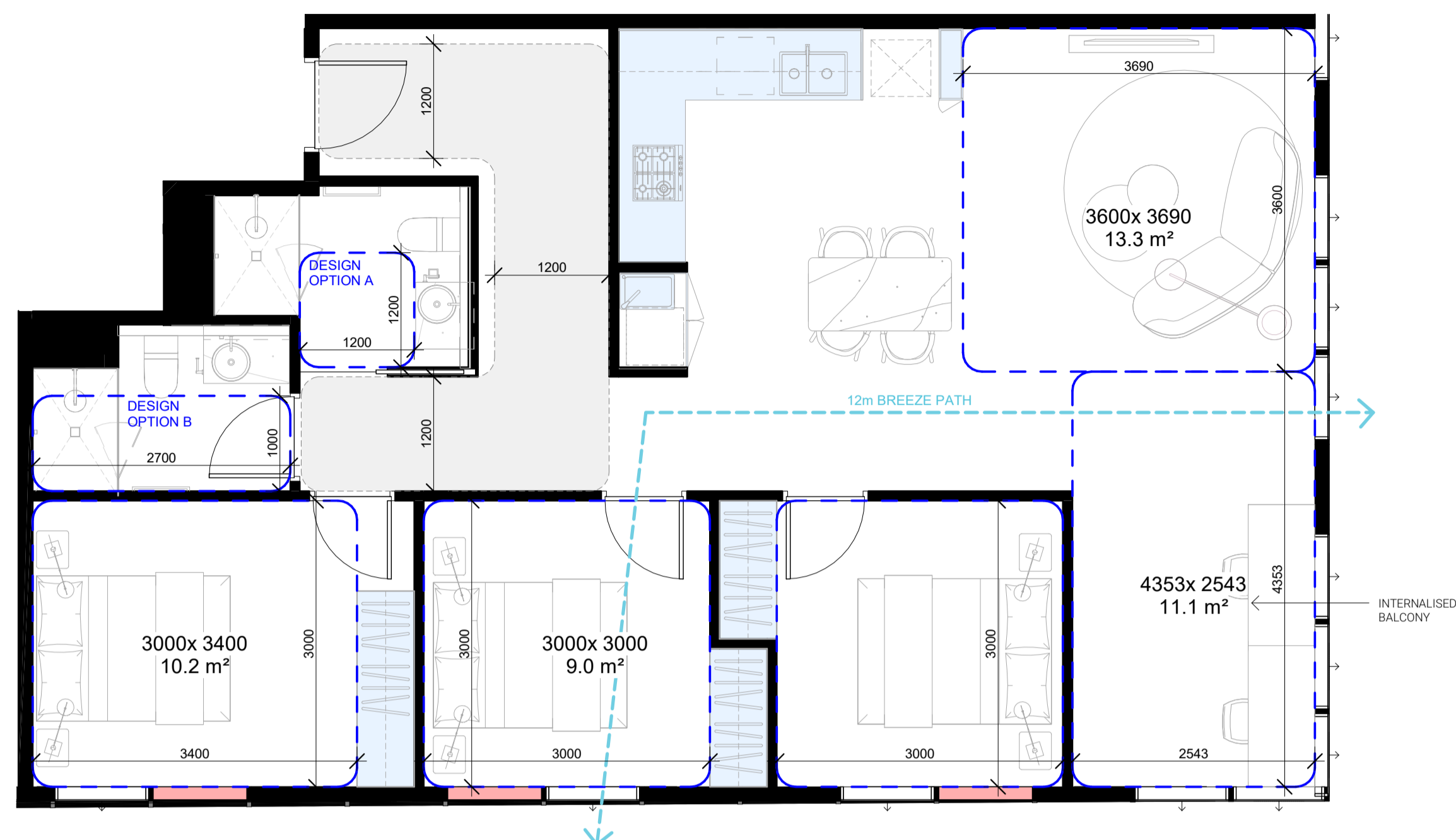
SHOWERS:
ALL APARTMENT SHOWERS TO BE HOBLESS STEP FREE SHOWERS & IN THE CASE OF DESIGN OPTION B, SHALL HAVE A REMOVABLE SCREEN.

LEGEND

	STANDARD 'D17' COMPLIANT
	STANDARD 'D19' COMPLIANT
	STANDARD 'D19' NOT COMPLIANT
	STANDARD 'D24' COMPLIANT
	STANDARD 'D24' NOT COMPLIANT
	STANDARD 'D25' COMPLIANT
	STANDARD 'D26' COMPLIANT
	STANDARD 'D27' COMPLIANT
	STORAGE

APARTMENT BADS REQUIREMENTS - LEGEND

D17 - ACCESSIBILITY	<ul style="list-style-type: none"> CLEAR PATH WITH MINIMUM 1.2m WIDTH - CONNECTING DWELLING ENTRANCE TO MAIN BEDROOM, ADAPTABLE BATHROOM AND LIVING AREA DESIGN OPTION A: 1.2m x 1.2m CLEAR PATH (850mm CLEAR DOOR), or DESIGN OPTION B: 1m x 2.7m CLEAR PATH (820mm CLEAR DOOR) SLIDING DOOR OR DOOR WITH READILY REMOVABLE HINGES HOBLESS SHOWER TOILET LOCATED IN CORNER OF ROOM, OR CLOSET TO DOOR OPENING (CLEAR OF ANY CIRCULATION)
D19 - P.O.S.	<p>STUDIO / 1 BEDROOM: 8m², WITH MINIMUM 1.8m DIMENSION</p> <p>NOTE: ADDITIONAL 1.5m² TO BE ADDED IF A/C UNIT TO BE LOCATED ON BALCONY</p> <p>2 BEDROOM: 10m², WITH MINIMUM 2m DIMENSION</p> <p>3 BEDROOM: 12m², WITH MINIMUM 2.4m DIMENSION</p>
D20 - STORAGE	<p>STUDIO: TOTAL VOLUME - 8m³, MINIMUM DWELLING STORAGE - 5m³</p> <p>1 BEDROOM: TOTAL VOLUME - 10m³, MINIMUM DWELLING STORAGE - 6m³</p> <p>2 BEDROOM: TOTAL VOLUME - 14m³, MINIMUM DWELLING STORAGE - 9m³</p> <p>3 BEDROOM: TOTAL VOLUME - 18m³, MINIMUM DWELLING STORAGE - 12m³</p>
D24 - ROOM SIZES	<p>LIVING AREAS</p> <p>STUDIO / 1 BEDROOM - 3.3m MINIMUM WIDTH, 10m² MINIMUM AREA</p> <p>2 OR MORE BEDROOMS - 3.6m MINIMUM WIDTH, 12m² MINIMUM AREA</p> <p>MAIN BEDROOM - 3m (W) x 3.4m (D) MINIMUM</p> <p>SECONDARY BEDROOM(S) - 3m (W) x 3m (D) MINIMUM</p>
D25 - ROOM DEPTH	MAX DEPTH 9m
D27 - VENTILATION	<p>MINIMUM BREEZE PATH: 5m</p> <p>MAXIMUM BREEZE PATH: 18m</p>



APARTMENT TYPE 18 REMOVED

1 BADS ASSESSMENT - APT TYPE 17
SCALE 1 : 50

3 BED 2 BATH
AREA: 102.0m²
APT: 2104, 2204

TYPE 17 INTERNAL STORAGE SCHEDULE

KITCHEN BENCH	1.82 m³
LAUNDRY	2.34 m³
WARDROBE	7.04 m³
TOTAL INTERNAL STORAGE	11.20 m³

APARTMENT TYPE 17 - BADS ASSESSMENT TABLE

Unit Type	QTY	STANDARD 'D17' COMPLIANT?	STANDARD 'D19' COMPLIANT?	STANDARD 'D20' COMPLIANT?	STANDARD 'D24' COMPLIANT?	STANDARD 'D25' COMPLIANT?	STANDARD 'D26' COMPLIANT?	STANDARD 'D27' COMPLIANT?
3 BED & 2 BATH TYPE 17	2	YES	NO	YES	YES	YES	YES	YES



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Project
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102-108 JEFFCOTT STREET, WEST MELBOURNE.
Client
BLUE EARTH GROUP

No.	Date	Notes
A	10/05/2021	DELPHI RFI
S	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title
BETTER APARTMENT DESIGN STANDARD ASSESSMENT
Sheet
PRELIMINARY NOT FOR CONSTRUCTION
Revision
TP1.309 C
Scale
1 : 50 at A1
Date
11/03/2022

TOWN PLANNING

20020

NOTES:

CEILING HEIGHTS:
LIVING AREAS - MINIMUM 2.7M CEILING HEIGHT
BED + BATH - MINIMUM 2.4M CEILING HEIGHT

DOORS:
ALL APARTMENT ENTRANCE DOORS, ACCESSIBLE BATHROOMS DOORS & MASTER BEDROOM DOORS SHALL PROVIDE A CLEAR OPENING WIDTH OF AT LEAST 850mm & IN THE CASE OF DESIGN OPTION B, SHALL BE FITTED WITH READILY REMOVABLE HINGES.

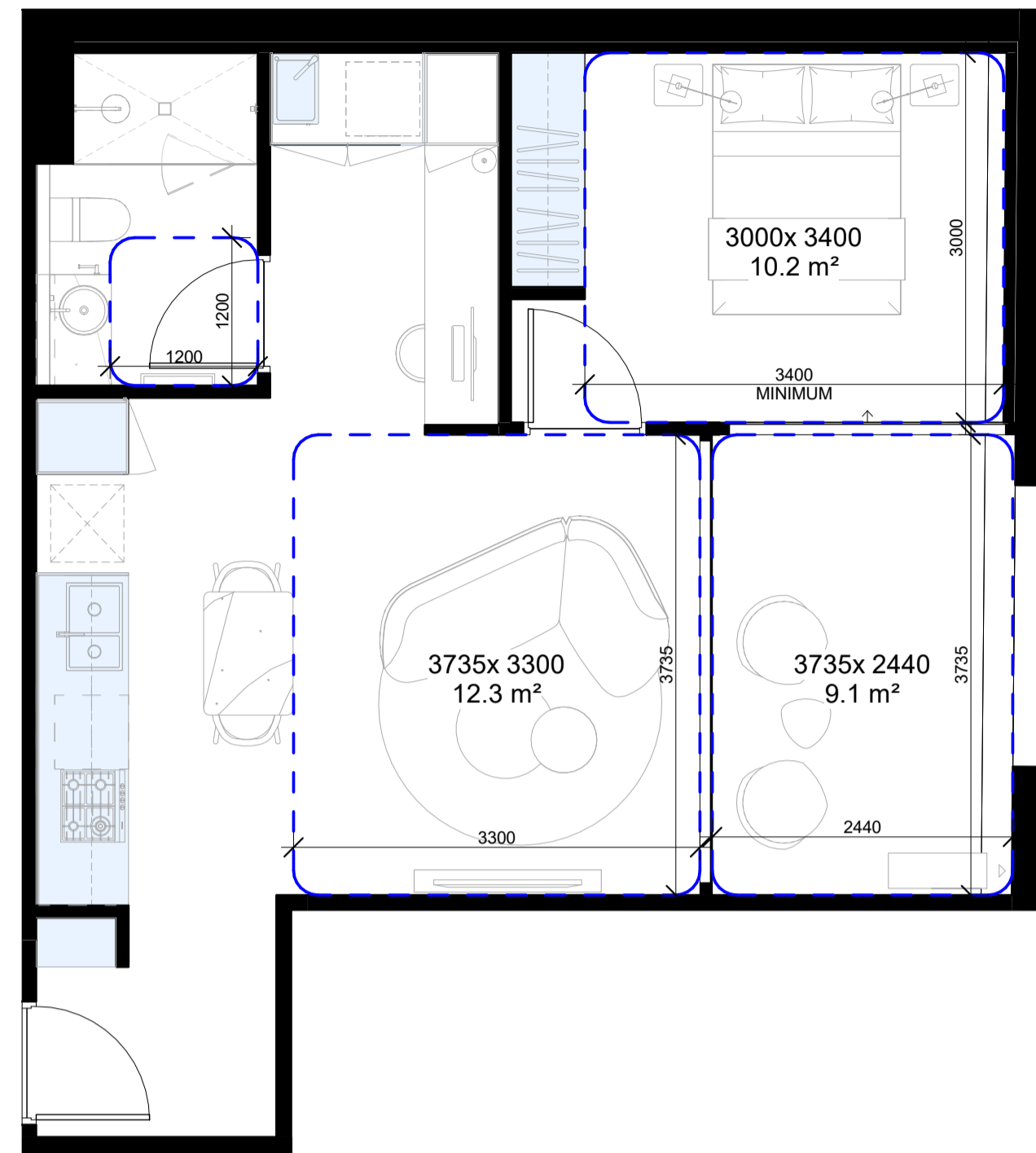
SHOWERS:
ALL APARTMENT SHOWERS TO BE HOBLESS STEP FREE SHOWERS & IN THE CASE OF DESIGN OPTION B, SHALL HAVE A REMOVABLE SCREEN.

LEGEND

	STANDARD 'D17' COMPLIANT
	STANDARD 'D19' COMPLIANT
	STANDARD 'D19' NOT COMPLIANT
	STANDARD 'D24' COMPLIANT
	STANDARD 'D24' NOT COMPLIANT
	STANDARD 'D25' COMPLIANT
	STANDARD 'D26' COMPLIANT
	STANDARD 'D27' COMPLIANT
	STORAGE

APARTMENT BADS REQUIREMENTS - LEGEND

D17 - ACCESSIBILITY	<ul style="list-style-type: none"> CLEAR PATH WITH MINIMUM 1.2m WIDTH - CONNECTING DWELLING ENTRANCE TO MAIN BEDROOM, ADAPTABLE BATHROOM AND LIVING AREA DESIGN OPTION A: 1.2m x 1.2m CLEAR PATH (850mm CLEAR DOOR), or DESIGN OPTION B: 1m x 2.7m CLEAR PATH (820mm CLEAR DOOR) SLIDING DOOR OR DOOR WITH READILY REMOVABLE HINGES HOBLESS SHOWER TOILET LOCATED IN CORNER OF ROOM, OR CLOSET TO DOOR OPENING (CLEAR OF ANY CIRCULATION)
D19 - P.O.S.	<p>STUDIO / 1 BEDROOM: 8m², WITH MINIMUM 1.8m DIMENSION</p> <p>NOTE: ADDITIONAL 1.5m² TO BE ADDED IF A/C UNIT TO BE LOCATED ON BALCONY</p> <p>2 BEDROOM: 10m², WITH MINIMUM 2m DIMENSION</p> <p>3 BEDROOM: 12m², WITH MINIMUM 2.4m DIMENSION</p>
D20 - STORAGE	<p>STUDIO: TOTAL VOLUME - 8m³ MINIMUM DWELLING STORAGE - 5m³</p> <p>1 BEDROOM: TOTAL VOLUME - 10m³ MINIMUM DWELLING STORAGE - 6m³</p> <p>2 BEDROOM: TOTAL VOLUME - 14m³ MINIMUM DWELLING STORAGE - 9m³</p> <p>3 BEDROOM: TOTAL VOLUME - 18m³ MINIMUM DWELLING STORAGE - 12m³</p>
D24 - ROOM SIZES	<p>LIVING AREAS</p> <p>STUDIO / 1 BEDROOM - 3.3m MINIMUM WIDTH, 10m² MINIMUM AREA</p> <p>2 OR MORE BEDROOMS - 3.6m MINIMUM WIDTH, 12m² MINIMUM AREA</p> <p>MAIN BEDROOM - 3m (W) x 3.4m (D) MINIMUM SECONDARY BEDROOM(S) - 3m (W) x 3m (D) MINIMUM</p>
D25 - ROOM DEPTH	MAX DEPTH 9m
D27 - VENTILATION	<p>MINIMUM BREEZE PATH: 5m</p> <p>MAXIMUM BREEZE PATH: 18m</p>



1 BADS ASSESSMENT - APT TYPE 19
SCALE 1 : 50

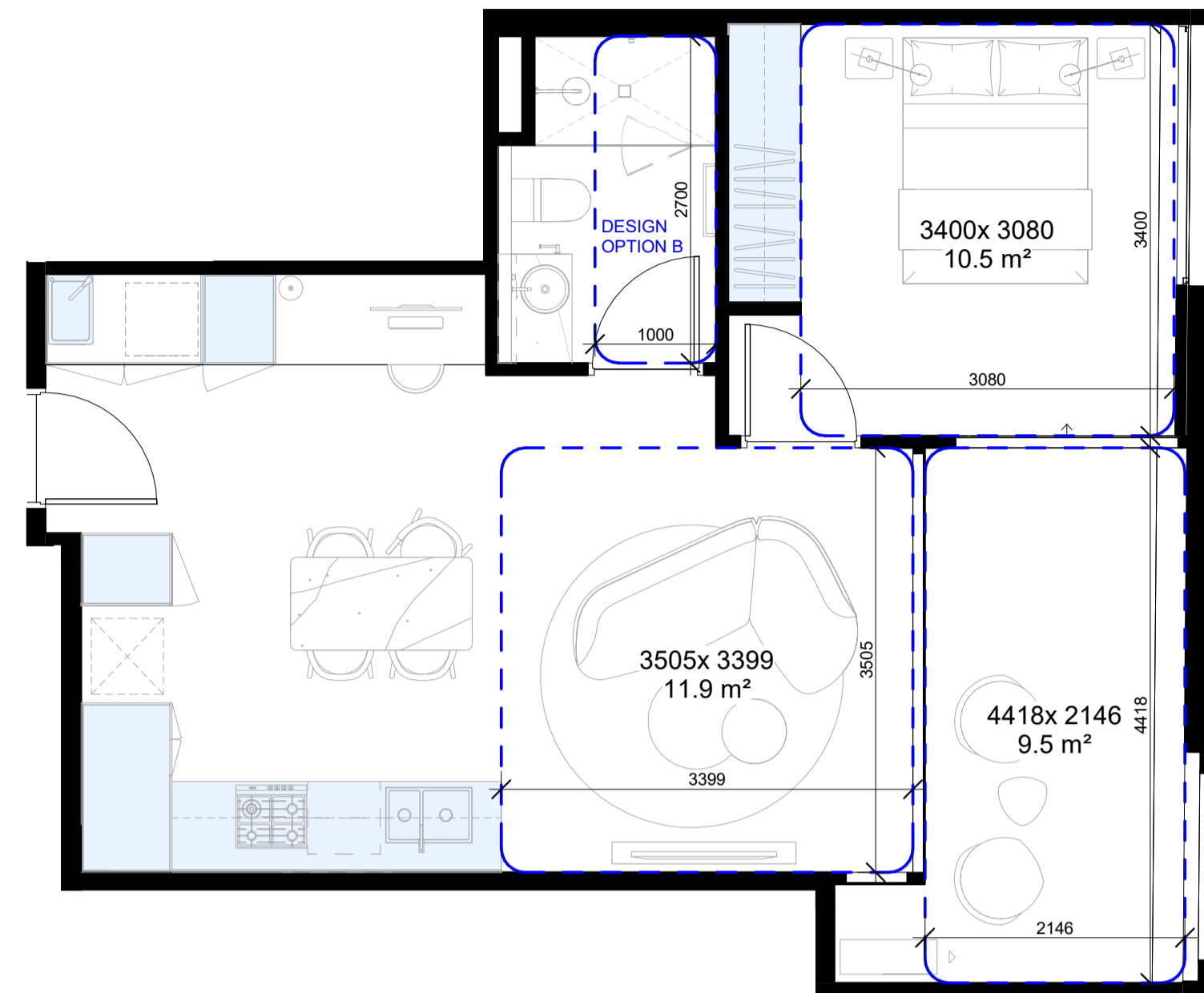
1 BED 1 BATH
AREA: 54.5m² + 9.5m² (BALCONY)
APT: 102

TYPE 19 INTERNAL STORAGE SCHEDULE

KITCHEN BENCH	3.08 m³
LAUNDRY	2.26 m³
WARDROBE	2.91 m³
TOTAL INTERNAL STORAGE	8.25 m³

APARTMENT TYPE 19 - BADS ASSESSMENT TABLE

Unit Type	QTY	STANDARD 'D17' COMPLIANT?	STANDARD 'D19' COMPLIANT?	STANDARD 'D20' COMPLIANT?	STANDARD 'D24' COMPLIANT?	STANDARD 'D25' COMPLIANT?	STANDARD 'D26' COMPLIANT?	STANDARD 'D27' COMPLIANT?
1 BED & 1 BATH TYPE 19	1	NO	YES	YES	YES	YES	YES	NO



2 BADS ASSESSMENT - APT TYPE 20
SCALE 1 : 50

1 BED 1 BATH
AREA: 53.0m² + 10.3m² (BALCONY)
APT: 103

TYPE 20 INTERNAL STORAGE SCHEDULE

CUPBOARD	2.16 m³
KITCHEN BENCH	3.04 m³
LAUNDRY	2.34 m³
WARDROBE	3.52 m³
TOTAL INTERNAL STORAGE	11.06 m³

APARTMENT TYPE 20 - BADS ASSESSMENT TABLE

Unit Type	QTY	STANDARD 'D17' COMPLIANT?	STANDARD 'D19' COMPLIANT?	STANDARD 'D20' COMPLIANT?	STANDARD 'D24' COMPLIANT?	STANDARD 'D25' COMPLIANT?	STANDARD 'D26' COMPLIANT?	STANDARD 'D27' COMPLIANT?
1 BED & 1 BATH TYPE 20	1	NO	YES	YES	YES	YES	YES	NO



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Project

102-108 JEFFCOTT STREET, WEST MELBOURNE
102-108 JEFFCOTT STREET, WEST MELBOURNE.

