

Committee report to Council

Agenda item 5.1

Council

Proposed discontinuance and sale of various lanes and land in Carlton

30 April 2019

Committee Submissions (Section 223)

Presenter Greg Stevens, Manager Parks, Property and Waterways

Purpose and background

1. The purpose of this report is to recommend the discontinuance and sale, pursuant to sections 189, 206(1) and 223 and clause 3 of schedule 10 of the *Local Government Act 1989* ('the Act'), of various lanes and land ('the Roads'), in Carlton, as shown hatched and cross hatched on the attached plan (see Attachment 1).

Consideration at Committee

2. At the Submissions (Section 223) Committee meeting on 7 March 2019 the Committee considered the report at Attachment 1 and made the below recommendation for presentation to Council.

Recommendation

3. That Council:
 - 3.1. Discontinue CL520 (including the adjoining private lane), CL1239, CL1144, CL1514, Levers Place and O'Grady's Place, Carlton as proposed on the plan in the public notice published in The Age of 16 January 2019 and sell the land shown hatched and cross-hatched on the plan (Land) to RMIT University (RMIT) for a value to be determined by the Valuer-General Victoria (plus GST), subject to the 5.4 metre wide part of the Land at the rear of 100 Victoria Street Carlton, being encumbered by an easement in favour 100 Victoria Street, for the reasons that:
 - 3.1.1. the additional easements address the primary concerns of the owner and occupier of 100 Victoria Street Carlton, and ensures their existing rights of access and to light and air are preserved
 - 3.1.2. the sale of the Land to RMIT and its consolidation into adjoining land owned by RMIT is logical given RMIT is already the owner of all of the adjoining land save 100 Victoria Street Carlton.
 - 3.2. Notify in writing every person who has lodged a separate submission of the decision and reasons for the decision.

Attachment:

1. Submissions (Section 223) Committee, Agenda item 5.1, 7 March 2019 (Page 2 of 112)

Management report to Submissions (223) Committee

Proposed discontinuance and sale of various lanes and land in Carlton

**Submissions
(223) Committee**

Presenter: Leon Wilson, Acting Senior Project Officer Facilities Management

7 March 2019

Purpose and background

1. This report addresses three submissions received to the proposed discontinuance and sale, pursuant to sections 189, 206(1) and 223 and clause 3 of schedule 10 of the *Local Government Act 1989* ('the Act'), of various lanes and land ('the Roads'), in Carlton, as shown hatched and cross hatched on the attached plan (see Attachment 2).
2. It is proposed to sell the Roads to RMIT University (RMIT) at a valuation determined by the Valuer General Victoria. The submissions relate to CL1514 and in particular the portion which abuts the rear of 100 Victoria Street, Carlton.
3. There is a current planning permit application TP-2018-994 which has been lodged with Council by the new lessee and occupier of 100 Victoria Street.
4. The main points from the three submissions are as follows (Attachment 3 has the full submissions):
 - 4.1. The first submission is from the owner of 100 Victoria Street objecting to the discontinuance and sale of CL1514 as access is required for the property.
 - 4.2. The second submission is from the lessee of 100 Victoria Street objecting to the discontinuance and sale of CL1514 at the rear of the property as it provides access for deliveries, waste management purposes and emergency egress.
 - 4.3. The third submission is from RMIT the applicant in support of the discontinuance and sale.

Key issues

5. The property at 100 Victoria Street requires the access at the rear onto CL1514 to be preserved for deliveries, waste management and emergency egress as a minimum; this is noted in all submissions.
6. The rear access to the 100 Victoria Street property can be protected in a variety of ways as discussed in the submissions. The main alternatives are as follows:
 - 6.1. Remove the portion of CL1514 at the rear of 100 Victoria Street as shown on the certificate of title for 100 Victoria Street from the discontinuance and sale application and retain it as a public highway under Council's care and management, if this alternative is supported the portion should be declared a public highway to ensure the ongoing status is beyond doubt
 - 6.2. Sell all of CL1514 to RMIT with easements in favour of and at the rear of the 100 Victoria Street property to protect access and other rights to the rear of 100 Victoria Street
 - 6.3. Sell the portion of CL1514 at the rear of 100 Victoria Street to the owner of 100 Victoria Street with easements in favour of the RMIT land to protect access and other rights
 - 6.4. Sell half the width of the portion of CL1514 at the rear of 100 Victoria Street to 100 Victoria Street and the other half of the width to RMIT with relevant easements over each half.

Recommendation from management

7. That the Submissions (Section 223) Committee:
 - 7.1. considers all written submissions in relation to the proposal and hears any person wishing to be heard in support of their submission and then makes a recommendation to Council
 - 7.2. recommends Council notify in writing every person who has lodged a submission of its decision and the reasons for its decision.

Attachments:

1. Supporting Attachment
2. Public Notice and Plan
3. Submissions

Supporting Attachment

Legal

1. Pursuant to sections 189, 206(1) and 223 and clause 3 of Schedule 10 of the Act, Council has given public notice that it proposes to discontinue and sell the Roads and sell the additional land.

Finance

2. Council's costs associated with managing the application will be met by the applicant. This is regardless of whether the application is successful or not, or if it is withdrawn. These costs include property valuation, general advertising, gazetting of the Road discontinuance in the Government Gazette and associated legal costs.
3. The Valuer General Victoria has provided a valuation of \$8,445,000 exclusive of GST for all the lanes and land proposed to be sold to RMIT University in the Public Notice.

Conflict of interest

4. No member of Council staff, or other person engaged under a contract, involved in advising on or preparing this report has declared a direct or indirect interest in relation to the matter of the report.

Stakeholder consultation

5. The proposal was given public notice. Overall the consultation involved:
 - 5.1. advertising in the Age on 16 January 2019
 - 5.2. a letter being sent to the owners of abutting properties not used for education purposes
 - 5.3. all the Service Authorities being notified of the proposal.