Client

BLUE EARTH GROUP

Amendments

No.	Date	Notes
A	10.05.2021	DELPW RFI
B	11.03.2022	TOWN PLANNING AMENDMENT REV B

Title

BETTER APARTMENT DESIGN
STANDARD ASSESSMENT

Sheet

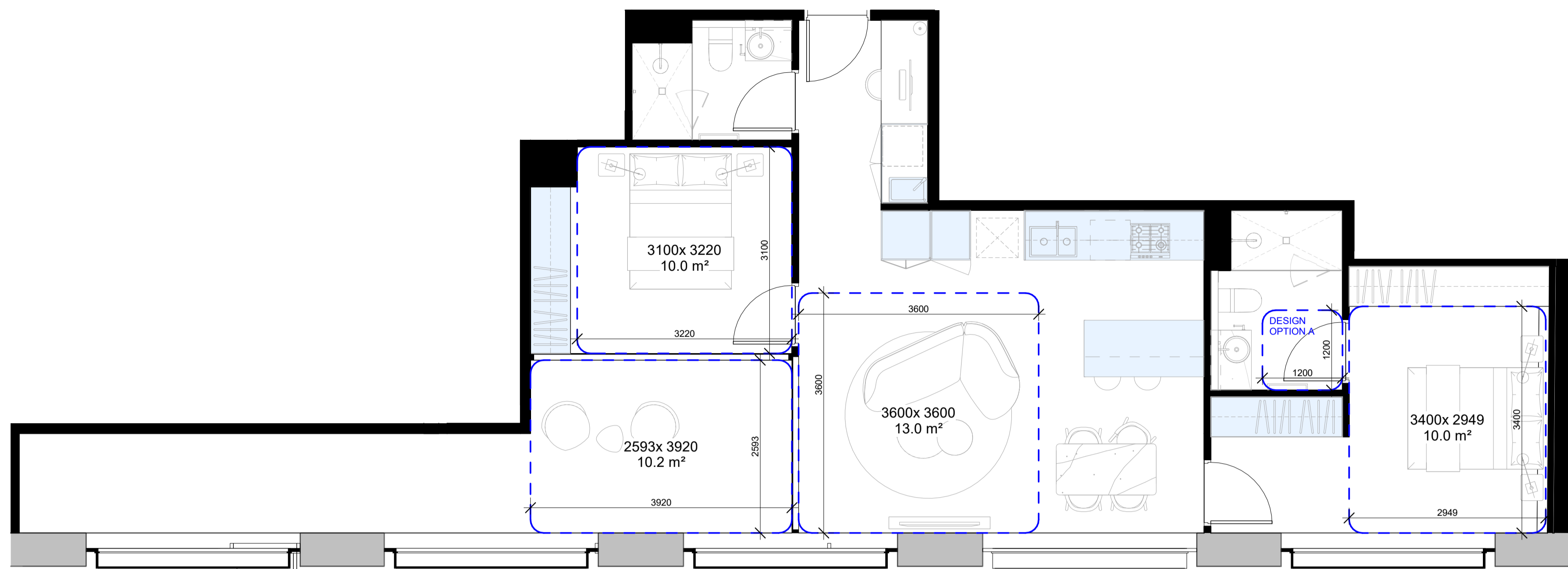
PRELIMINARY
NOT FOR CONSTRUCTION

TOWN PLANNING

Sheet No. TP1.310 C
Revision

Scale 1 : 50 at A1
Date 11/03/2022

20020



1 BADS ASSESSMENT - APT TYPE 21
SCALE 1:50

2 BED 2 BATH
AREA: 84.5m² + 27.6m² (BALCONY)
APT: 104

TYPE 21 INTERNAL STORAGE SCHEDULE

CUPBOARD	1.39 m ³
ISLAND BENCH	1.30 m ³
KITCHEN BENCH	3.12 m ³
LAUNDRY	2.02 m ³
WARDROBE	5.32 m ³
TOTAL INTERNAL STORAGE	13.14 m³

APARTMENT TYPE 21 - BADS ASSESSMENT TABLE

Unit Type	QTY	STANDARD 'D17' COMPLIANT?	STANDARD 'D19' COMPLIANT?	STANDARD 'D20' COMPLIANT?	STANDARD 'D24' COMPLIANT?	STANDARD 'D25' COMPLIANT?	STANDARD 'D26' COMPLIANT?	STANDARD 'D27' COMPLIANT?
2 BED & 2 BATH TYPE 21	1	NO	YES	YES	YES	YES	YES	NO

NOTES:

CEILING HEIGHTS:
LIVING AREAS - MINIMUM 2.7M CEILING HEIGHT
BED + BATH - MINIMUM 2.4M CEILING HEIGHT

DOORS:
ALL APARTMENT ENTRANCE DOORS, ACCESSIBLE BATHROOMS DOORS & MASTER BEDROOM DOORS SHALL PROVIDE A CLEAR OPENING WIDTH OF AT LEAST 850mm & IN THE CASE OF DESIGN OPTION B, SHALL BE FITTED WITH READILY REMOVABLE HINGES.

SHOWERS:
ALL APARTMENT SHOWERS TO BE HOBLESS STEP FREE SHOWERS & IN THE CASE OF DESIGN OPTION B, SHALL HAVE A REMOVABLE SCREEN.

LEGEND

	STANDARD 'D17' COMPLIANT
	STANDARD 'D19' COMPLIANT
	STANDARD 'D19' NOT COMPLIANT
	STANDARD 'D24' COMPLIANT
	STANDARD 'D24' COMPLIANT
	STANDARD 'D24' NOT COMPLIANT
	STANDARD 'D25' COMPLIANT
	STANDARD 'D26' COMPLIANT
	STANDARD 'D27' COMPLIANT
	STORAGE

APARTMENT BADS REQUIREMENTS - LEGEND

D17 - ACCESSIBILITY	<ul style="list-style-type: none"> CLEAR PATH WITH MINIMUM 1.2m WIDTH - CONNECTING DWELLING ENTRANCE TO MAIN BEDROOM, ADAPTABLE BATHROOM AND LIVING AREA DESIGN OPTION A: 1.2m x 1.2m CLEAR PATH (850mm CLEAR DOOR), or DESIGN OPTION B: 1m x 2.7m CLEAR PATH (820mm CLEAR DOOR) SLIDING DOOR OR DOOR WITH READILY REMOVABLE HINGES HOBLESS SHOWER TOILET LOCATED IN CORNER OF ROOM, OR CLOSET TO DOOR OPENING (CLEAR OF ANY CIRCULATION)
D19 - P.O.S.	<p>STUDIO / 1 BEDROOM: 8m², WITH MINIMUM 1.8m DIMENSION</p> <p>NOTE: ADDITIONAL 1.5m² TO BE ADDED IF A/C UNIT TO BE LOCATED ON BALCONY</p> <p>2 BEDROOM: 10m², WITH MINIMUM 2m DIMENSION</p> <p>3 BEDROOM: 12m², WITH MINIMUM 2.4m DIMENSION</p>
D20 - STORAGE	<p>STUDIO: TOTAL VOLUME - 8m³ MINIMUM DWELLING STORAGE - 5m³</p> <p>1 BEDROOM: TOTAL VOLUME - 10m³ MINIMUM DWELLING STORAGE - 6m³</p> <p>2 BEDROOM: TOTAL VOLUME - 14m³ MINIMUM DWELLING STORAGE - 9m³</p> <p>3 BEDROOM: TOTAL VOLUME - 18m³ MINIMUM DWELLING STORAGE - 12m³</p>
D24 - ROOM SIZES	<p>LIVING AREAS</p> <p>STUDIO / 1 BEDROOM - 3.3m MINIMUM WIDTH, 10m² MINIMUM AREA</p> <p>2 OR MORE BEDROOMS - 3.6m MINIMUM WIDTH, 12m² MINIMUM AREA</p> <p>MAIN BEDROOM - 3m (W) x 3.4m (D) MINIMUM SECONDARY BEDROOM(S) - 3m (W) x 3m (D) MINIMUM</p>
D25 - ROOM DEPTH	MAX DEPTH 9m
D27 - VENTILATION	<p>MINIMUM BREEZE PATH: 5m</p> <p>MAXIMUM BREEZE PATH: 18m</p>

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Project
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Client
BLUE EARTH GROUP

No.	Date	Notes
1	11/03/2022	TOWN PLANNING AMENDMENT REV B

TOWN PLANNING

Sheet No. **TP1.311** Revision **C**

Title
BETTER APARTMENT DESIGN STANDARD ASSESSMENT

Scale
1:50 at **A1**

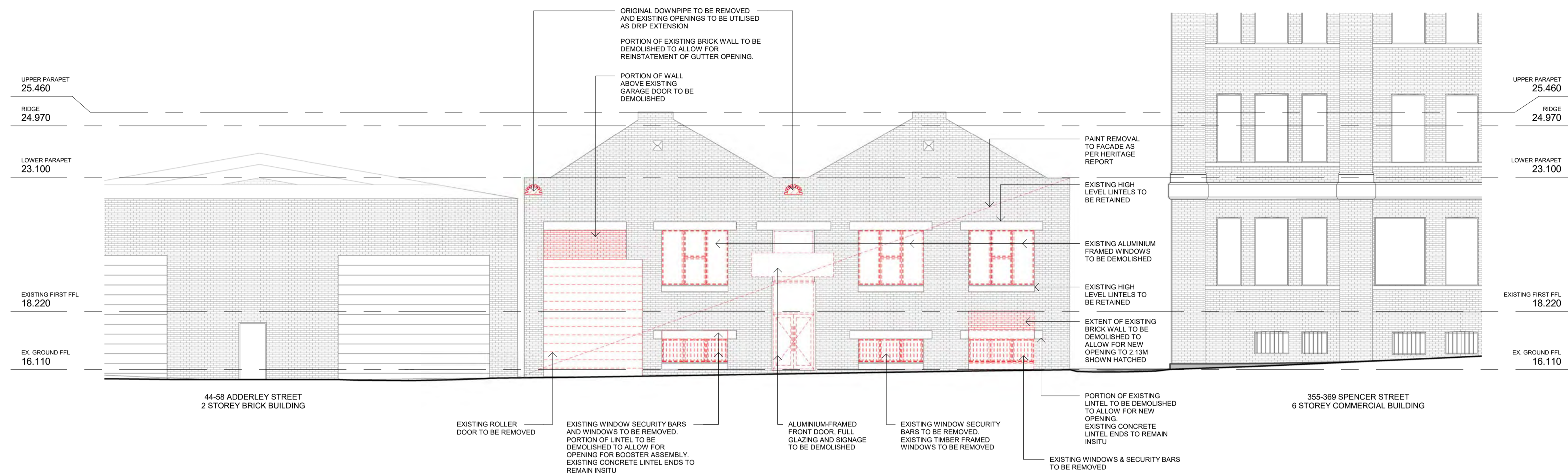
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Date
11/03/2022

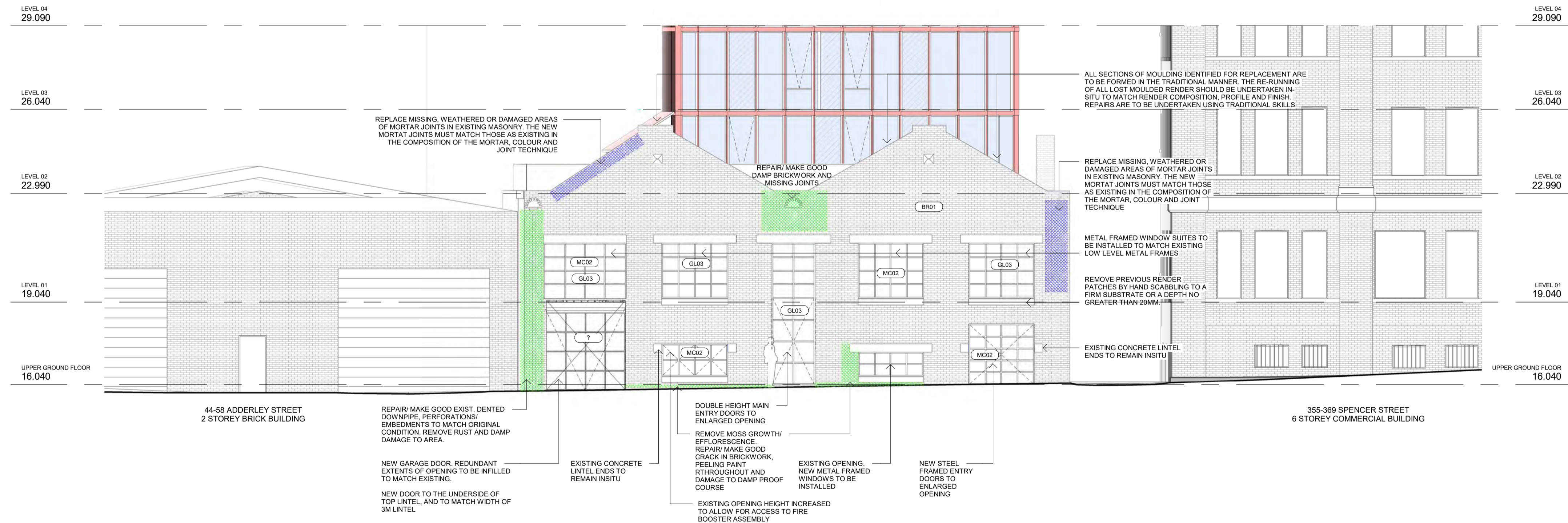
20020

Drawn by: Author / Checked by: Checker

DEMOLITION PLAN LEGEND	
	EXISTING WALLS TO REMAIN
	EXISTING ELEMENTS TO REMAIN
	EXISTING WALLS TO BE DEMOLISHED
	EXISTING ELEMENTS TO BE DEMOLISHED



1 HERITAGE ELEVATIONS - EXISTING & DEMOLISHED - SOUTH
SCALE 1 : 100



2 HERITAGE ELEVATIONS - PROPOSED - SOUTH
SCALE 1 : 100

- SITE CONSERVATION WORKS - GENERAL NOTES**
GENERAL NOTES ARE IN ACCORDANCE TO HERITAGE REPORT WORKS
- B2 - BRICK REPAIRING
REPAIR ALL MISSING OR DAMAGED MASONRY, AND PATCH HOLES IN EXISTING MASONRY. NEW INSERTS, INFILL ELEMENTS MUST MATCH THE EXISTING MASONRY, AND COMPOSITION OF THE MORTAR MIX, COLOUR, AND JOINT TECHNIQUE
 - B3 - BRICK REPLACING
WHERE WHOLE MASONRY UNIT REPLACEMENTS ARE REQUIRED, THE MASONRY IS TO MATCH IN COLOUR, SIZE, AND TEXTURE. USE SALVAGED MASONRY WHERE POSSIBLE. MASONRY TO BE KEYPED INTO ADJACENT AND IS TO MATCH EXISTING BOND, JOINT TYPE AND FINISH AND PROFILE EXACTLY (REFER TO HERITAGE REPORT FOR SPECIFIED LOCATIONS)
 - G4 - HERITAGE FABRIC CLEANING
CONFIRM THE SUITABILITY OF THE PROPOSED CLEANING METHOD. TESTING IS REQUIRED TO DETERMINE THE NATURE AND EXTENT OF WORKS. ASCERTAIN WHAT TYPE OF STAIN IS INVOLVED AND ENSURE THE SELECTED CLEANING METHOD DOES NOT DAMAGE OR CAUSE ON-GOING ISSUES WITH THE SUBSTRATE.
WASH DOWN ALL FACADE SURFACES TO REMOVE ORGANIC GROWTH, LICHEN, MOSS, VEGETATION, GUANO AND DEBRIS USING A STIFF BRISTLE (NON-FERROUS) BRUSH. LOW PRESSURE WARM WATER AND BIODEGRADABLE CLEANER. WASH OFF RESIDUE WITH LOW PRESSURE WATER OR WASH AND SCRUB CLEAN WITH MEDIUM TO HARD NYLON BRUSH. COLLECTING ALL RUN-OFF FOR PROPER DISPOSAL TO GREEN HATCH AREAS ON PROPOSED ELEVATION(S) FOR AREAS OF CONCERN.
 - G5 - PAINT REMOVAL
PAINT REMOVAL SHOULD NOT REMOVE EVIDENCE OF HISTORIC PAINT UNDERNEATH
 - R5 - CRACK REPAIR
CUT OUT CRACKED RENDER BACK TO SOUND SUBSTRATE TO A MINIMUM WIDTH OF 30MM. CLEAN WITH COMPRESSED AIR OR WATER. FILL CRACK WITH NEW RENDER AND RE-RUN MOULDING IN-SITU TO MATCH ORIGINAL PROFILE AND FINISH. TO FLAT SURFACES, FILL WITH NEW RENDER TO MATCH EXISTING IN THE COMPOSITION OF THE RENDER MIX, COLOUR AND FINISH (REFER TO HERITAGE REPORT FOR SPECIFIED LOCATIONS)
 - R1 - DEFECT RENDER AND RE-RENDER
REPLACE EXISTING DRUMMY, DETERIORATED OR OTHERWISE DAMAGED RENDER

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Project
102-108 JEFFCOTT STREET, WEST MELBOURNE
102-108 JEFFCOTT STREET, WEST MELBOURNE.
Client
BLUE EARTH GROUP

Amendments		
No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	11/03/2022	TOWN PLANNING AMENDMENT REV B

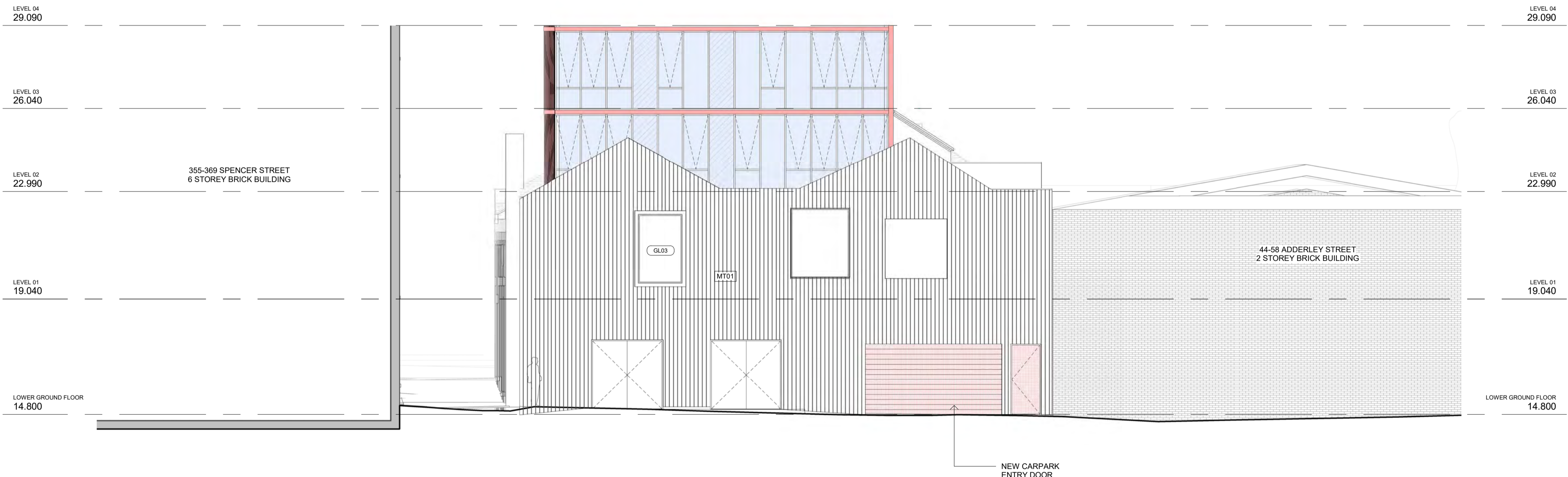
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HERITAGE ELEVATIONS - SOUTH
Sheet
PRELIMINARY
NOT FOR CONSTRUCTION

TOWN PLANNING
Sheet No. **TP2.001**
Revision **C**
Scale **1 : 100** at A1
Date **11/03/2022**

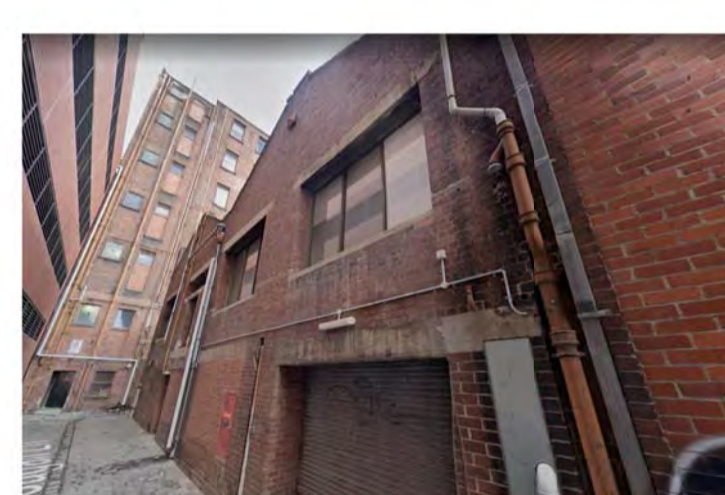
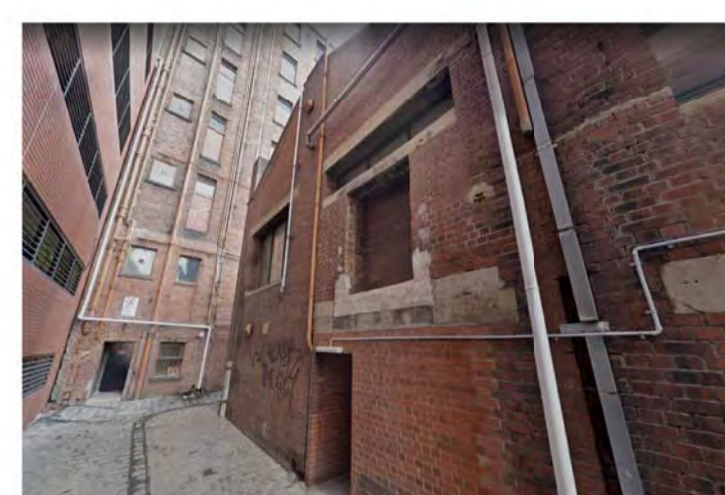
DEMOLITION PLAN LEGEND	
	EXISTING WALLS TO REMAIN
	EXISTING ELEMENTS TO REMAIN
	EXISTING WALLS TO BE DEMOLISHED
	EXISTING ELEMENTS TO BE DEMOLISHED



1 HERITAGE ELEVATIONS - EXISTING & DEMOLISHED - NORTH
SCALE 1 : 100



2 HERITAGE ELEVATIONS - PROPOSED - NORTH
SCALE 1 : 100



- SITE CONSERVATION WORKS - GENERAL NOTES**
GENERAL NOTES ARE IN ACCORDANCE TO HERITAGE REPORT WORKS
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REPLACE EXISTING DRUMMY, DETERIORATED OR OTHERWISE DAMAGED RENDER

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Project
102-108 JEFFCOTT STREET, WEST MELBOURNE
102-108 JEFFCOTT STREET, WEST MELBOURNE.

Client
BLUE EARTH GROUP

Amendments		
No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
S	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title
HERITAGE ELEVATIONS - NORTH

Sheet
PRELIMINARY
NOT FOR CONSTRUCTION

TOWN PLANNING

Sheet No. **TP2.002** Revision **C**

Scale
1 : 100 at **A1**

Date
11/03/2022

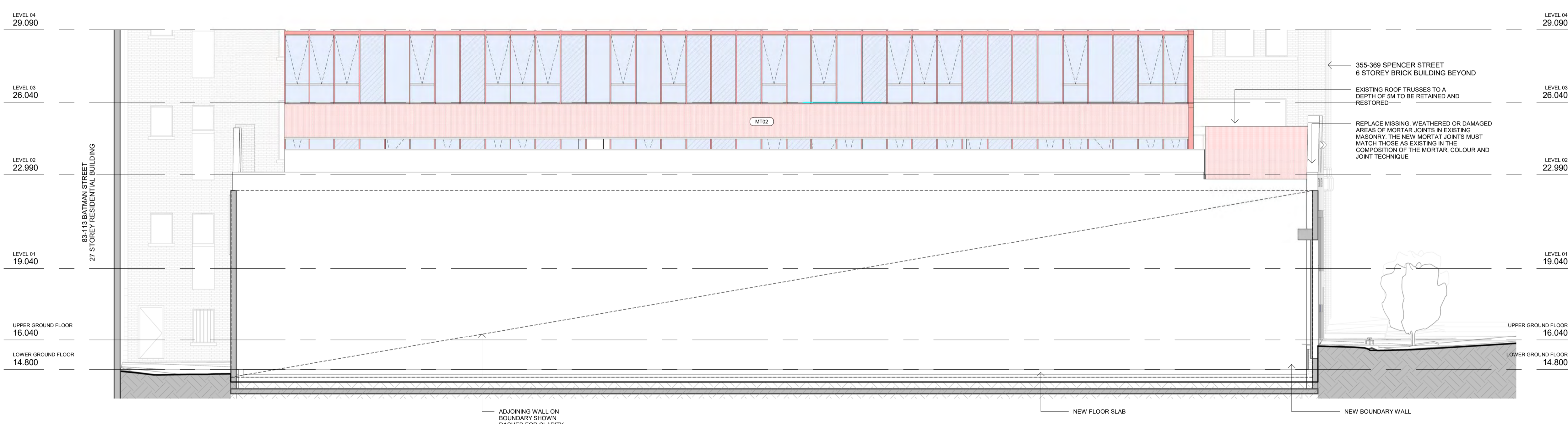
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DEMOLITION PLAN LEGEND	
	EXISTING WALLS TO REMAIN
	EXISTING ELEMENTS TO REMAIN
	EXISTING WALLS TO BE DEMOLISHED
	EXISTING ELEMENTS TO BE DEMOLISHED



1 HERITAGE ELEVATIONS - EXISTING & DEMOLISHED - WEST
SCALE 1:100



2 HERITAGE ELEVATIONS - PROPOSED - WEST
SCALE 1:100

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 - R1 - DEFECT RENDER AND RE-RENDER
REPLACE EXISTING DRUMMY, DETERIORATED OR OTHERWISE DAMAGED RENDER

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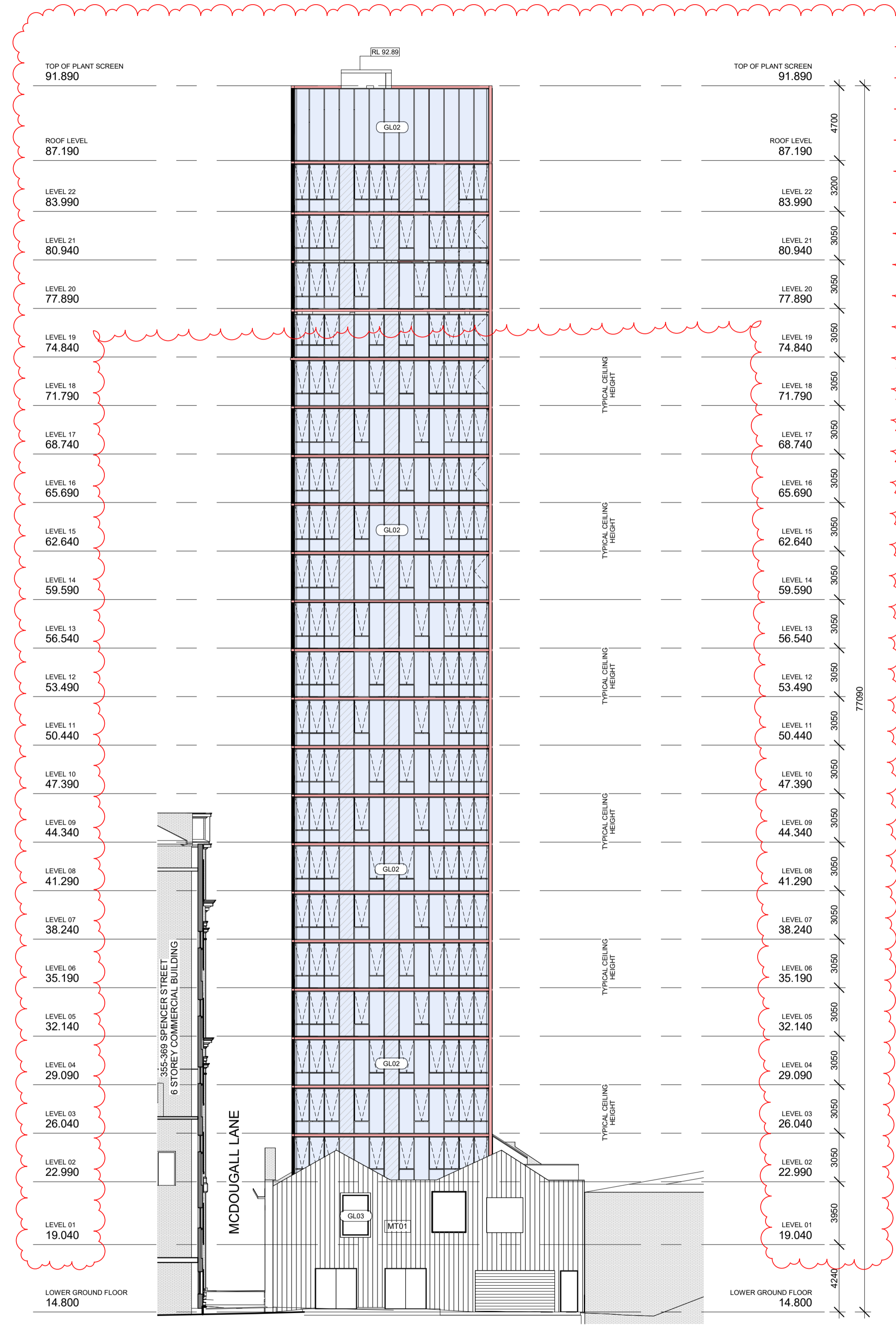
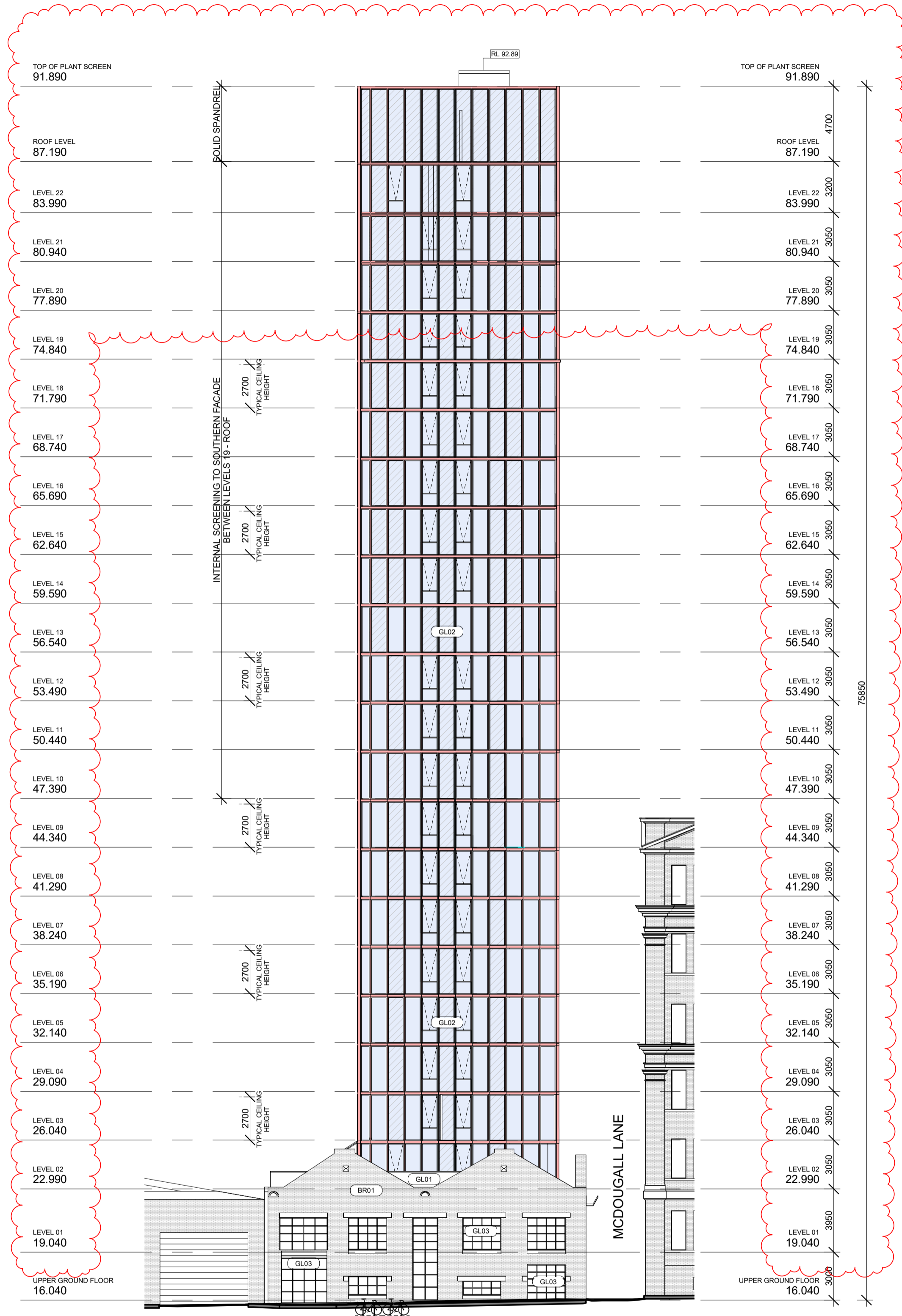
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 102-108 JEFFCOTT STREET, WEST MELBOURNE.
 Client **BLUE EARTH GROUP**

No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
S	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title **HERITAGE ELEVATIONS - WEST**
 Sheet **PRELIMINARY**
NOT FOR CONSTRUCTION

TOWN PLANNING
 Sheet No. **TP2.004** Revision **C**
 Scale **1:100** at **A1**
 Date **11/03/2022**
20020
 Drawn by:AutoChecked by:Checker



MATERIALS SCHEDULE	
	BR01 / EX. BR EXISTING BRICK (BROWN) EXISTING PAINT TO BE REMOVED TO LEAVE THE PROPOSED BRICK FINISH IN PLACE
	CONC. CONCRETE SLAB
	GL01 CLEAR GLAZING
	GL02 LIGHT BLUE TINTED GLAZING
	GL03 LIGHT GREY TINTED GLAZING
	MC01 BLACK POWDERCOATED ALUMINIUM FRAMING
	MC02 DARK GREEN POWDERCOATED ALUMINIUM FRAMING COLOUR SELECTED IN ACCORDANCE WITH HERITAGE REPORT
	MT01 / MT02 BRONZE-LOOK METAL PANEL CLADDING
	TM01 DARK CHARRED TIMBER

1 SOUTH ELEVATION
SCALE 1: 200

2 NORTH ELEVATION
SCALE 1: 200



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Project

102-108 JEFFCOTT STREET, WEST MELBOURNE
102-108 JEFFCOTT STREET, WEST MELBOURNE.

Client

BLUE EARTH GROUP

Amendments

No.	Date	Notes
P1	22/01/2021	TOWN PLANNING AMENDMENT
P2	10/05/2021	DELAWARE
P3	04/06/2021	TP PRELIM REVIEW ISSUE
P4	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title

BUILDING ELEVATIONS

Sheet

NOT FOR CONSTRUCTION

TOWN PLANNING

Sheet No.

TP2.101 P4

Scale

As indicated at A1

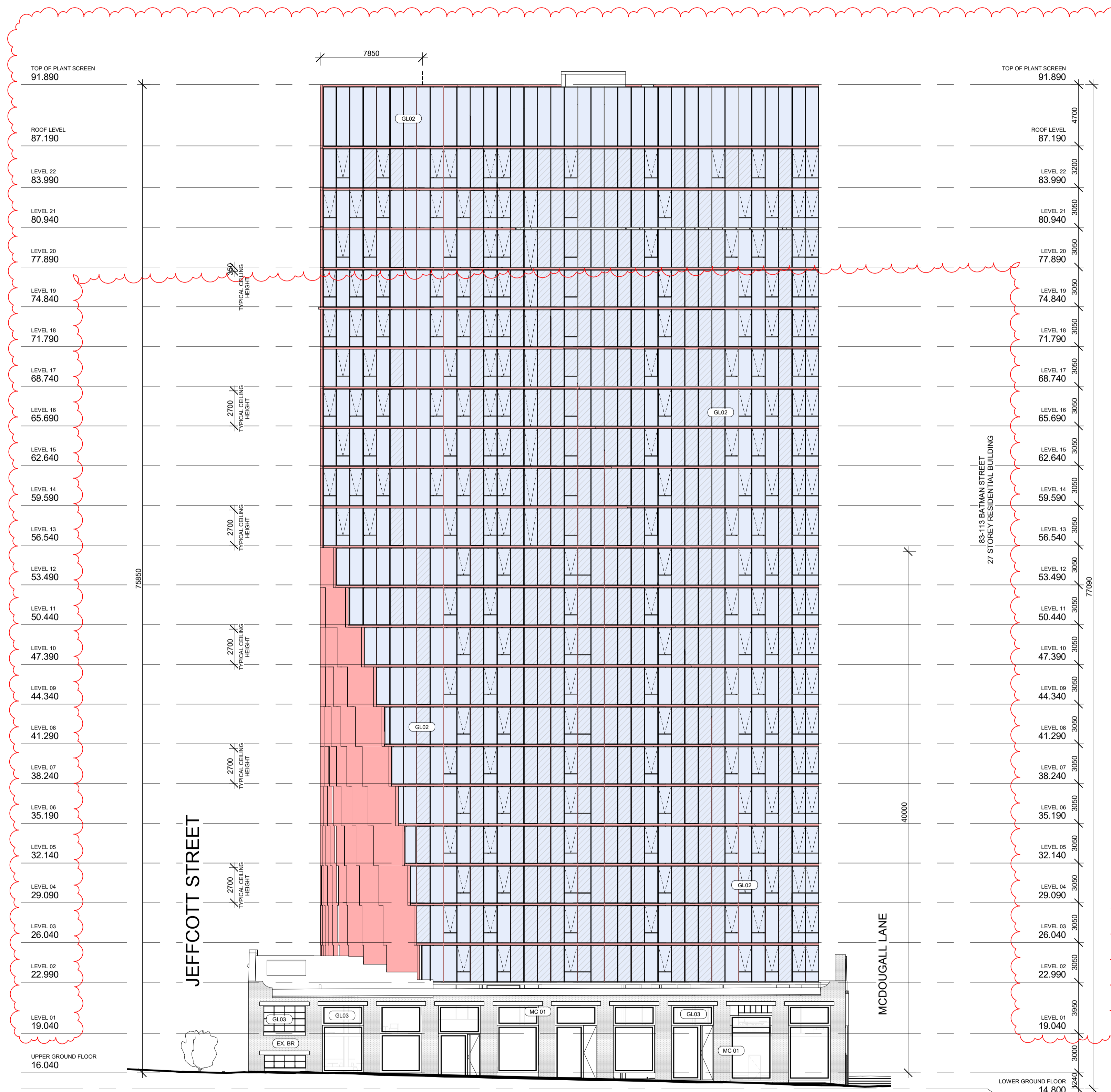
Date










11/03/2022

Revision

20020

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MATERIALS SCHEDULE	
	BR01 / EX. BR EXISTING BRICK (BROWN) EXISTING PAINT TO BE REMOVED TO LEAVE THE PROPOSED BRICK FINISH IN PLACE
	CONC. CONCRETE SLAB
	GL01 CLEAR GLAZING
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	GL03 LIGHT GREY TINTED GLAZING
	MC01 BLACK POWDERCOATED ALUMINIUM FRAMING
	MC02 DARK GREEN POWDERCOATED ALUMINIUM FRAMING COLOUR SELECTED IN ACCORDANCE WITH HERITAGE REPORT
	MT01 / MT02 BRONZE-LOOK METAL PANEL CLADDING
	TM01 DARK CHARRED TIMBER