Relation to Council policy

6. The proposed discontinuance and sale has been assessed under the Road Discontinuance and Sale Policy approved by Council on 30 May 2017.

Environmental sustainability

7. This proposal has no significant impact on environmental sustainability.

Melbourne City Council

Proposed discontinuance and sale of various lanes and land in Carlton

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Any person may make a written submission on the Proposal to the Council. All submissions received by the Council on or before 14 February 2019 will be considered in accordance with section 223(1) of the Act, by the Council's Submissions (Section 223) Committee (Committee).

If a person wishes to be heard in support of their submission they must include the request to be heard in the written submission and this will entitle them to appear in person, or by a person acting on their behalf, before a meeting of the Committee, scheduled to be held on 7 March 2019, commencing at 3pm, in the Melbourne Town Hall, Administration Building, Swanston Street, Melbourne.


Written submissions should be marked 'Proposed Discontinuance and sale of various lanes and land to RMIT' and addressed to the Manager Governance and Legal, Melbourne City Council, GPO Box 1603, Melbourne, 3001. Written submissions can be made via mail, email to com.meetings@melbourne.vic.gov.au or on-line at <https://comdigital.wufoo.com/forms/rly4bj60tdaqsq/>

Written submissions cannot be delivered in person.

Submissions form part of the public record of the meeting (including any personal information you provide) and will be published on Council's website (accessible worldwide) for an indefinite period. A hard copy will also be made available for inspection by members of the public at Council offices.

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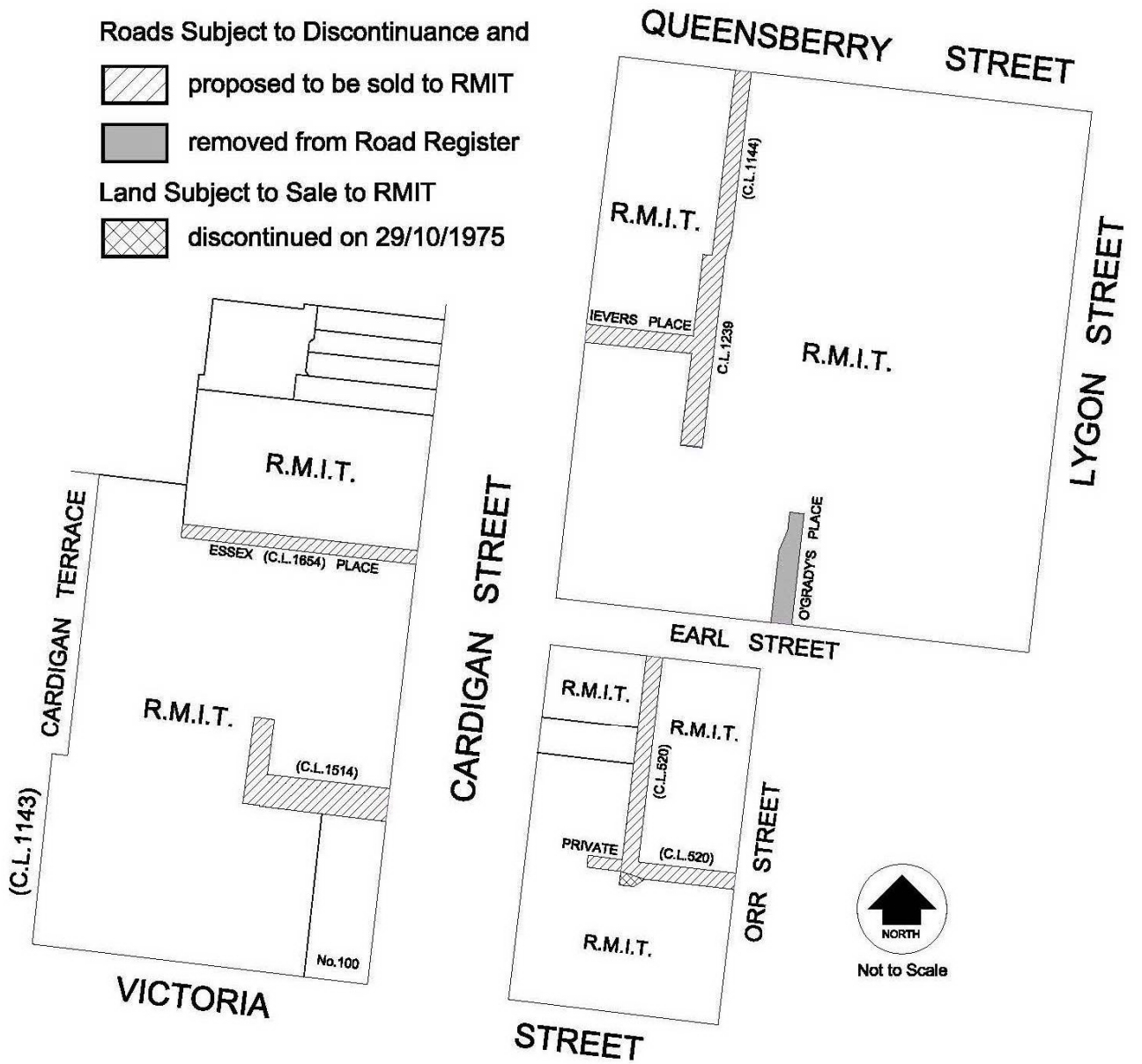
Roads Subject to Discontinuance and

 proposed to be sold to RMIT

 removed from Road Register

Land Subject to Sale to RMIT

 discontinued on 29/10/1975



Our Ref: JL:EC:913161

Your Ref: Proposed discontinuance and sale of various lanes and land to RMIT

11 February 2019

**Manager, Governance and Legal,
Melbourne City Council,
GPO Box 1603,
Melbourne VIC 3001**

Dear Sir / Madam

Proposed discontinuance and sale of various lanes and land in Carlton

We refer to the Melbourne City Council (Council) notice given pursuant to sections 189, 206(1) and 223 and clause 3 of schedule 10 of the *Local Government Act 1989* (the Act), that Council proposes to discontinue laneway CL1514 in Carlton (Laneway) and sell the Laneway to RMIT University for a value to be determined by the Valuer-General Victoria.