1 EAST ELEVATION
SCALE 1 : 200

TOWN PLANNING



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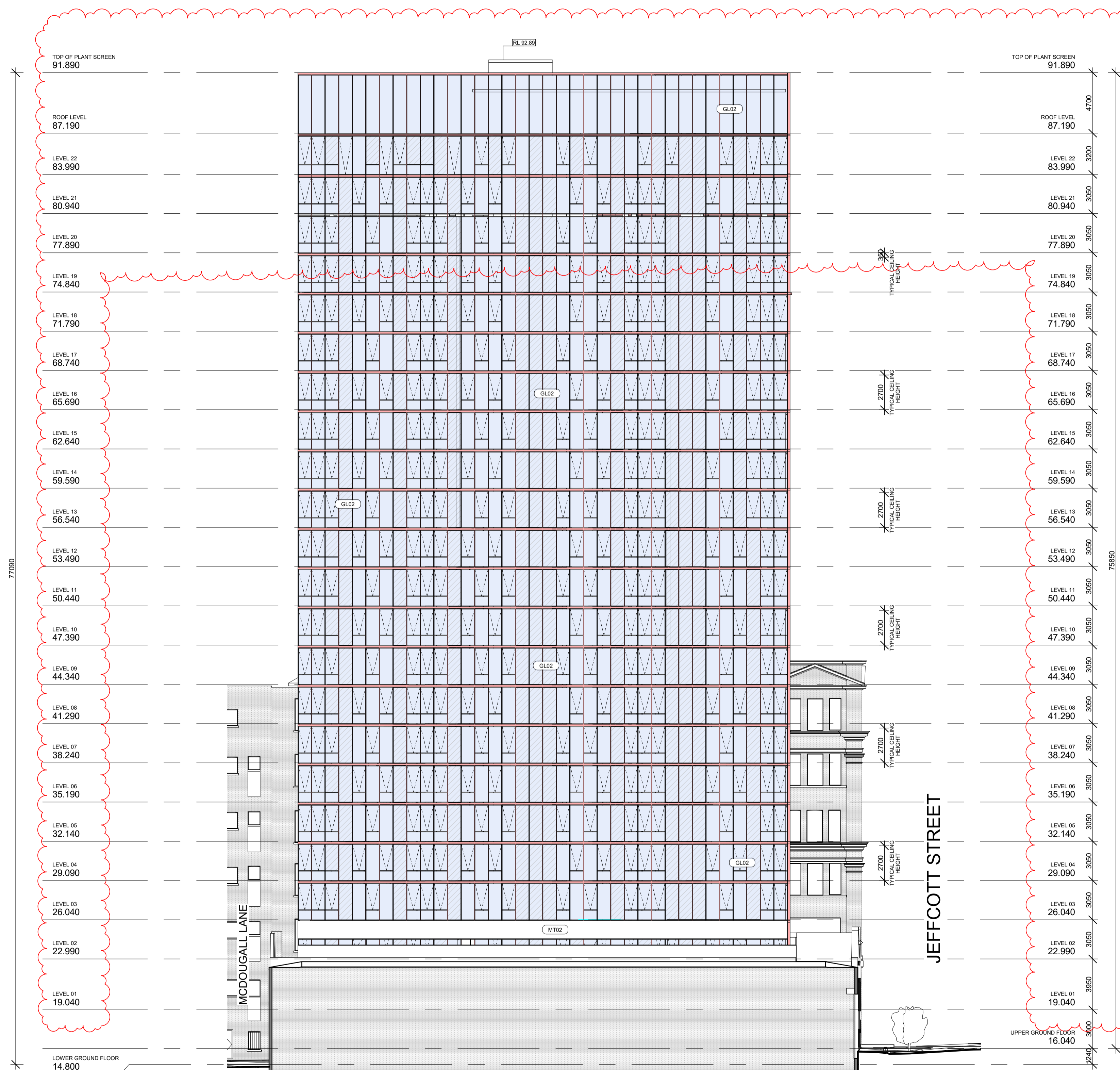
Project
102-108 JEFFCOTT STREET, WEST MELBOURNE
102-108 JEFFCOTT STREET, WEST MELBOURNE.
Client
BLUE EARTH GROUP

Amendments	
No.	Date
A	22/01/2021
B	10/05/2021
C	11/03/2022








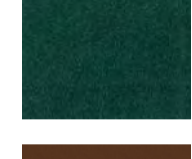

Title
BUILDING ELEVATIONS
Sheet
PRELIMINARY
NOT FOR CONSTRUCTION

Sheet No.
TP.102
Revision
C
Scale
As indicated at A1
Date
11/03/2022

20020



1 WEST ELEVATION
SCALE 1 : 200

MATERIALS SCHEDULE	
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	CONC. CONCRETE SLAB
	GL01 CLEAR GLAZING
	GL02 LIGHT BLUE TINTED GLAZING
	GL03 LIGHT GREY TINTED GLAZING
	MC01 BLACK POWDERCOATED ALUMINIUM FRAMING
	MC02 DARK GREEN POWDERCOATED ALUMINIUM FRAMING COLOUR SELECTED IN ACCORDANCE WITH HERITAGE REPORT
	MT01 / MT02 BRONZE-LOOK METAL PANEL CLADDING
	TM01 DARK CHARRED TIMBER

20/02/2022 - 14:03:20Z 2:10:24 PM



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Project
102-108 JEFFCOTT STREET, WEST MELBOURNE
102-108 JEFFCOTT STREET, WEST MELBOURNE.
Client
BLUE EARTH GROUP

Amendments		
No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	10/02/2021	DEVELOPER
	Date 14	TP PRELIM REVIEW ISSUE
C	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title
BUILDING ELEVATIONS
Sheet
**PRELIMINARY
NOT FOR CONSTRUCTION**

TOWN PLANNING
Sheet No.
TP2.103 C
Revision
20020
Scale
As indicated at A1
Date
11/03/2022

20/02/2022 2:10:37 PM



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Architecture
Interior Design
Urban Design

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Client

BLUE EARTH GROUP

Amendments

No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title

STREET SCAPE ELEVATIONS

Sheet

PRELIMINARY
NOT FOR CONSTRUCTION

Sheet No.

TP2.211

Revision

C

Scale

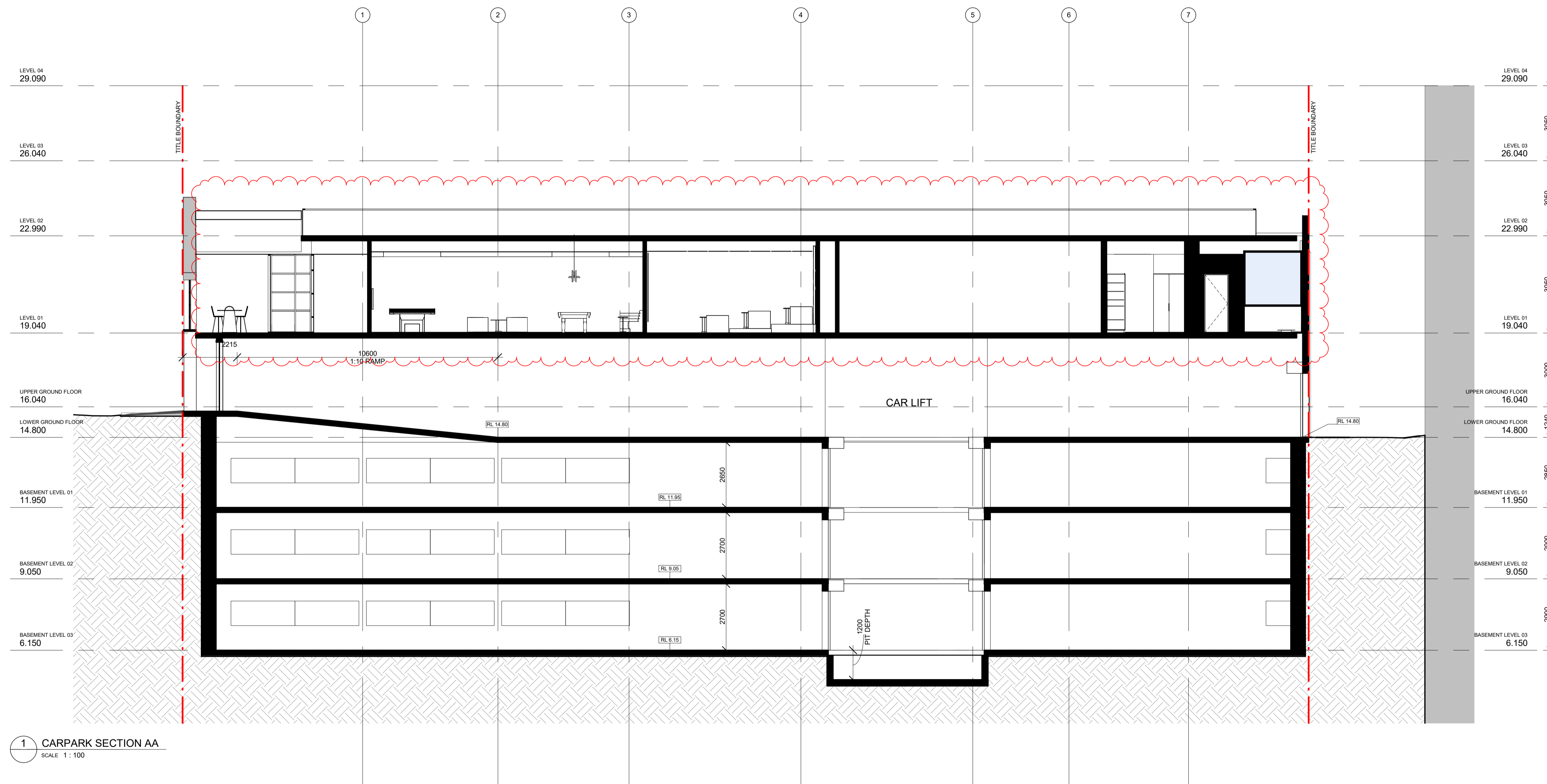
at A1

Date

11/03/2022

TOWN PLANNING

20020



20/02/2022 - 14:03:03 / 2022 2:10:52 PM



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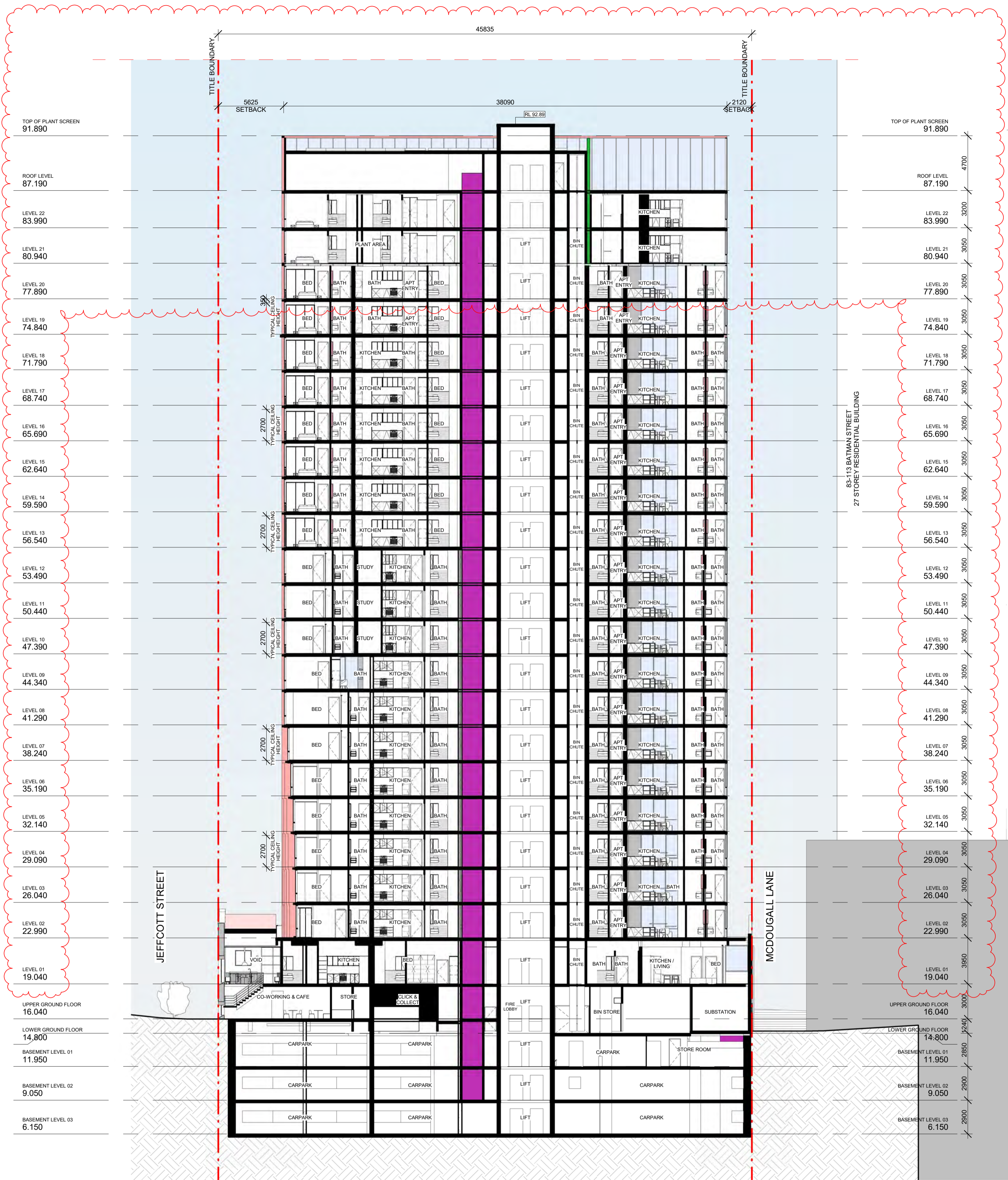
Project
102-108 JEFFCOTT STREET, WEST MELBOURNE
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Client
BLUE EARTH GROUP

No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	23/11/2021	STRUCTURE COORDINATION
C	02/12/2021	STRUCTURE & SERVICES COORDINATION
D	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title
CARPARK SECTION
Sheet
PRELIMINARY
NOT FOR CONSTRUCTION

TOWN PLANNING
Sheet No. **TP2.301** Revision **C**
Scale
1 : 100 at **A1**
Date
11/03/2022

20020



1 SECTION AA
SCALE 1:200



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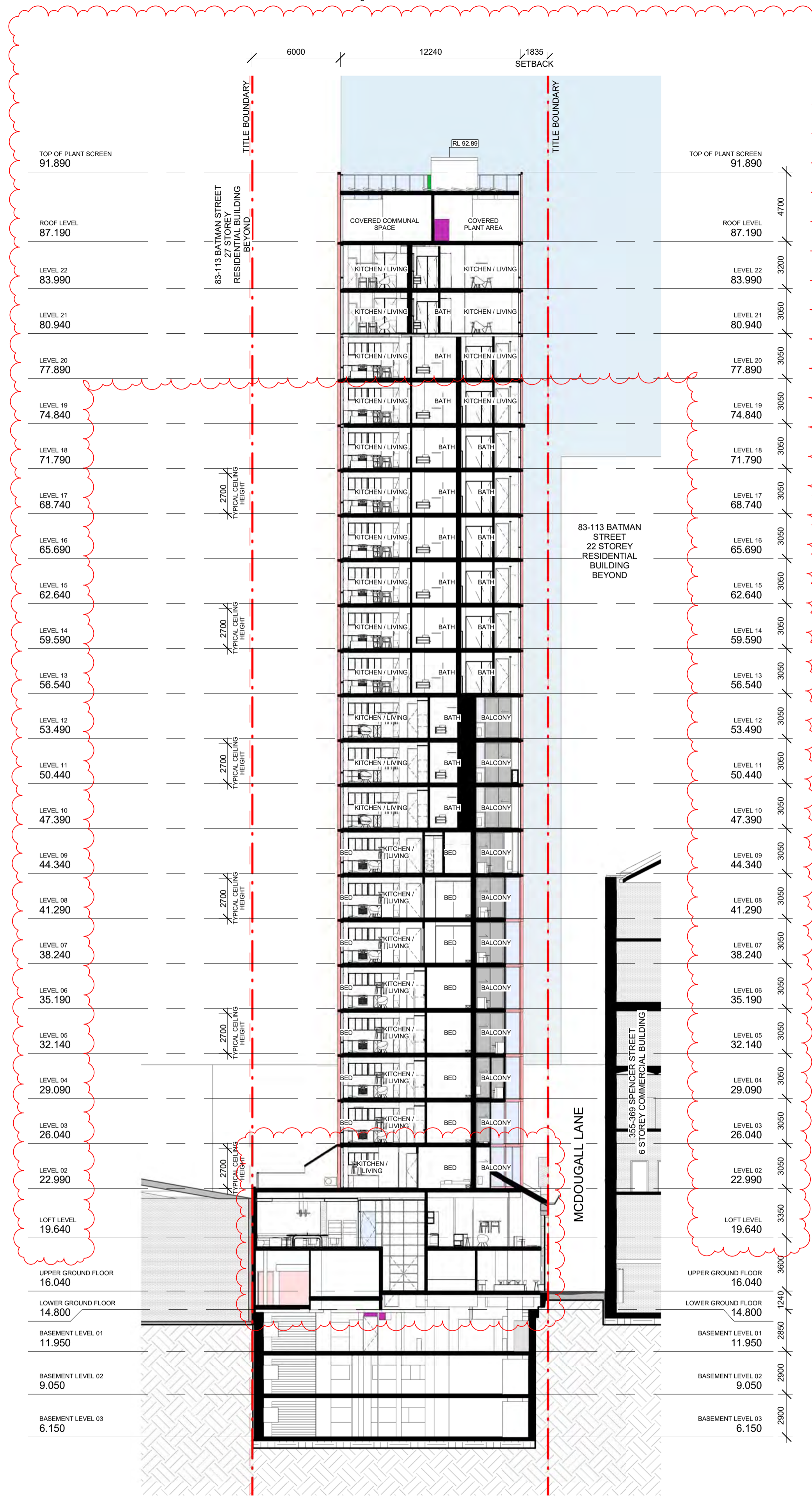
No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	10/05/2021	DEVELOPER
	23/11/2021	STRUCTURE COORDINATION
	02/12/2021	STRUCTURE & SERVICES COORDINATION
	25/01/2022	CONSULTANTS ISSUE
	14/02/2022	TP PRELIM REVIEW ISSUE
12	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title
BUILDING SECTIONS
Sheet
PRELIMINARY
NOT FOR CONSTRUCTION

TOWN PLANNING
Sheet No. **TP3.101** Revision **C**
Scale **1:200** at **A1**
Date **11/03/2022**

20020

20020-34-03/2022 2:11:24 PM



1 SECTION BB
SCALE 1:200



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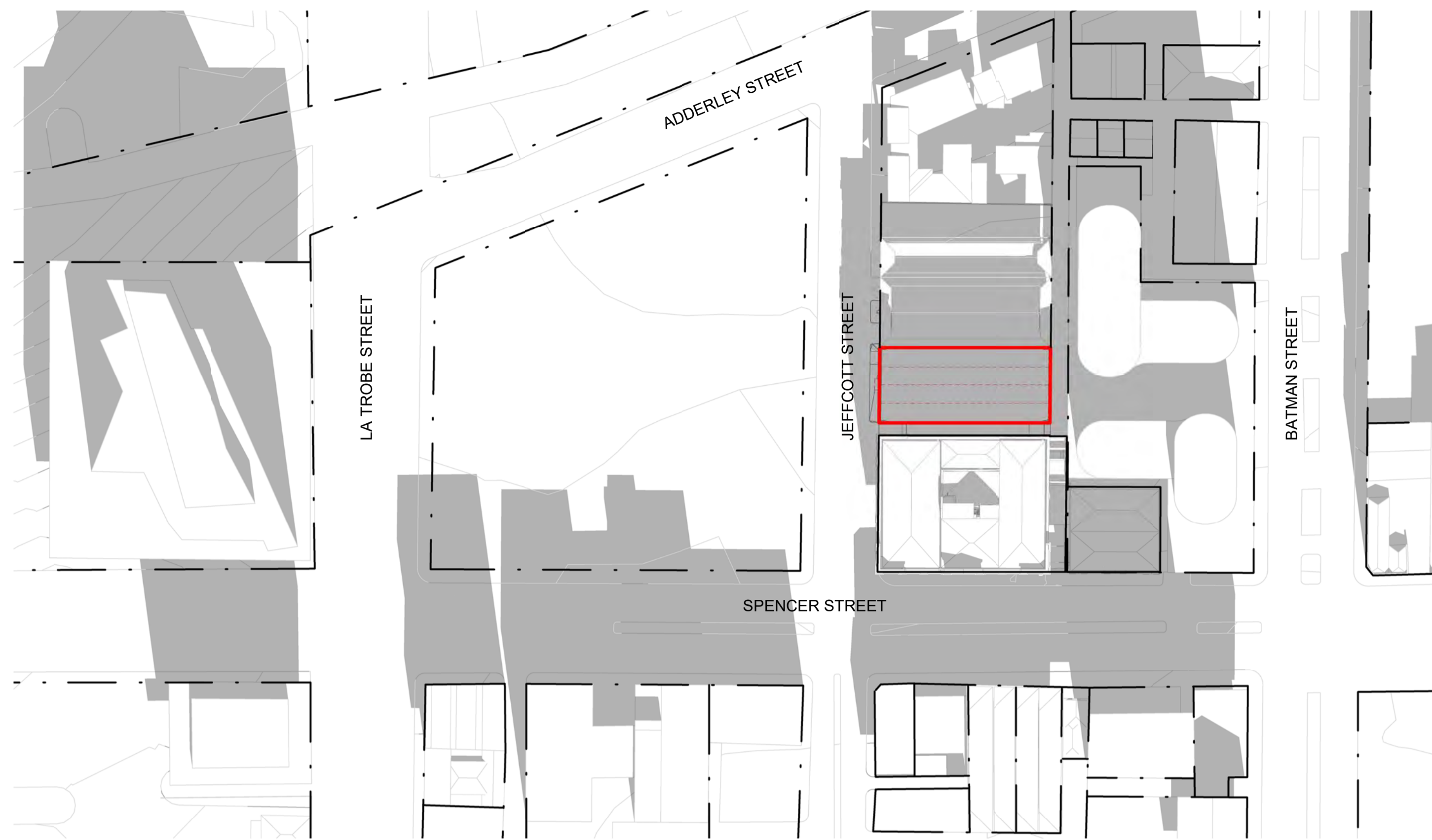
Project
102-108 JEFFCOTT STREET, WEST MELBOURNE
102-108 JEFFCOTT STREET, WEST MELBOURNE.
Client
BLUE EARTH GROUP

Amendments		
No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	19/05/2021	DELIVERABLE
	23/11/2021	STRUCTURE COORDINATION
	02/12/2021	STRUCTURE & SERVICES COORDINATION
	29/12/2021	CONSULTANTS ISSUE
	14/01/2022	TP PRELIM REVIEW ISSUE
C	11/03/2022	TOWN PLANNING AMENDMENT REV B

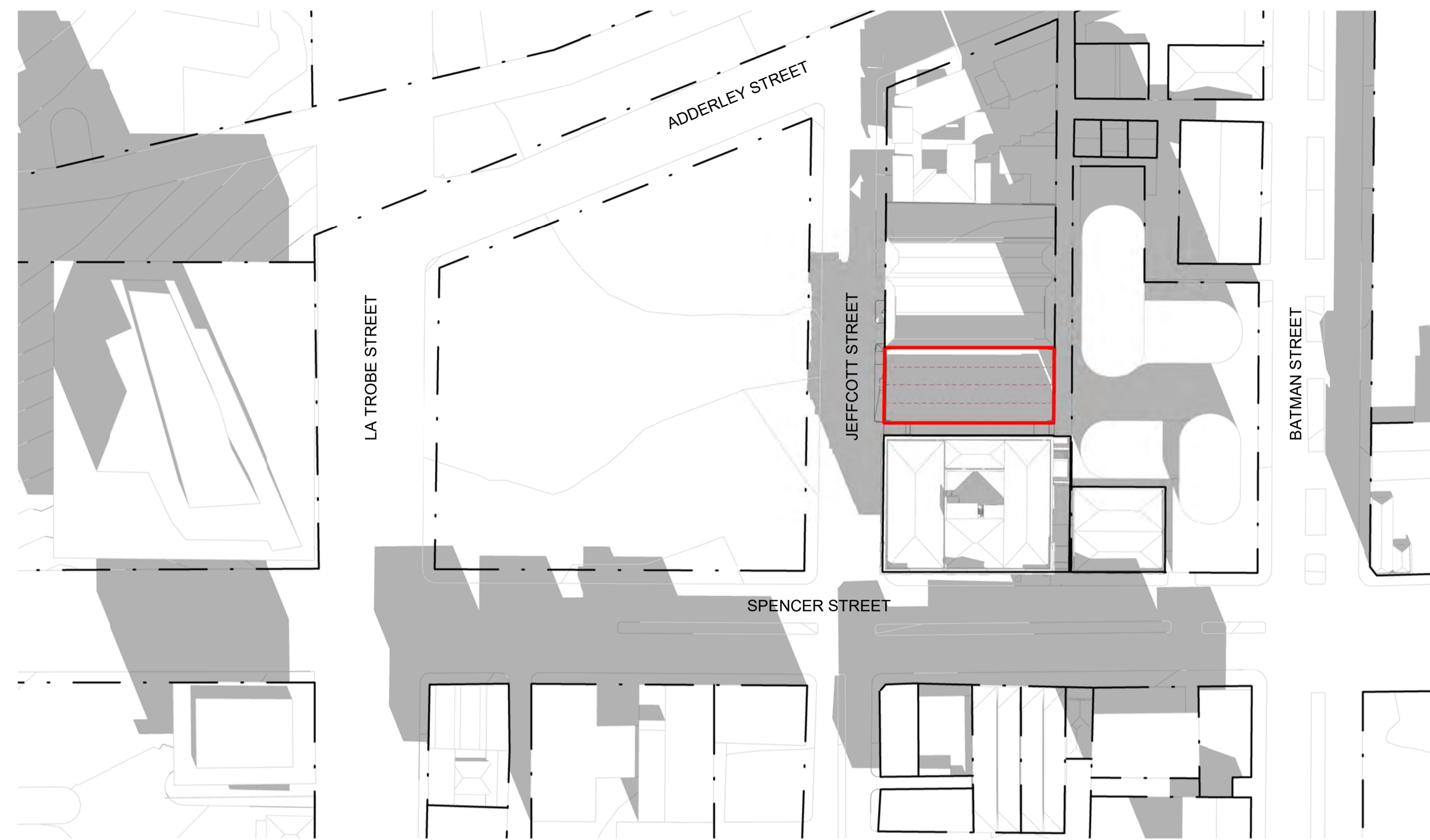
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Sheet
PRELIMINARY
NOT FOR CONSTRUCTION

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Date
11/03/2022

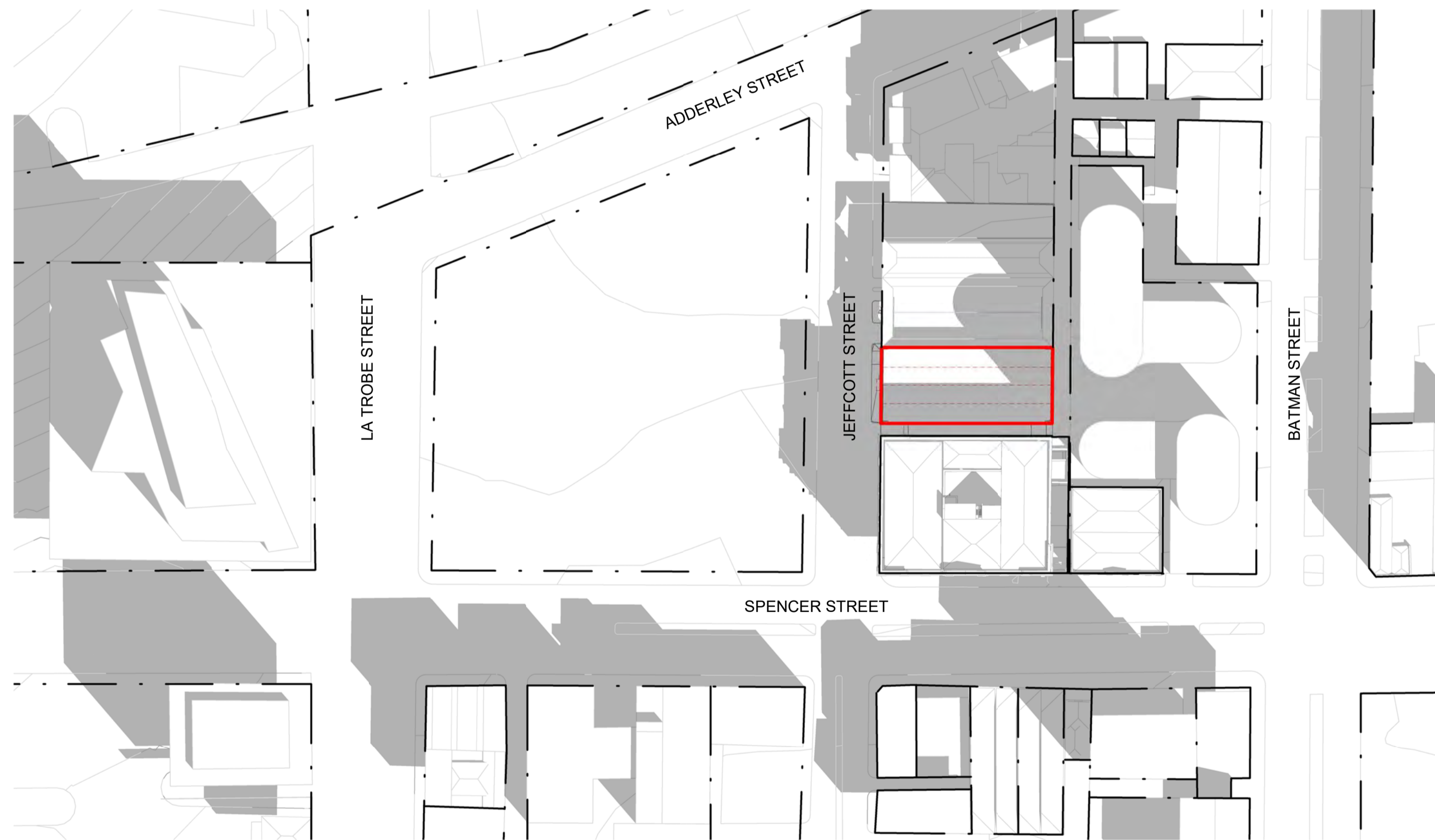
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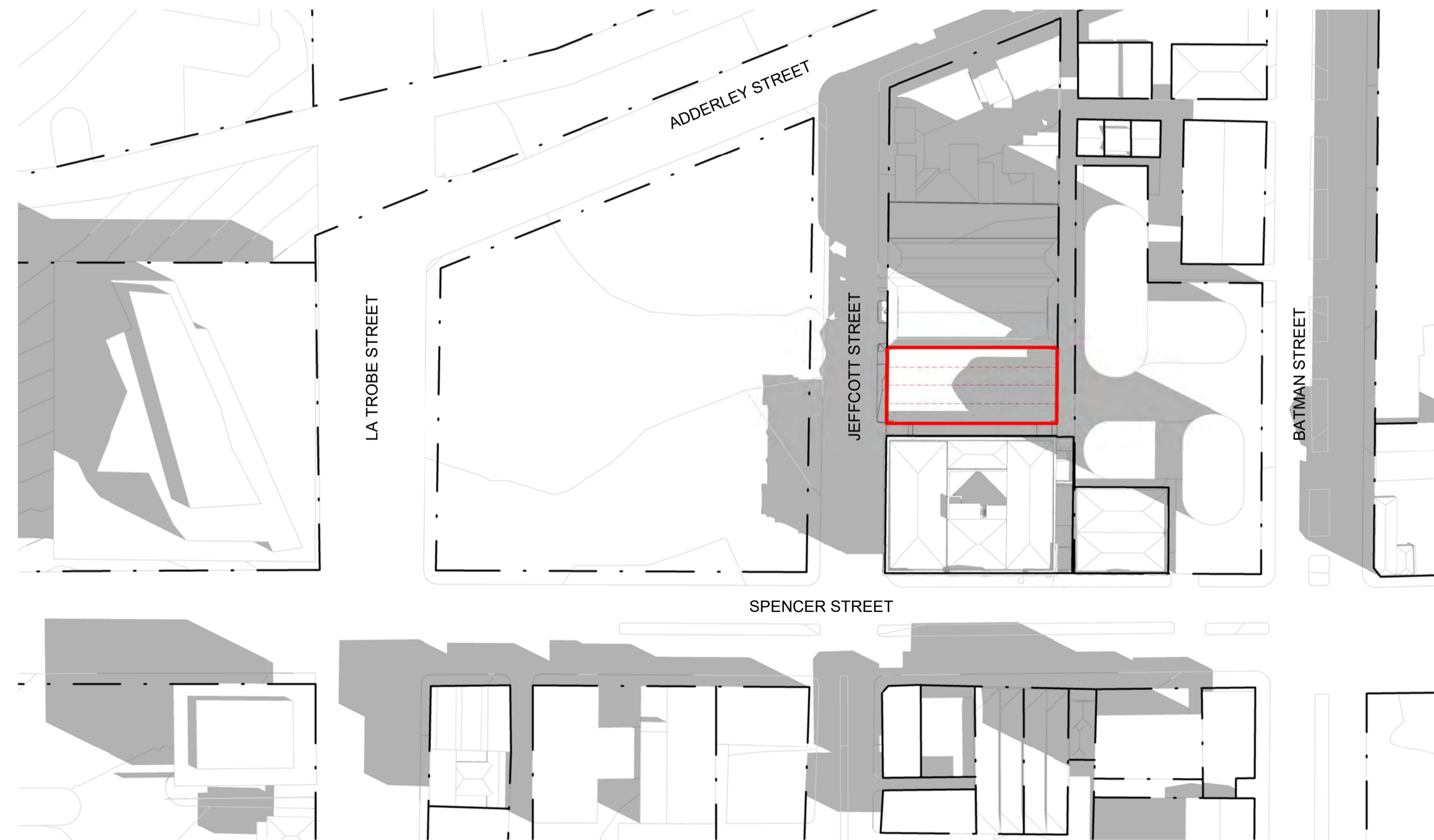
4 EXISTING SHADING DIAGRAM - EQUINOX 9AM
SCALE 1:1000



1 EXISTING SHADING DIAGRAM - EQUINOX 10AM
SCALE 1:1000



2 EXISTING SHADING DIAGRAM - EQUINOX 11AM
SCALE 1:1000



3 EXISTING SHADING DIAGRAM - EQUINOX 12PM
SCALE 1:1000

20/02/2022 - 14:03/03/2022 2:12:27 PM



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Client

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Amendments

No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title

EXISTING SHADOW DIAGRAMS

Sheet

PRELIMINARY
NOT FOR CONSTRUCTION

TOWN PLANNING

Sheet No.

TP5.001

Revision

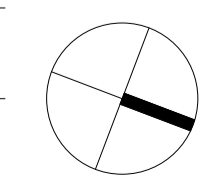
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Scale

1:1000 at A1

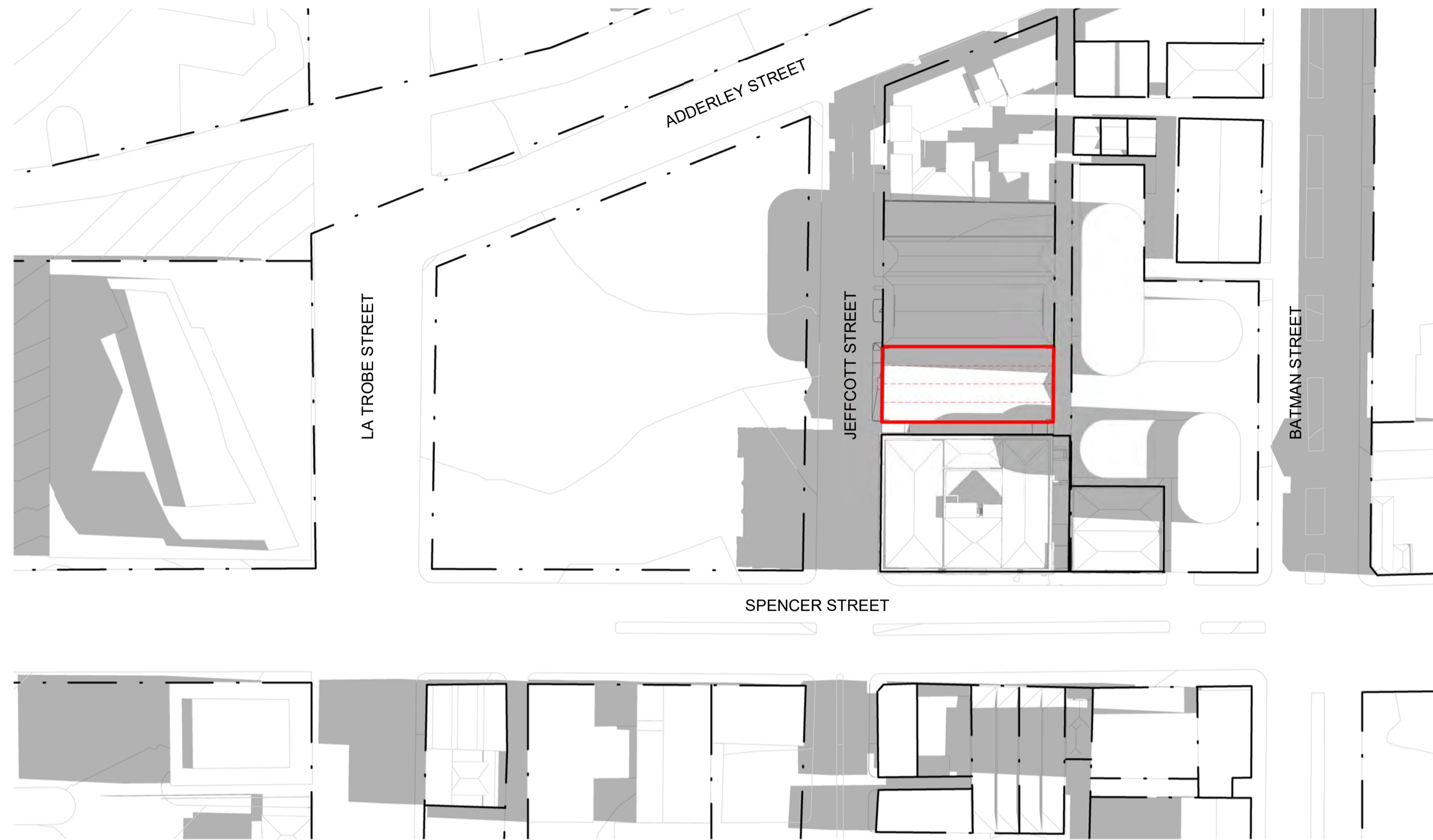
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11/03/2022