We advise that we act on behalf of Excellion Investments Pty Ltd (Client), the registered proprietor of the property located at 96-100 Victoria Street, Carlton (Client Site) identified in Certificate of Title Volume 06302 Folio 348 on the title plan as the Lot 1 on TP386768P. The Laneway abuts the Client Site along its northern boundary.

We remind and refer Council to our Client's previous email correspondence on the matter dated 18 January 2019, informing Council that a submission will be forthcoming.

Please accept this letter as a formal objection by our Client to the proposed discontinuance and sale of the Laneway. The basis of our Client's objection is set out below:

Discontinuance of the Laneway

Our Client, and the broader public, have for many years had the continuous use and benefit of the Laneway without express leave or licence. It is submitted that the proposed discontinuance will result in a prejudice to our client and the broader public, and should not be allowed.

Our Client submits that the discontinuance should be abandoned on the following grounds:

- The Laneway has been, and is currently being, used as a legal point of emergency exit from the Client Site.
- The Laneway has been, and is currently being, used as a waste collection area from the Client Site. The Laneway is clearly the optimum location for waste collection as it avoids impacts on busy footpaths abutting the eastern and southern boundaries of the Client Site and avoids waste collection occurring on busy thoroughfares.
- The proposed discontinuance may limit the potential and scope of any future development of the Client Site, subject to the requirements of the Melbourne Planning Scheme (Scheme).

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- The proposed discontinuance and sale may result in adverse amenity impacts on any existing and future use of the Client Site, including but not limited to, overshadowing and overlooking.
- The proposed discontinuance is contrary to the policy basis of Clause 22.20 (CBD Lanes) of the Scheme, which recognises laneways as important, unique, and enduring assets that contribute to the city's character. It notes that "new development in and abutting a lane also has the potential to affect the lanes functionality with respect to servicing and access...".
- Discontinuance is contrary to the provisions of the Scheme that seek to protect and enhance the character and function of the laneway system in the City of Melbourne (see Clauses 21.02, 21.09, 21.12, 22.20). Clause 21.02 for instance notes "the City's laneways and arcades are one of the most iconic elements of the City's character, its social and cultural life and local economy".
- It is a relevant consideration that the proposed discontinuance will adversely affect and result in a loss of our Client's benefits of access rights under the *Road Management Act 2004* (see *Pulitano Pastoral Pty Ltd v Mansfield Shire Council* [2017] VSC 421).
- The proposed discontinuance and sale is contrary to Melbourne City Council's Road Discontinuance and Sale Policy 2017 insofar as the action would be contrary to the interests of the general public, and would have a negative effect on abutting properties and buildings, and their owners and occupiers.
- It is also likely that our Client has 'Long User' easement rights by way of a prescriptive easement over the Laneway due to continuous 'as of right' use over a period of 20 years without objection. The discontinuance and sale of the Laneway would be an unlawful infringement of these rights.

Our Client should be given the opportunity to purchase the land

In the alternative, if the Laneway is to be sold despite our Client's objection set out above, we note that all sale of local government land by Council should be in the best interests of the community and provide the best financial and non-financial result for both Council and the community (Local Government Best Practice Guideline for the Sale, Exchange & Transfer of Land, DPCD, 2009, p. 7).

The Act sets out the processes for the sale of local government land. We note there are generally five ways Council can sell its land comprising by public auction, public tender, public registration or expression of interest, sale/exchange by private treaty, or exchange of land of equivalent value. All sales should be conducted through a public process (i.e. public tender, public auction, or registration of interest), unless particular circumstances exist to justify an alternative method of sale (e.g. sale of a laneway by private treaty where the only viable purchasers are the adjoining owners) (DPCD, 2009). Should an alternative method of sale be employed, council should, in the interests of transparency, accountability, and probity, make public an explanation of the circumstances which lead to its decision (DPCD, 2009).

In the circumstances it is submitted that there are no particular circumstances which justify the sale of the Laneway by private treaty. It is submitted that, consistent with the Act and Best Practice, any sale of the Laneway should be by way of tender, and our Client be given the opportunity to tender for the Laneway noting that it has a direct abuttal to the Laneway.

On behalf of our Client, we submit that the sale of the Laneway is not in the best interest of, and does not provide the best result to, the community for the following reasons:

- The process has not been transparent;
- The process does not result in the best use of the Laneway; and
- The process does not benefit the rate payers.

Sale of half the land to our client, and half the land to RMIT

We are instructed that on a without prejudice basis, if Council is not prepared to allow a tender process for the sale of the Laneway, our client would be prepared to accept a scenario whereby the Laneway be divided and offered in equal parts to both our Client and RMIT, with existing rights of use and access preserved over the entire Laneway. This would ensure that the Client Site could continue to enjoy its existing use of the Laneway.

Conditions to be placed on the sale

Should Council proceed with the sale of the Laneway to RMIT or any other party, our Client seeks conditions of sale to include provisions that:

- Ensure an absolute exclusion of any built form within the Laneway; and
- Maintain the Client Site's right of way access so as to ensure the Client Site's continued and uninterrupted use of the Laneway.

Reserve of future rights

Our Client reserves its rights to any future claims arising in relation to the Laneway.

Request a discussion with Council regarding the issue

Finally, we confirm our Client would welcome the opportunity to discuss this submission further with Council, and requests the opportunity to present to any Council meeting or panel hearing considering the proposed discontinuance and sale of Laneway CL1514.

Please contact James Lofting on 8644 3414 should you have any queries.

Yours sincerely



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14 February 2019

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To Whom It May Concern

Proposed Discontinuance and sale of laneway CL1514 to RMIT

We act for Hero's Hotpot Pty Ltd ('**Client**') the lessee and occupier of 100 Victoria Street, Melbourne, Victoria 3000 ('**Premises**').