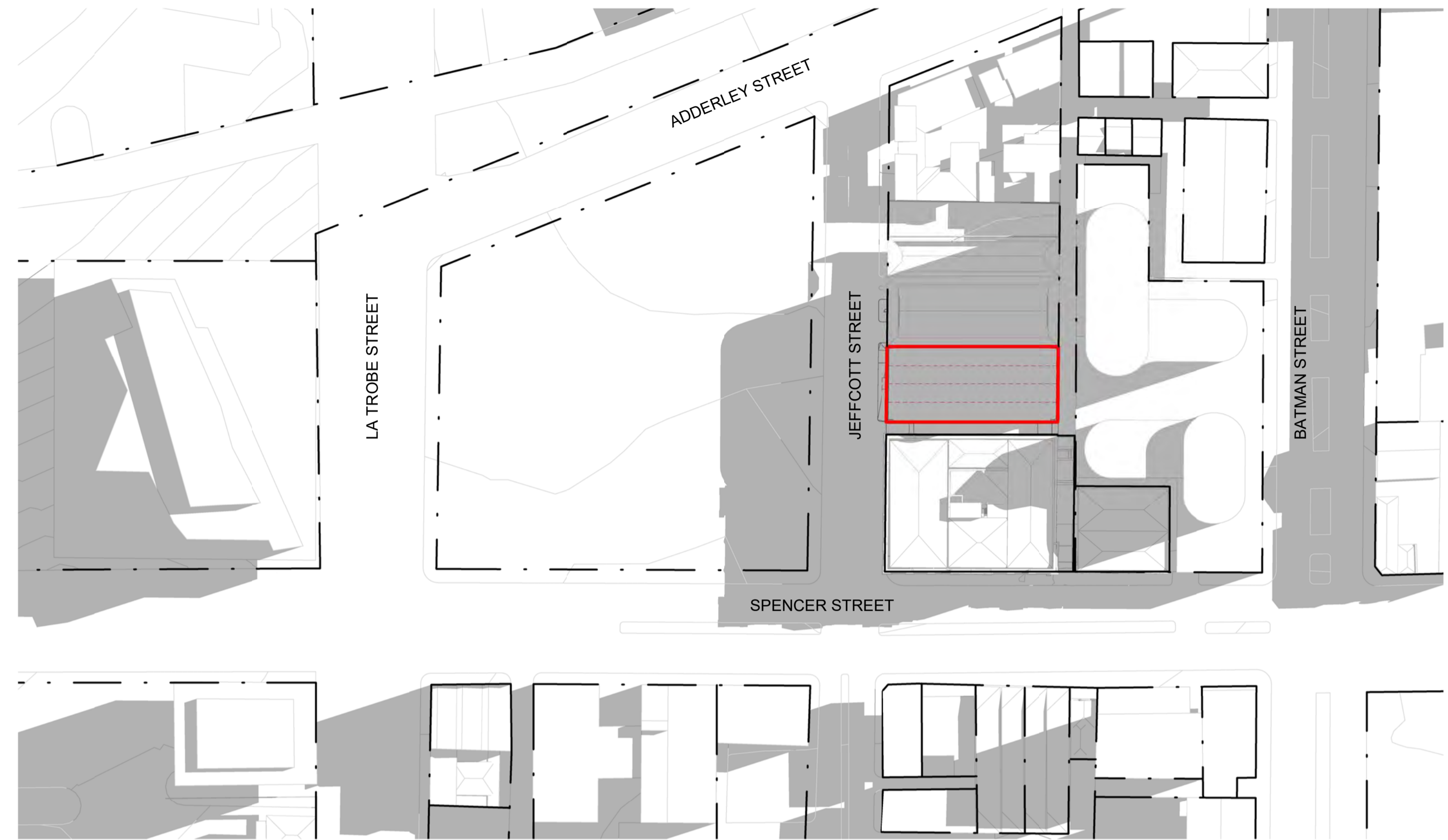


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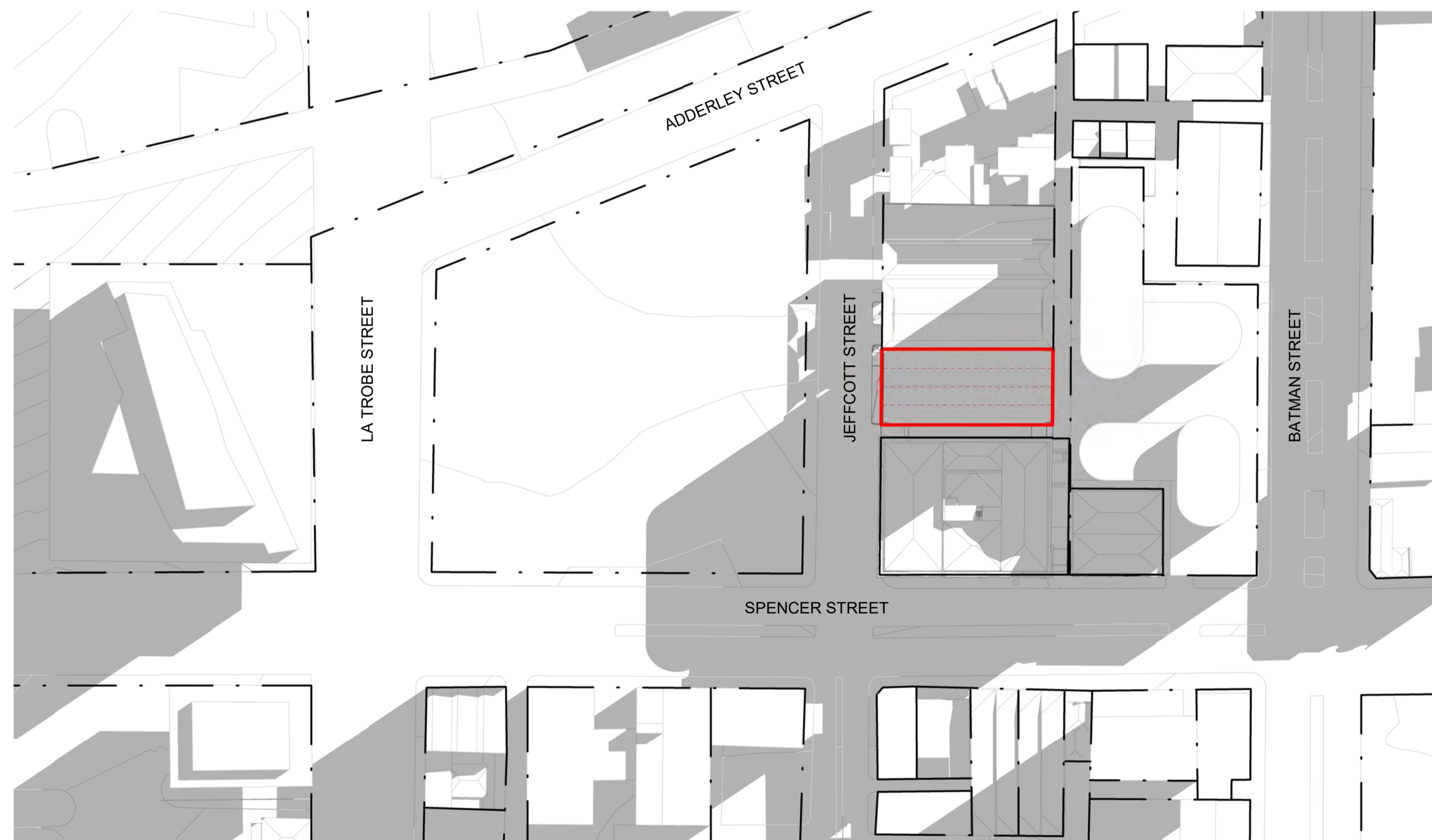
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1 EXISTING SHADING DIAGRAM - EQUINOX 1PM
SCALE 1 : 1000



2 EXISTING SHADING DIAGRAM - EQUINOX 2PM
SCALE 1 : 1000



3 EXISTING SHADING DIAGRAM - EQUINOX 3PM
SCALE 1 : 1000



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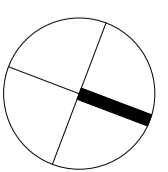
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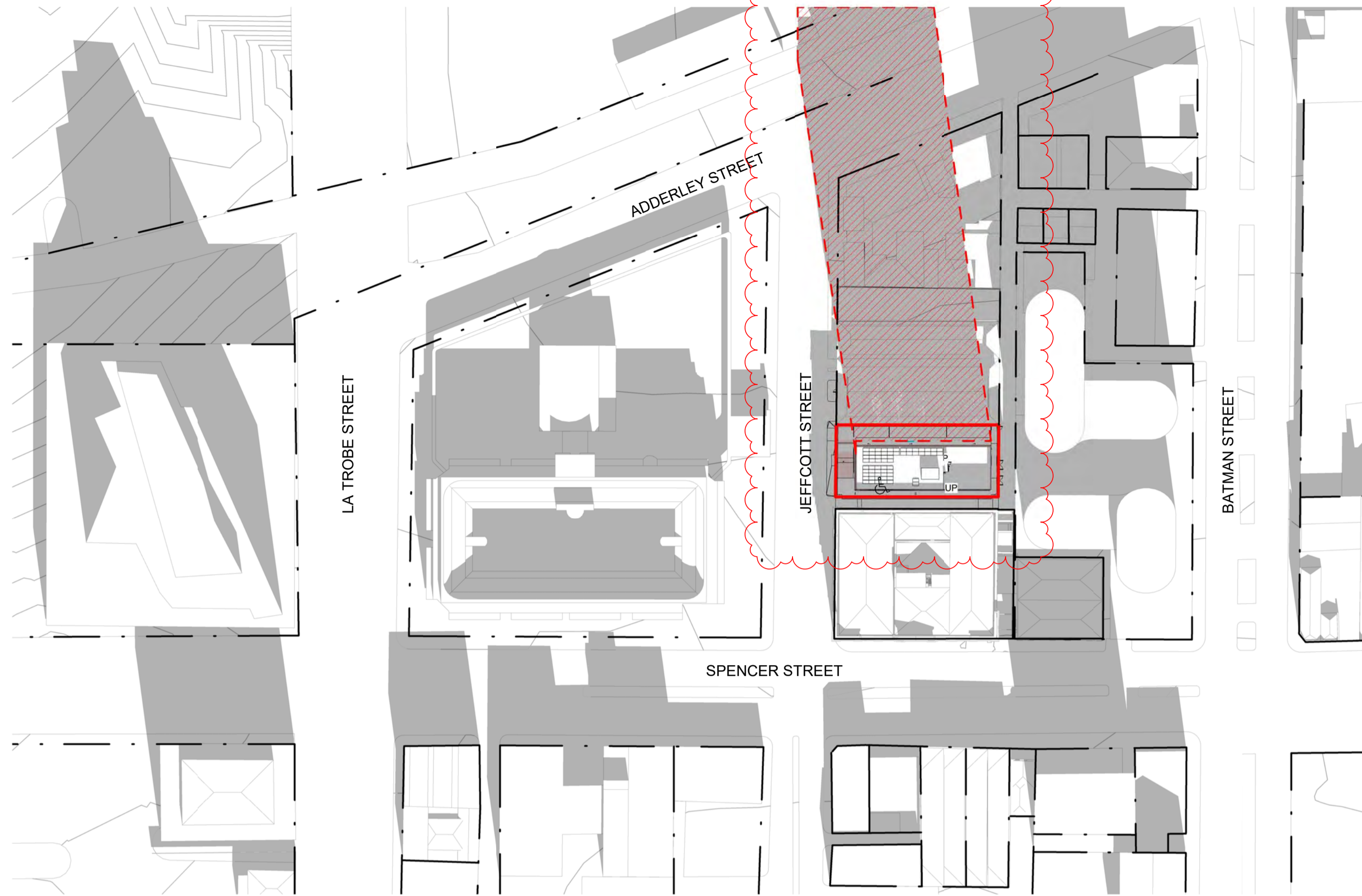
Amendments		
No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title
EXISTING SHADOW DIAGRAMS
Sheet
PRELIMINARY
NOT FOR CONSTRUCTION

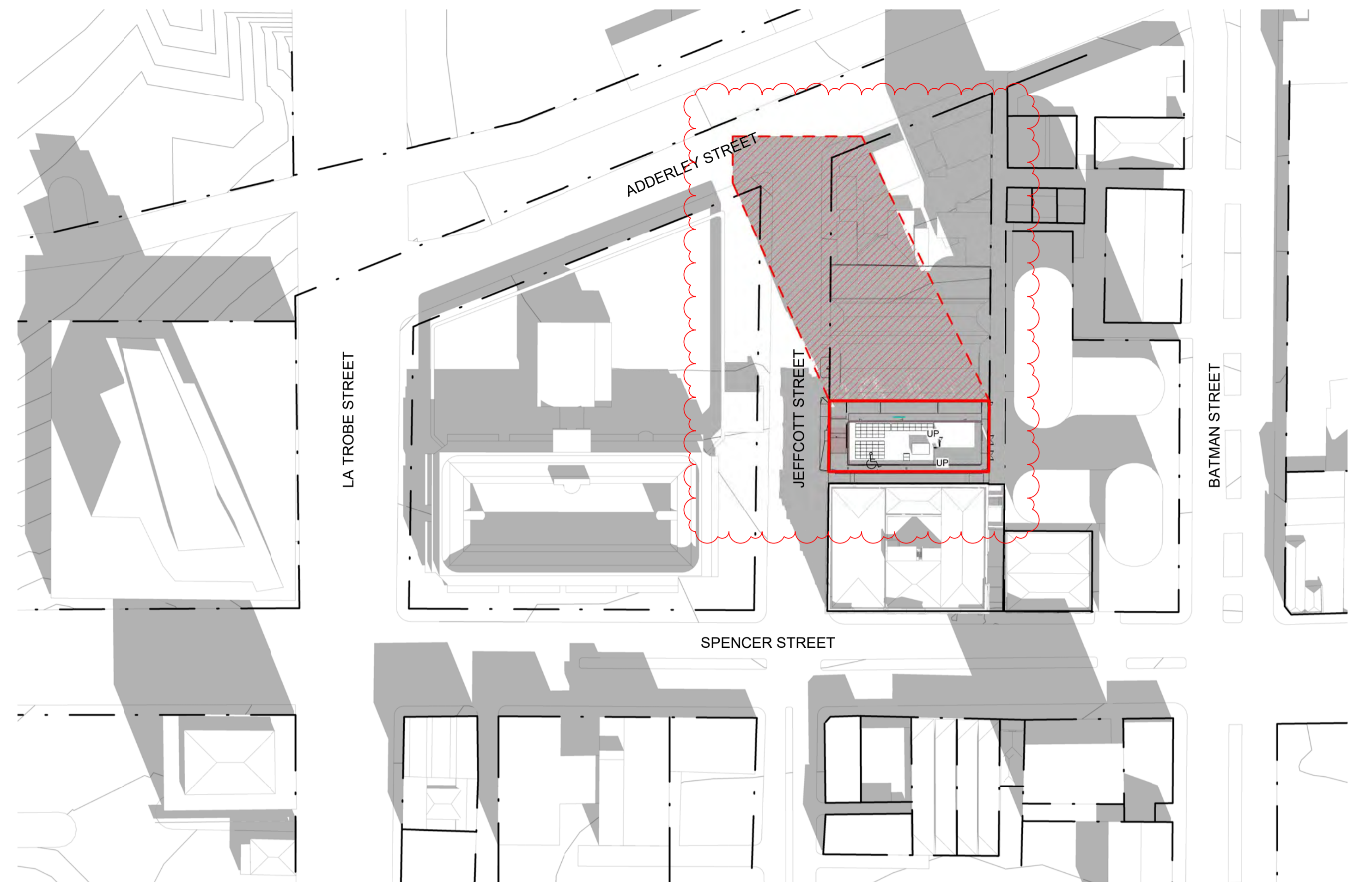
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Sheet No. **TP5.002** Revision **C**
Scale **1 : 1000** at **A1**
Date **11/03/2022**



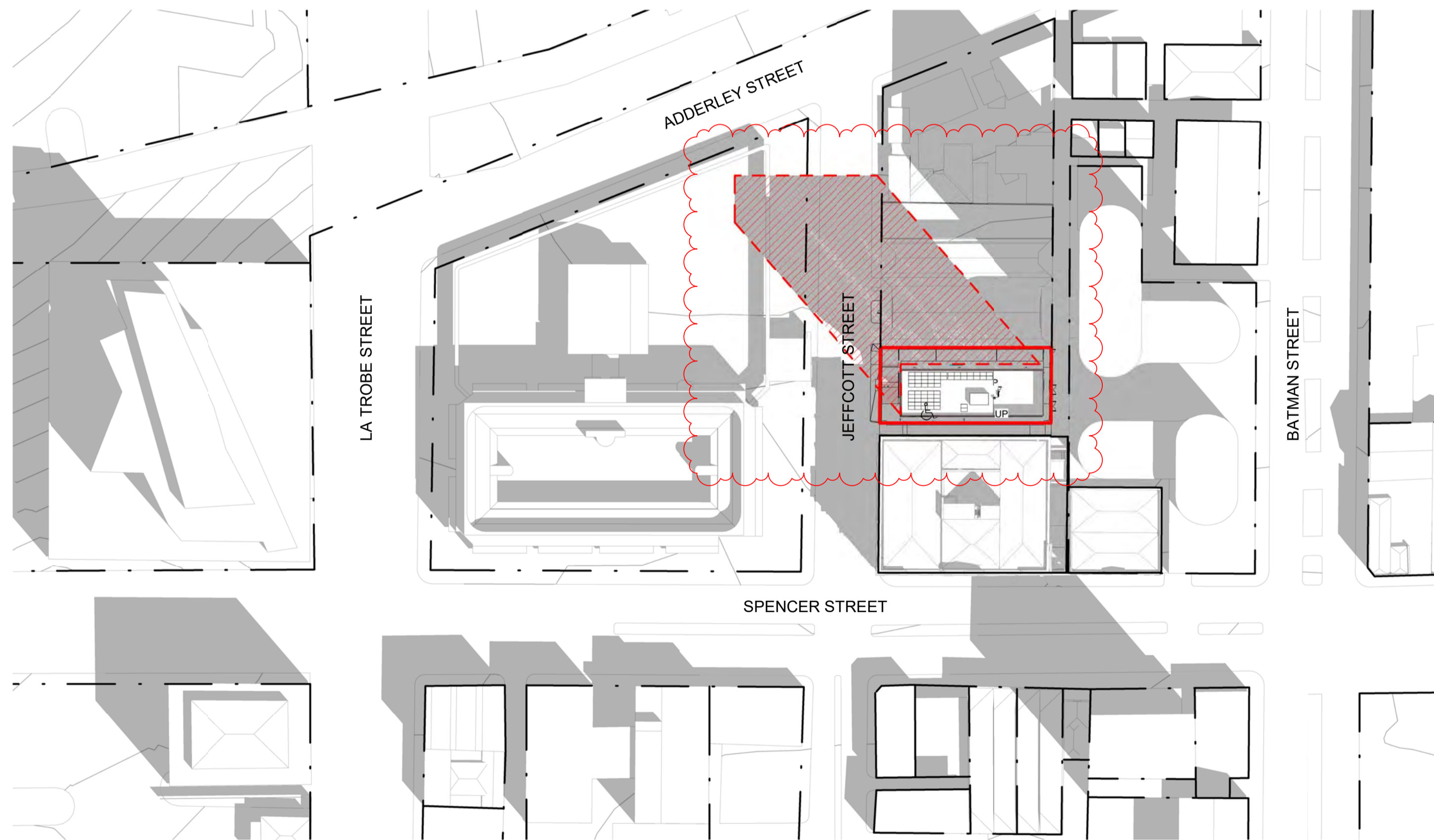
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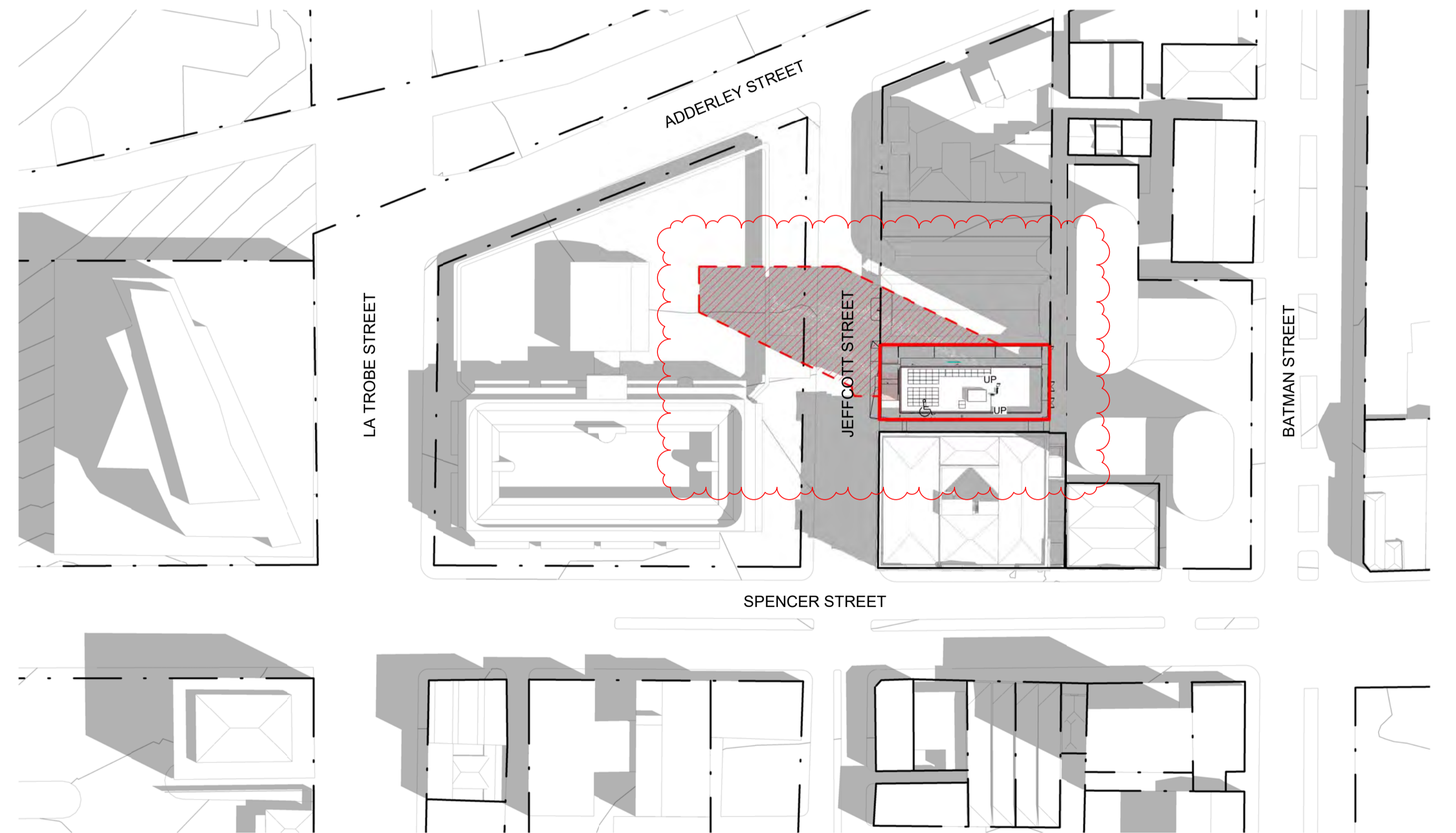
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SCALE 1:1000