Public Notice

The City of Melbourne ('**Council**') has issued a public notice stating that it proposes to discontinue laneway CL1514, Carlton ('**Laneway**') and that it intends to sell the Laneway to RMIT University for a value to be determined by the Valuer-General. A copy of the public notice is provided at **Annexure A** with our client's land highlighted on the plan as an adjacent property.

Objection

We have instructions on behalf of our client to object to the discontinuance and sale of the Laneway pursuant to section 223 of the *Local Government Act 1989* ('**Act**'). Further, we request that a representative of our Client be heard in support of the below submissions at the meeting of the Committee scheduled on 7 March 2019 at 3.00pm in the Melbourne Town Hall.

Our client relies heavily on the continued use and access that the Laneway provides as a direct point of access to its Premises and is concerned that any sale of the Laneway will significantly impact their business.

Background

Our client leased the Premises in November 2018 for a period of 10 years with a right of renewal for a further 10 years. The Premises has been operating as the well-known Dracula's Restaurant for almost 40 years prior to that business closing and the subsequent sale to Excellion Investments Pty Ltd and lease to our Client. The Premises faces Cardigan Street with Victoria Street to the south and the Laneway as a directly accessed road to the north.

Our client recently made a planning permit application with the Council in relation to their use of the Premise as a restaurant with some construction and signage to also be completed. A copy of our client's application planning report is provided at **Annexure B**. Our Client's intention, as expressed in their application, is to reinvigorate the Premises by constructing and fitting-out a

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modern Chinese restaurant with a capacity for 190 persons. This use is not dissimilar to the use for the Premises for the last 40 years. The estimated costs of the works to be completed by our client is \$600,000 and shows their keen interest in revitalising this property.

Following our Client's application for a planning permit, RMIT University made submissions to Council that touch on the current and future use of the Laneway and in particular, management of loading vehicles traversing the Laneway, storage of waste bins and rear access to our client's Premises. A copy of the submission made by RMIT is provided at **Annexure C**.

The ongoing use of the Laneway for waste management, delivery, safety and access to our client's premises are clearly issues that the Council must be mindful of in making any decision to discontinue the Laneway.

Waste Management & Deliveries

A detailed Waste Management Plan ('WMP') has been prepared and lodged with the Council in support of our client's planning application. A copy of the WMP is provided at **Annexure D** and sets out the proposed WMP for the premises including utilising the Laneway to gain access to removing rubbish from the Premises. We note that in particular, the WMP indicates under clause 4.7 that "*alterations are internal only*" and "*it is not feasible to provide space within the site for a truck to park, and hence there is no other practical option for waste collection except to continue the existing arrangement.*"

The submissions made by RMIT at Annexure C suggest that a loading zone be detailed in the Laneway or as an alternative, along Cardigan Street itself removing or limiting the parking along that street. We note that 15min loading zone signs are already in place along the Laneway and these continue to be adhered to by the rubbish removal trucks utilising the area.

Taking parking away from the area would further impact on the already limited parking opportunities in the immediate vicinity. RMIT's submission that 4 metres be allowed for the parking of a truck would not leave sufficient room around the truck for the movement of bins from the Premises to the truck and it is clear that for some short period at collection times, the Laneway would have to block access to RMIT's car park unless RMIT was to further allow the movement of vehicles across its open air car park to the north of the Laneway.

The Laneway is also used for deliveries to the Premises and the access point adjacent the Laneway allows deliveries to be made directly to the storage facilities onsite. Should access be hampered by the discontinuance of the Laneway, the only remedy would be for our client to accept deliveries that would then need to pass through the restaurant. This would not be an issue for out of hours deliveries but clearly an issue if deliveries had to occur during service periods.

Our client therefore objects to the proposed discontinuance and sale of the Laneway on the basis that this impedes our client's right to access and utilise the Land for its commercial needs in relation to the Premises. This includes deliveries and removal of rubbish from the Premises. The sale would also prevent rear access to the Premises and would not provide a reasonably convenient area of storage for waste disposal.

Emergency Exit (Building Code of Australia)

As our client's Premises will contain a restaurant at the ground floor and first floor, the Laneway access to the site via Cardigan Street is essential for the safety of restaurant patrons and staff. It is further noted, that the current use of the Premises, which has been maintained for almost 40 years, also relied on this exit for the same reasons. The exit to the Laneway provides an essential exit in the case of an emergency and is a requirement of the *Building Code of Australia*, as outlined below:

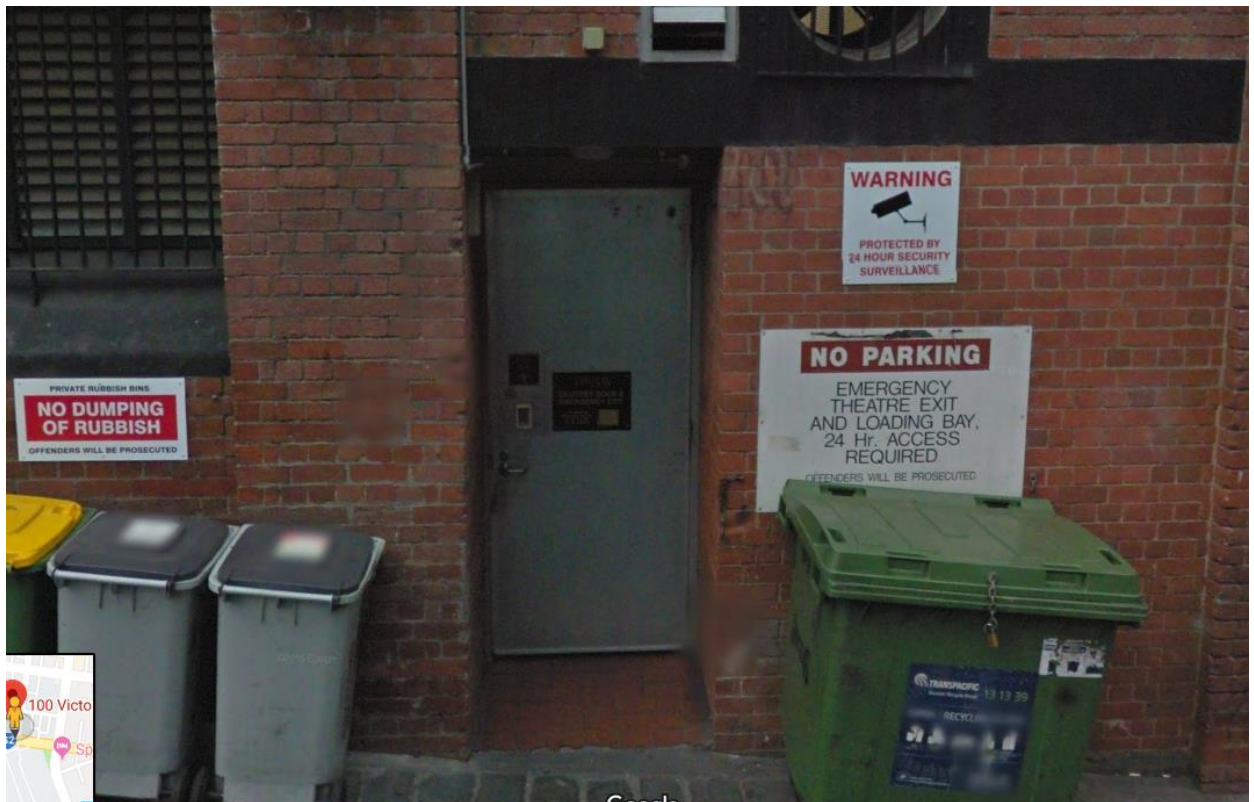
D1.2 Number of exits required

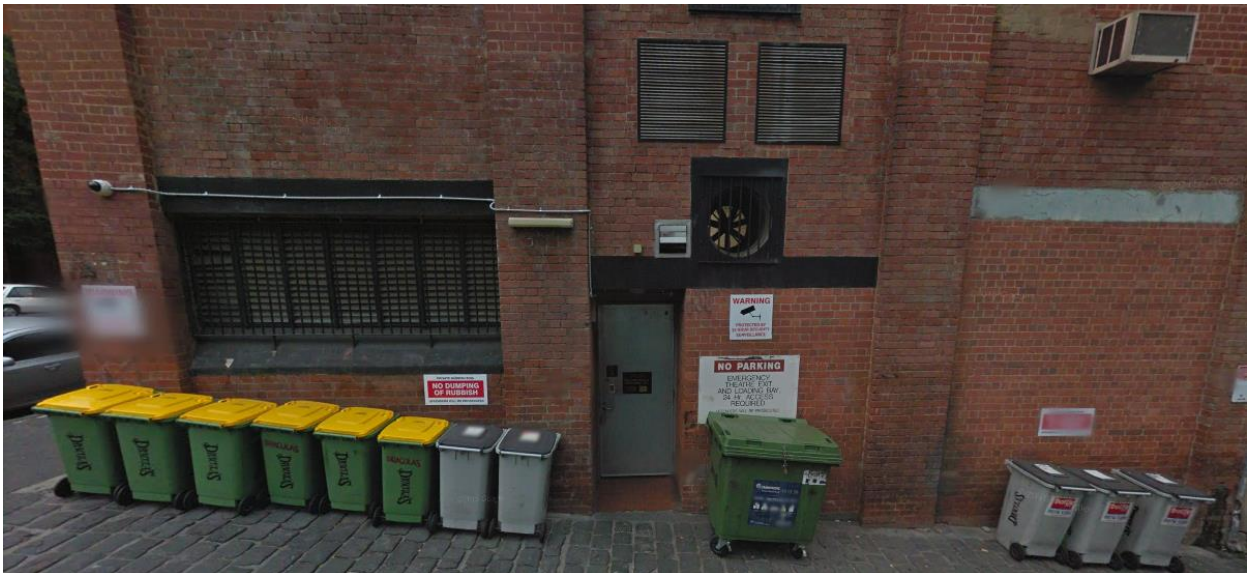
- (a) All Buildings – Every building must have at least one exit from each storey.*
- (b) Class 2 to 8 buildings – In addition to any horizontal exit, not less than 2 exits must be provided from the following:*

a. Each storey if the building has an effective height of more than 25m.

b. A Class 2 or 3 building subject to C1.5.

The exit to the Laneway is immediately adjacent to the proposed kitchen construction and offers an immediate escape from the Premises in the event of an emergency. If the Laneway was to be discontinued, safety requirements would be compromised, and the Premises may no longer meet the objectives of the *Building Code of Australia*, relating to *Fire Resistance and Access and Egress*. A copy of the architectural drawings for the proposed redevelopment of the Premises is provided at **Annexure E** which importantly shows the current layout of the Premises and the current safety needs for this rear access to the Laneway. The below pictures also show the current emergency access notifications on the walls and doorway that lead out onto the Laneway.





Road Discontinuance and Sale Policy

The Council outlines the policy of road discontinuation in its Road Discontinuation and Sale Policy ('Policy'). The Policy clearly puts in place a proper regime for the discontinuance and sale of roadways and laneways. The Policy at clause 2.6(1) details that the Council should not discontinue a road or laneway without assessing:

- Interests of the general public;
- Requirements of emergency service providers;
- Council infrastructure and services;
- Effects on abutting properties

The within submissions have clearly shown concerns that are at odds with the Council Policy particularly in respect of the requirements of emergency service providers and infrastructure and services. The Policy goes onto the state that:

"The discontinuance of a road removes all private and public encumbrances from the subject land, save for certain public authority rights."