2 PROPOSED SHADING DIAGRAM - EQUINOX 10AM
SCALE 1:1000



3 PROPOSED SHADING DIAGRAM - EQUINOX 11AM
SCALE 1:1000



4 PROPOSED SHADING DIAGRAM - EQUINOX 12PM
SCALE 1:1000

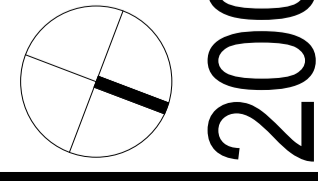
 INDICATES SHADOW CREATED BY PROPOSED BUILDING
 INDICATES EXTENT OF SHADOW CREATED BY PREVIOUS SCHEME

Project
102-108 JEFFCOTT STREET, WEST MELBOURNE
 102-108 JEFFCOTT STREET, WEST MELBOURNE.
 Client
BLUE EARTH GROUP

No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	10/05/2021	DRAWING
C	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title
PROPOSED SHADOW DIAGRAMS
 Sheet
PRELIMINARY
NOT FOR CONSTRUCTION

TOWN PLANNING
 Sheet No.
TP5.003
 Revision
C
 Scale
As indicated at A1
 Date
11/03/2022



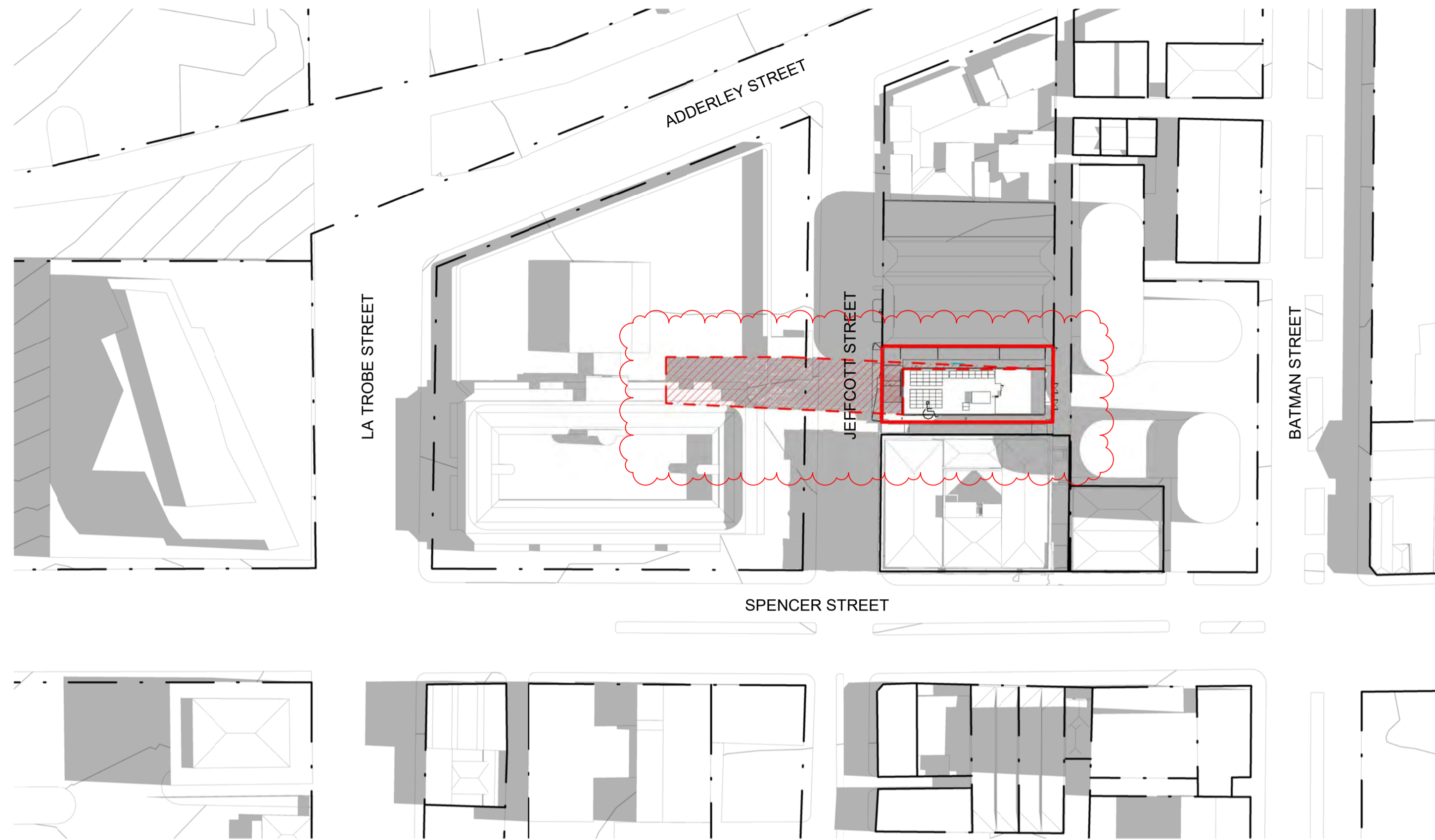
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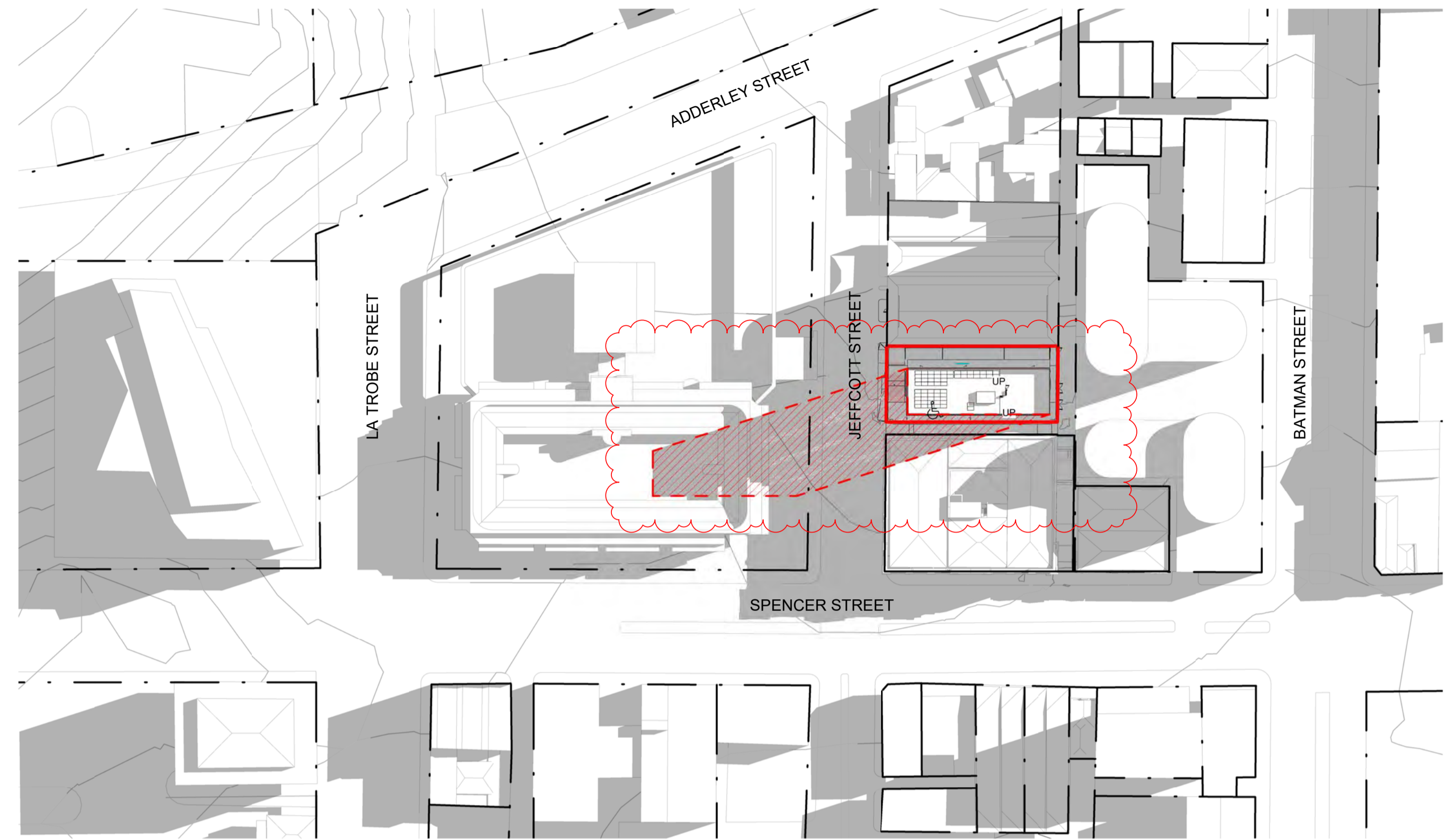
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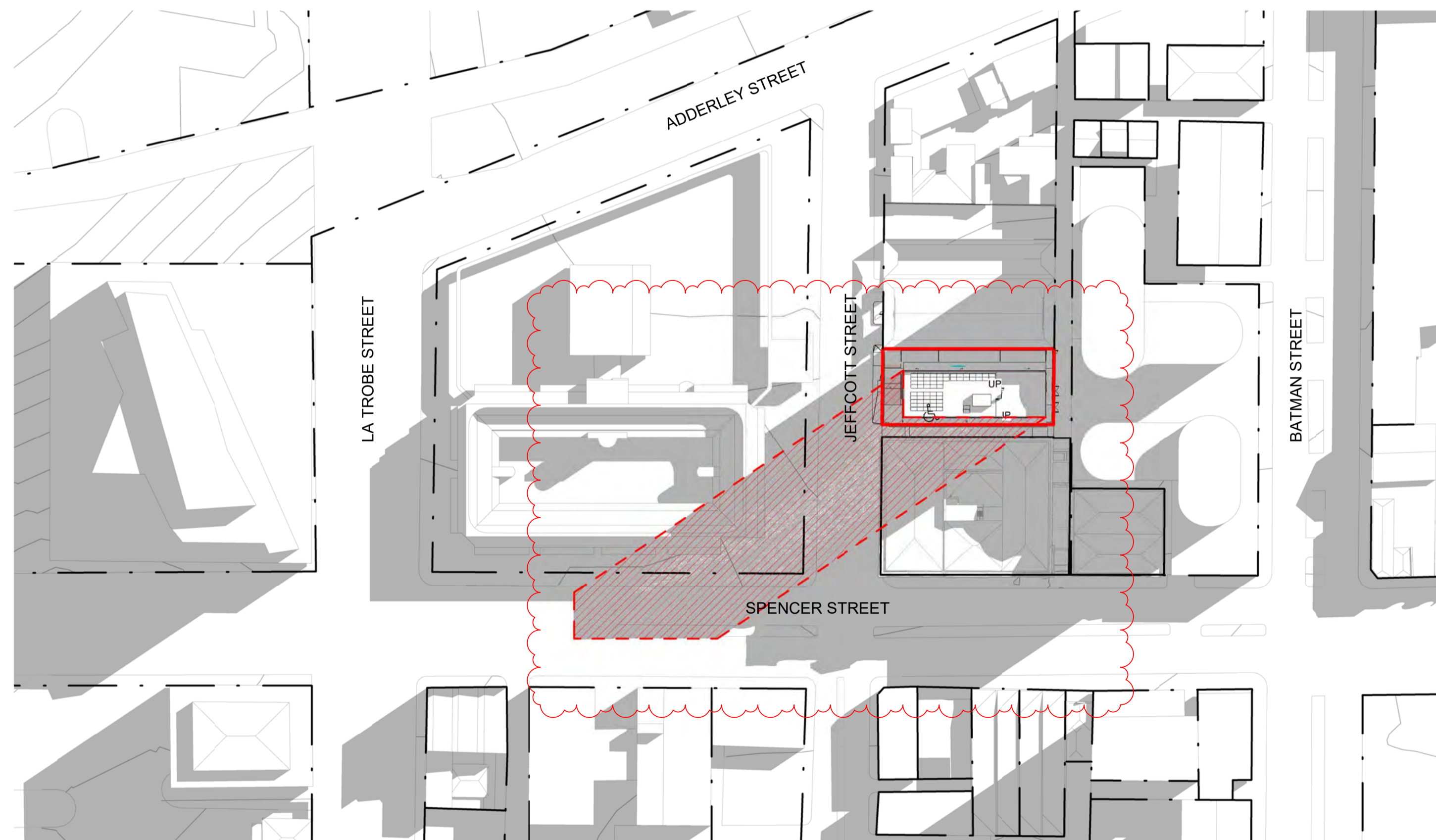
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 ABN 29 108 008 519
 Architecture
 Interior Design
 Urban Design





1 PROPOSED SHADING DIAGRAM - EQUINOX 1PM
SCALE 1 : 1000



2 PROPOSED SHADING DIAGRAM - EQUINOX 2PM
SCALE 1 : 1000



3 PROPOSED SHADING DIAGRAM - EQUINOX 3PM
SCALE 1 : 1000

 INDICATES SHADOW CREATED BY PROPOSED BUILDING
 INDICATES EXTENT OF SHADOW CREATED BY PREVIOUS SCHEME

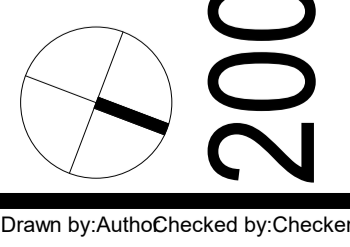
TOWN PLANNING

Project **102-108 JEFFCOTT STREET, WEST MELBOURNE**
102-108 JEFFCOTT STREET, WEST MELBOURNE.
Client **BLUE EARTH GROUP**

No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
B	10/05/2021	DEVELOPER
C	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title **PROPOSED SHADOW DIAGRAMS**
Sheet **PRELIMINARY**
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Sheet No. **TP5.004** Revision **C**
Scale **As indicated at A1**
Date **11/03/2022**



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Architecture
Interior Design
Urban Design

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Project

102-108 JEFFCOTT STREET, WEST MELBOURNE
 102-108 JEFFCOTT STREET, WEST MELBOURNE.

Client

BLUE EARTH GROUP

Amendments

No.	Date	Notes
A	10/05/2021	DELPHI RFI
B	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title

3D VIEWS

Sheet

PRELIMINARY
 NOT FOR CONSTRUCTION

TOWN PLANNING

Sheet No. Revision

TP5.005 C

Scale at A1

Date 11/03/2022

20020



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 Client **BLUE EARTH GROUP**

Amendments		
No.	Date	Notes
A	10/05/2021	DELPHI RFI
B	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title **3D VIEWS**
 Sheet **PRELIMINARY**
NOT FOR CONSTRUCTION

TOWN PLANNING
 Sheet No. **TP5.006** Revision **C**
 Scale **at A1**
 Date **11/03/2022**

20020



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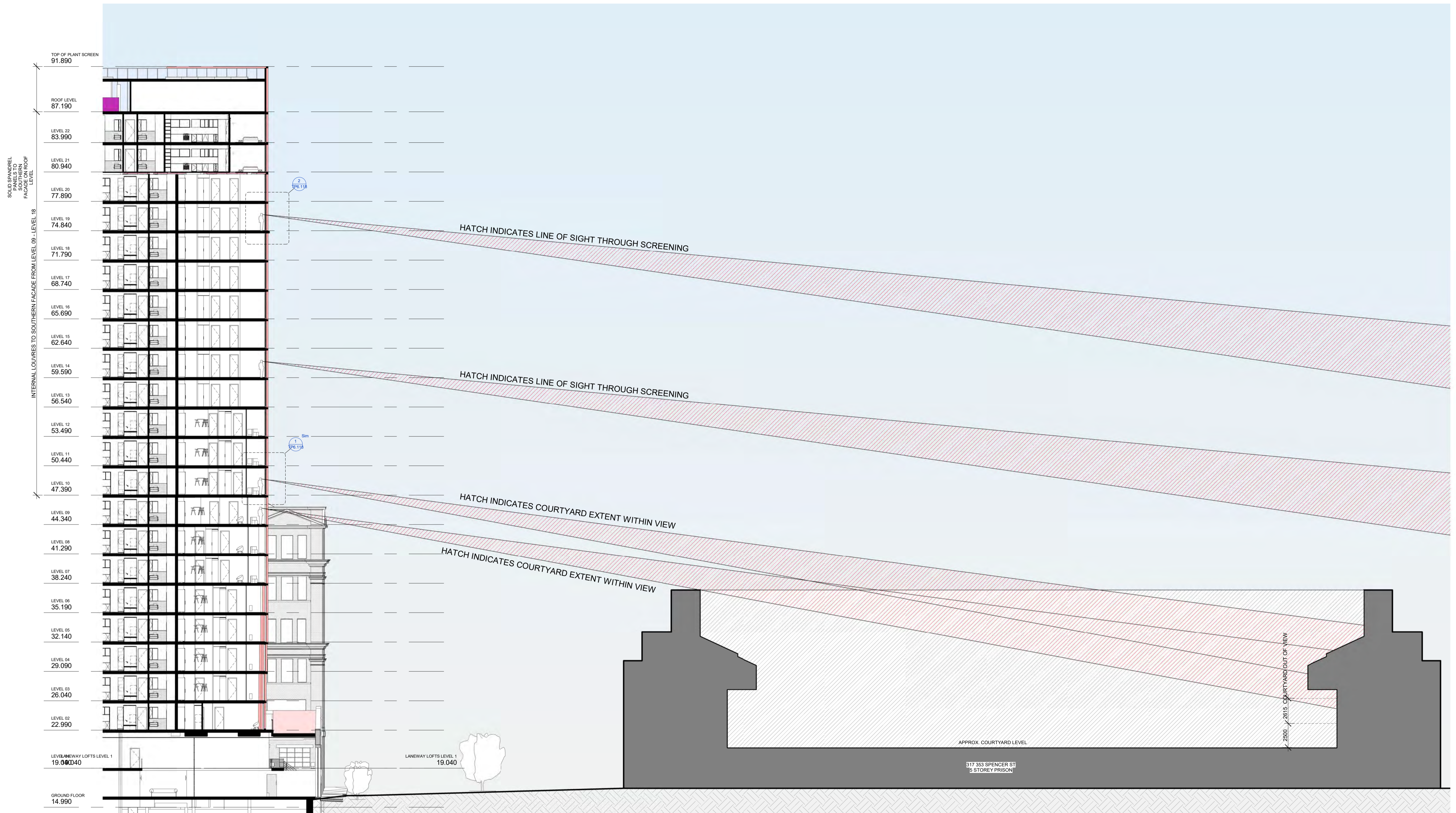
Project
102-108 JEFFCOTT STREET, WEST MELBOURNE
 102-108 JEFFCOTT STREET, WEST MELBOURNE.
 Client
BLUE EARTH GROUP

Amendments		
No.	Date	Notes
A	10/05/2021	DELPW RFI
B	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title
3D VIEWS
 Sheet
PRELIMINARY
NOT FOR CONSTRUCTION

Sheet No.
TP5.007
 Revision
C
 Scale
at A1
 Date
11/03/2022

20020



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Amendments

No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
S	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title

OVERALL SECTION - INDICATING
VIEWS INTO PRISON COURTYARD

Sheet

PRELIMINARY
NOT FOR CONSTRUCTION

Sheet No.

TP6.117 C

Scale

1 : 200 at A1

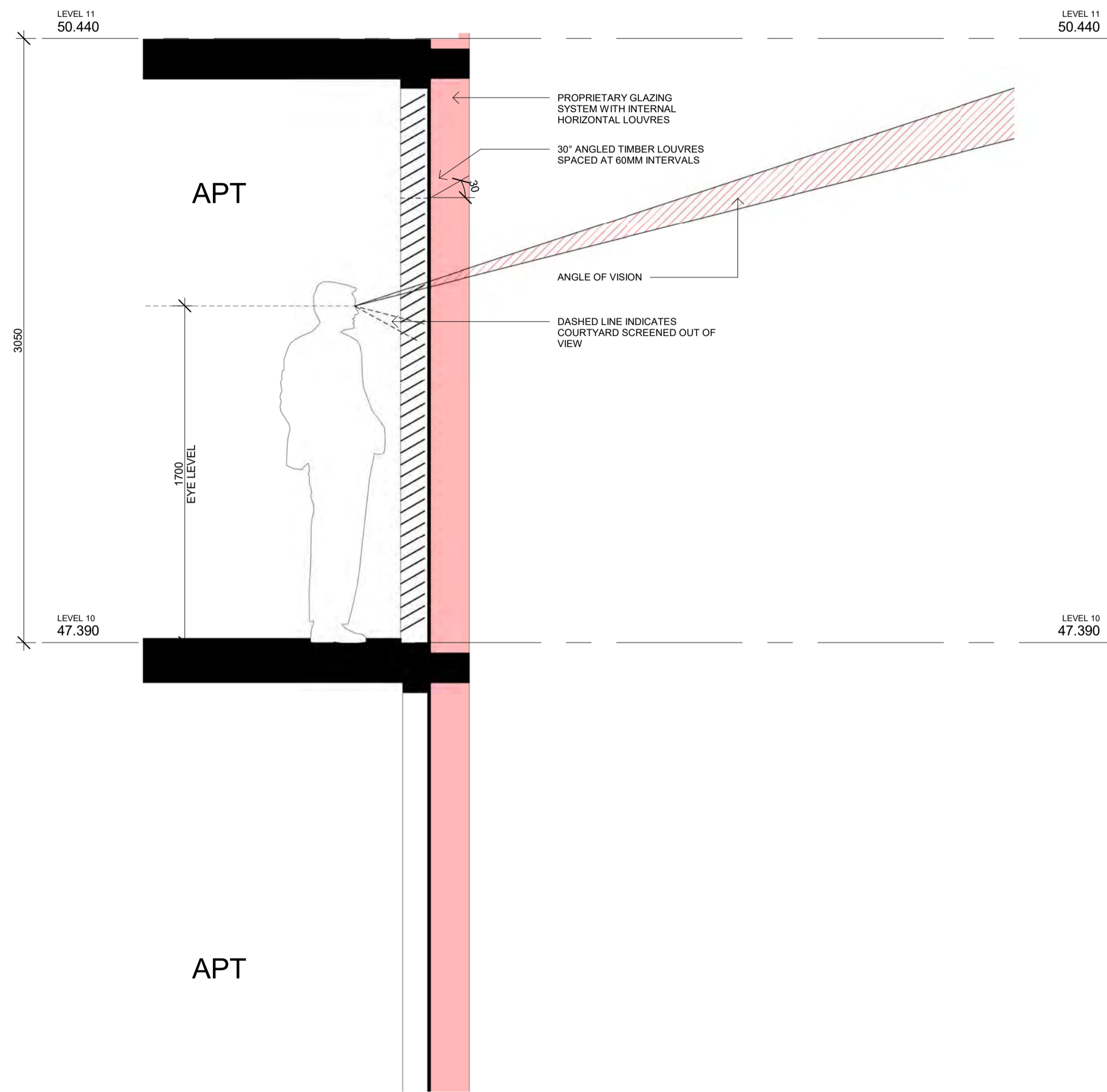
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11/03/2022

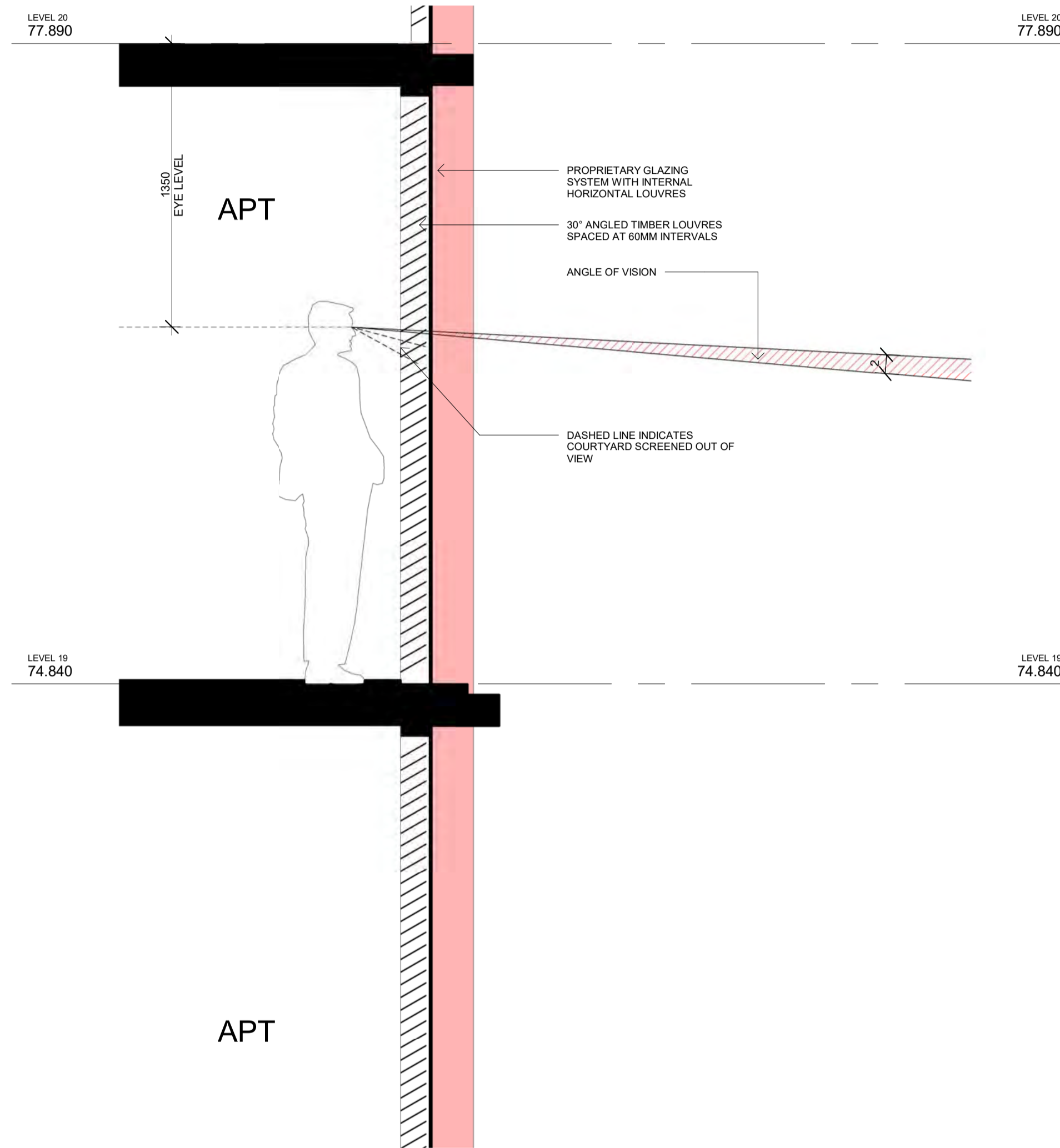
TOWN PLANNING

20020

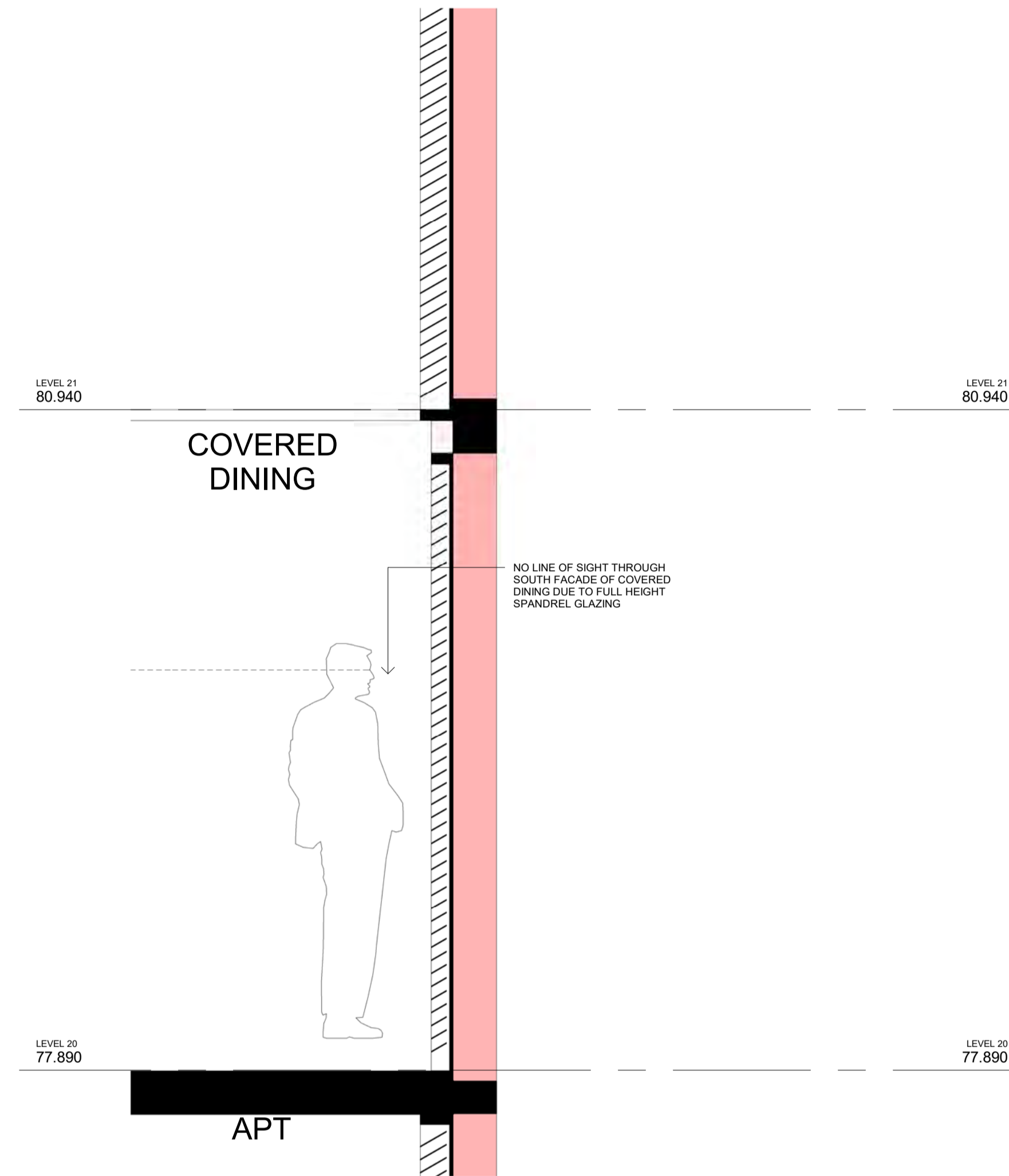
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1 PRISON YARD VIEWS DIAGRAM A - LEVEL 9
SCALE 1 : 20



2 PRISON YARD VIEWS DIAGRAM B - LEVEL 18
SCALE 1 : 20



3 PRISON YARD VIEWS DIAGRAM C - ROOF LEVEL
SCALE 1 : 20

20/02/2022 - 14:03/03/2022 2:17:37 PM



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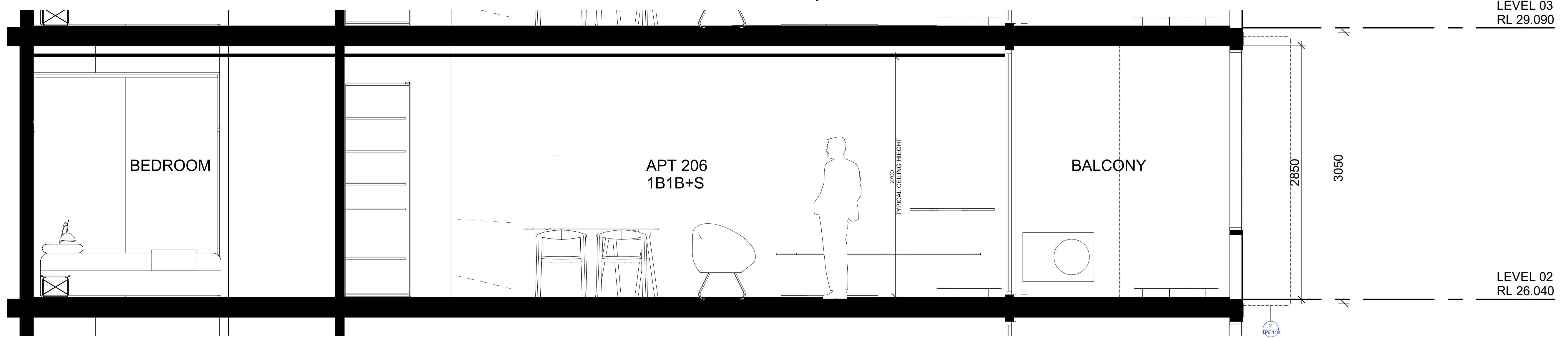
Project
102-108 JEFFCOTT STREET, WEST MELBOURNE
102-108 JEFFCOTT STREET, WEST MELBOURNE.
Client
BLUE EARTH GROUP

Amendments		Notes
No.	Date	
A	22.01.2021	TOWN PLANNING AMENDMENT
B	11.03.2022	TOWN PLANNING AMENDMENT REV B

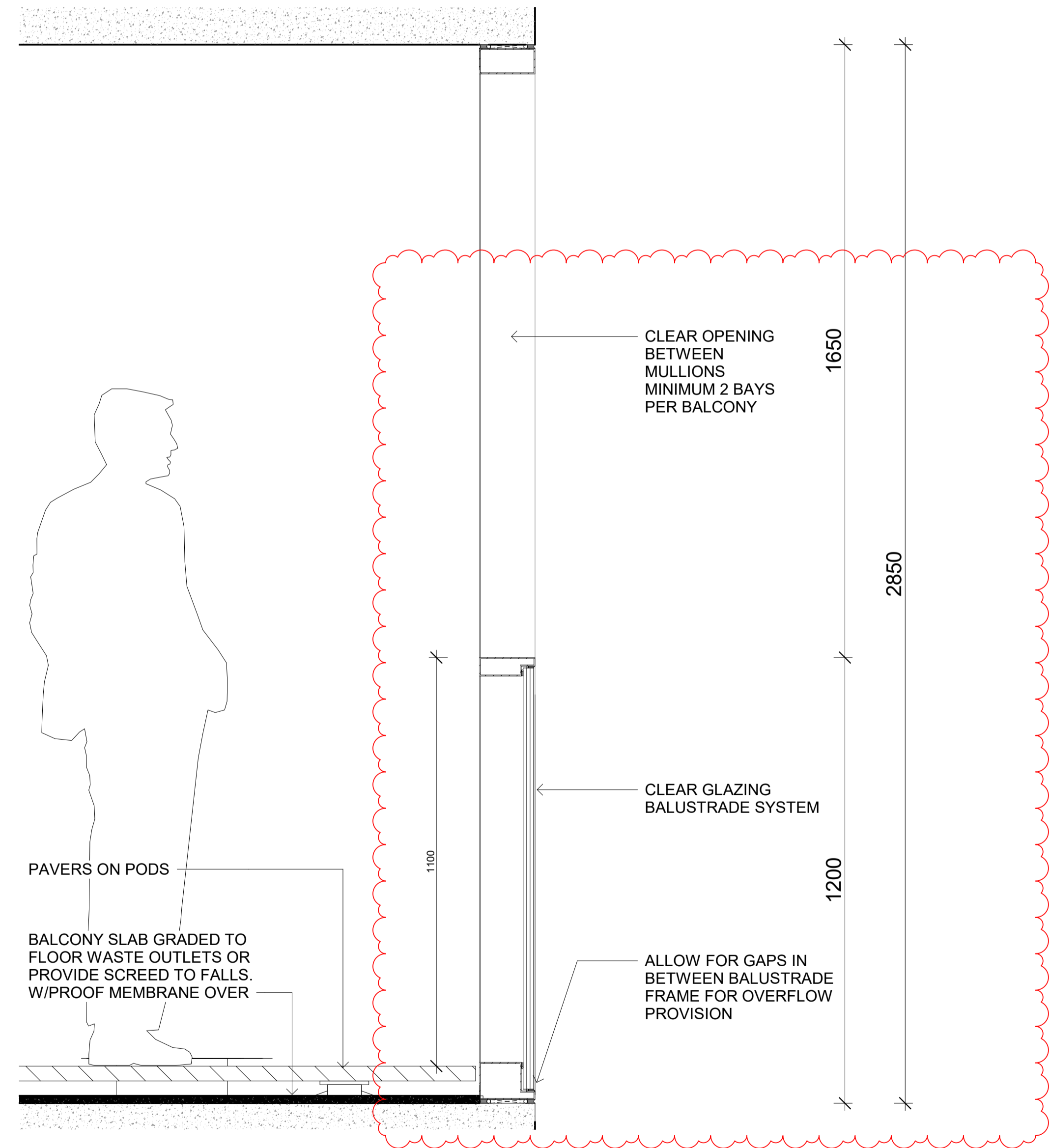
Title
DETAILED SECTIONS - INDICATING VIEWS INTO PRISON COURTYARD
Sheet
PRELIMINARY NOT FOR CONSTRUCTION

TOWN PLANNING
Sheet No. **TP6.118** Revision **C**
Scale **1 : 20** at **A1**
Date **11/03/2022**

20020



1 TYPICAL CEILING HEIGHTS
SCALE 1:25



2 TOWER BALCONYS BELOW L13 BALUSTRADE DETAIL
SCALE 1:10

TOWN PLANNING



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No.	Date	Notes
A	22/01/2021	TOWN PLANNING AMENDMENT
S	11/03/2022	TOWN PLANNING AMENDMENT REV B

Title DETAILED SECTIONS - APARTMENT DETAILS
Sheet PRELIMINARY NOT FOR CONSTRUCTION

Sheet No. TP6.119 C
Revision
Scale AS indicated at A1
Date 11/03/2022

20020