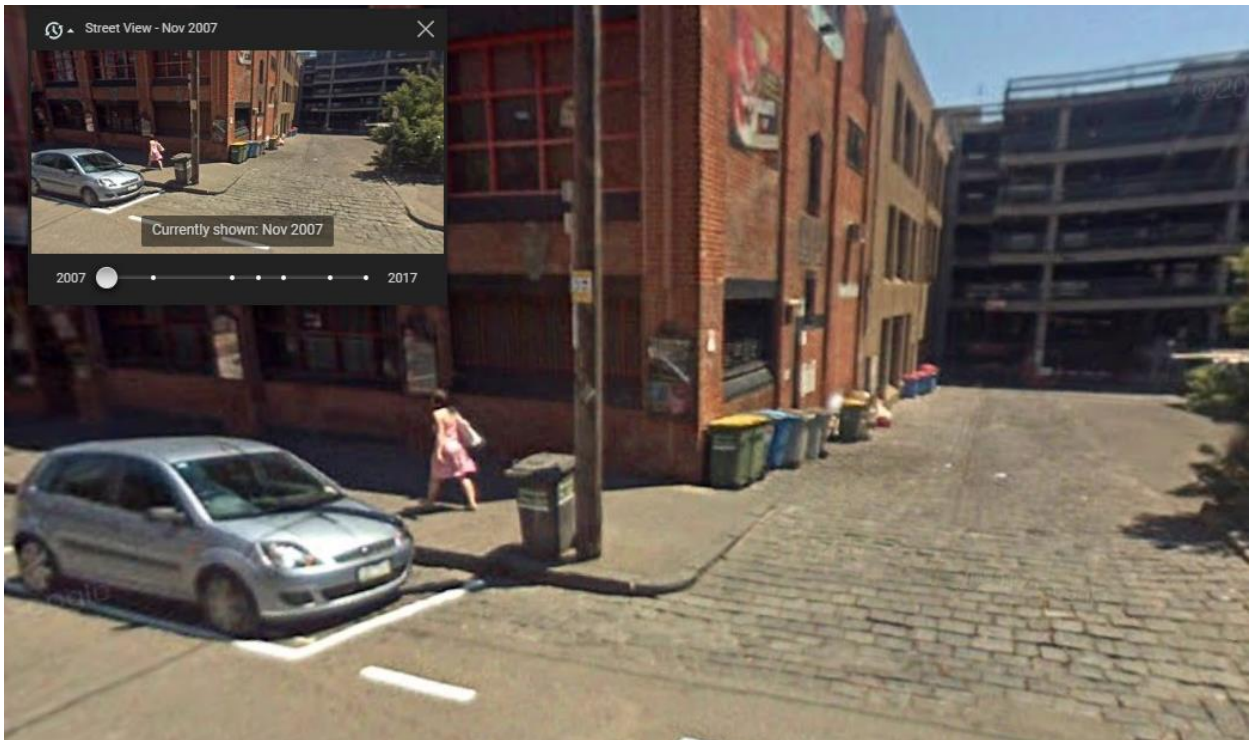
It is clear that our client's concern is therefore the impact that the sale will have on access, servicing, building regulation compliance and continued use of the Premises as detailed herein.

Offer to Purchase

Sale of the Laneway is to be conducted pursuant to the Policy and in particular with clause 2.6(3) which states:

"Where Council proposes to sell land pursuant to this Policy, it will first offer the land to those owners of properties that can demonstrate continuous and exclusive occupation of that parcel of land for at least the last 12 years."

Owners of the Premises have continuously utilised and occupied part of the Laneway for at least 12 years. In particular, the Premises have stored bins for collection on the same portion of the Laneway in exclusion to all other adjacent occupiers. The following photos of the Laneway from October 2007 show that part of the Laneway was used as an exclusive storage area for the Premises at that time and which has been maintained throughout to the present day.



The use of this area for storage, we are instructed, has continued from much further back than 2007 since the Premises was built in its current form. The Laneway was no doubt created for the very purpose of allowing storage and access since the creation of the actual title allotment in 1938 as show in the historical title. A copy of the historical title is provided at **Annexure F**. The Laneway has continued to be used for the purpose of which it was created until this day and, it is proposed, into the future.

RMIT only require the Laneway for access to their open and multi-level car parks, an access that can continue to be provided across the Laneway.

Conclusion

The above submissions provide a compelling argument to deny the sale of the Laneway to RMIT and to maintain the rights of our client who continues to use the Laneway for the purpose with which it was created including parts of the Laneway exclusively. The safety, commercial and waste management issues are clearly issues that the Council should consider in detail given the potential impact the sale of the Laneway may have on our client's business.

The sale of the Laneway to RMIT, who have not maintained any exclusive possession of the Laneway, should be denied for reasons set out here.

If you have any questions or require further information, please do not hesitate to contact Drew Woods on +61 3 9605 0041 or dwoods@millsoakley.com.au.

Yours sincerely

**DREW WOODS
SENIOR ASSOCIATE**

Enc.

Annexure A



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Public Notice

Proposed discontinuance and sale of various lanes and land in Carlton.

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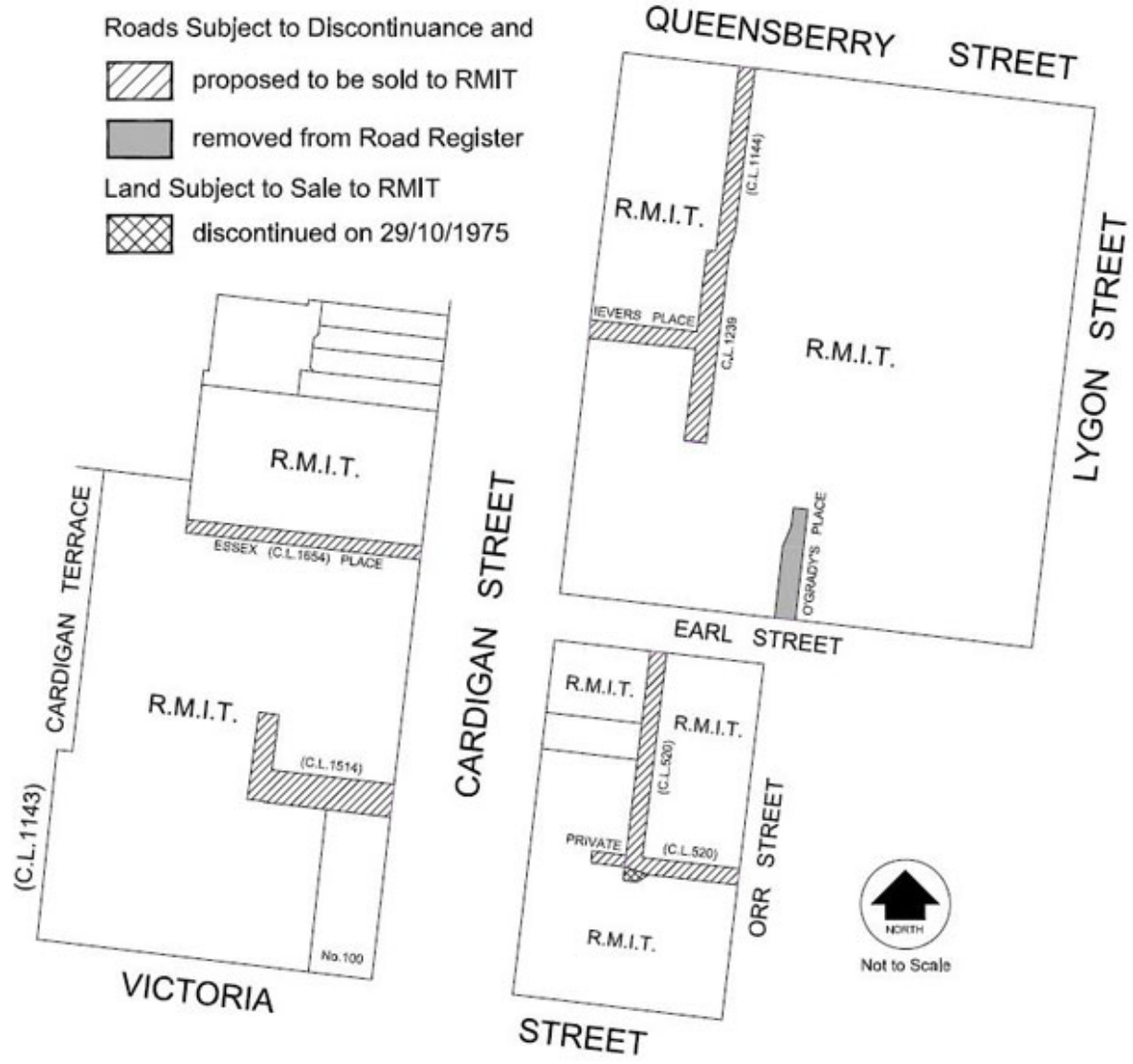
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- Yes
- No

If you have a general enquiry or require a response, please contact us.

Annexure B



Planning Report

96-100 Victoria Street, Carlton

On behalf of Hero's Hot Pot Pty Ltd
P0181/18 | 21ST November 2018

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Document Control

Date Prepared	Version	Author	Reviewed
21 st November 2018	1	CG	DK

Executive Summary

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Carlton
VIC 3053

Applicant

Hero's Hotpot Pty Ltd
C/- Smart Planning and Design
'The Commons'
Level 4, 80-86 Market Street
Southbank VIC 3006

Operator

Panda HotPot serves authentic Sichuan hot pot by sourcing raw materials from its origin and recruiting chefs with extensive passion and experience in the hot pot industry. An exclusive Sichuan cultural dining experience is further encapsulated through the deftly hand-crafted decorations and Live Sichuan-Opera Shows.

Panda HotPot appeals to a wide demographic and offers services for family functions, corporate functions, as well as group events. Panda HotPot is a customer focused team, with 100% customer satisfaction being an integral part of the business. It is Panda HotPot's passion to bring real Sichuan cultural experience to the multicultural Melbourne identity.

The restaurant owners have served in the hospitality industry in Melbourne and Sichuan for over 10 years, and have accumulated extensive experience and a wholistic understanding of this industry. We believe that our fervent passion to deliver the best authentic Sichuan hot pot, in combination with our friendly team and dining experience will attract returning customers to Panda HotPot at 100 Victoria Street, Carlton.

Proposal

The proposal seeks to develop the land at 96-100 Victoria Street, Carlton (the 'subject site') for a Restaurant. The proposal makes use of the site's existing building which is previously occupied by 'Dracula's Cabaret Restaurant' – a popular dining and entertainment venue.

The result is to be a Restaurant, serving the surrounding neighbourhood and enhancing the quality of life of the community. The proposal is well integrated into the local context and designed to take advantage of the site's unique and diverse locality. The proposal is considered appropriate in both its concept and design, and is considered consistent with the broader State and Local Planning Policy Frameworks of the Melbourne Planning Scheme.

Supporting Documents

- Appendix A. Certificate of Title, searched 2nd November 2018
- Appendix B. Copy of Covenants, searched 14th November 2018
- Appendix C. Planning Drawings, Hanso Architects, 20th November 2018
- Appendix D. Traffic Report, SALT, 20th November 2018
- Appendix E. Planning Report, Smart Planning and Design, 21st November 2018

Planning Summary

Address	96-100 Victoria Street, Carlton
Preamble	Use and Development of Land for A Restaurant, a waiver of car parks provision and signage on site
Title	Title Volume 06303 Folio 348
Land Description	Lot 1 on Title Plan 386768P
Total Area	474.16 square metres
Zoning	Clause 32.04 Mixed Use Zone - Schedule to Mixed Use Zone (MUZ)
Overlays	Design and Development Overlay – Schedule 44 South Carlton; Design and Development Overlay – Schedule 70 Melbourne Metro Rail Project – Infrastructure Protection; Parking Overlay – Schedule 12 Residential Development in Specific Inner City Areas.
Permit Triggers	Pursuant to Clause 32.04-2, if the leasable floor area is larger than 150sqm, using the land as a Restaurant is a Section 2 use and a planning permit is required.
	Pursuant to Clause 52.05 – 13, a permit is required to have Section 2 Business Identification Sign on the site.
	Pursuant to Clause 52.06 - 3, a permit is required to reduce (including reduce to zero) the number of car parking spaces required under Clause 52.06-5 or in a schedule to the Parking Overlay.
Applicable State Policy	Clause 11.02-1 Supply of Urban Land
	Clause 17.01 Urban Environment
Applicable Local Policy	Clause 21.08 Economic Development
	Clause 21.16-3 Carlton
	Clause 22.07 Advertising Signs
Particular Provisions	Clause 52.05 Advertising Signs
	Clause 52.06 Car Parking

1.0 Location

1.1 Regional

The subject site is located at 96-100 Victoria Street in the suburb of Carlton, abutting Melbourne Central Business District (Figure 1).



Figure 1 Distance to Melbourne Business District
(Google Map, 12th November 2018)

1.2 Local

The site is located at the corner of Victoria Street and Cardigan Street, fronting Carlton Street to the south and Cardigan Street to the west (Figure 2).

The subject site enjoys convenient access to commercial area, public transport, education facilities, parks and other social infrastructure. The subject site is located within the Principle Public Transport Network Area. Victoria Street is an Arterial Road, which connects King Street to the west and Nicholson Street to the east. Further, public transport is accessible via multiple transport modes including train, various tram and bus routes. Melbourne Central Station is only 300m to the south from the site. St Kilda Road trams no. 1, 3, 5, 6, 16, 64, 67, and 72 are only 100m to the west from the subject site. Further, bus routes 200, 207, 955 (night bus) and 966 (night bus) stop on Lygon Street, is only 100 to the east from the subject site. Lastly, the subject site is abutting the new Metro State Library Station, which provides access to some of Melbourne’s most popular destinations including the State Library of Victoria, RMIT and the Queen Victoria Market, and caters for growing population in Melbourne’s inner city area.

Moreover, the subject site is surrounded by RIMT University buildings (Melbourne City Campus), and

the University of Melbourne is only 700m to the northwest from the subject site. Lygon Street Shopping Centre is only 220m to the north from the subject site.

In short, the subject site enjoys a convenient location that is well serviced and surrounded by multiple land uses including office, commercial and education, and can be easily accessed by vehicles and multiple ways of public transport from Melbourne CBD and surrounding suburbs.

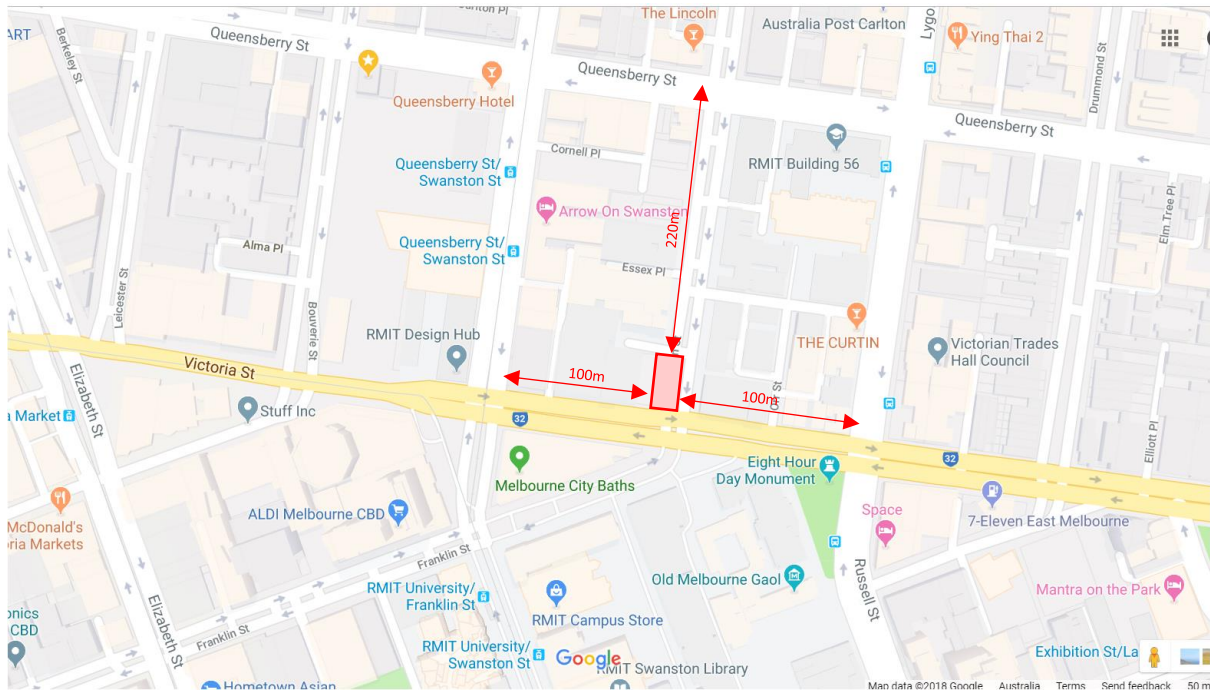


Figure 2 Subject Site Location
(Google Map, 21st February 2018)

2.0 Land Description

2.1 Title

The subject site is described in Certificate of Title Volume 06302 Folio 348 and known as Lot 1 on Title Plan 386768P. The site is of regular dimensions, as described in Table 1 below and illustrated in Figure 3, with a total area of 474.16 square metres. A full copy of Title, produced 2nd November 2018, has been included with this submission at Appendix A.

Table 1 Land Description

Subject Site	
Boundary	Length (metres)
North	13.72
East	34.56
South	13.72
West	34.56
Total Area: 474.16 square metres	

Title Diagrams are shown in Figures 3 below, with full copies of Title included with this submission.

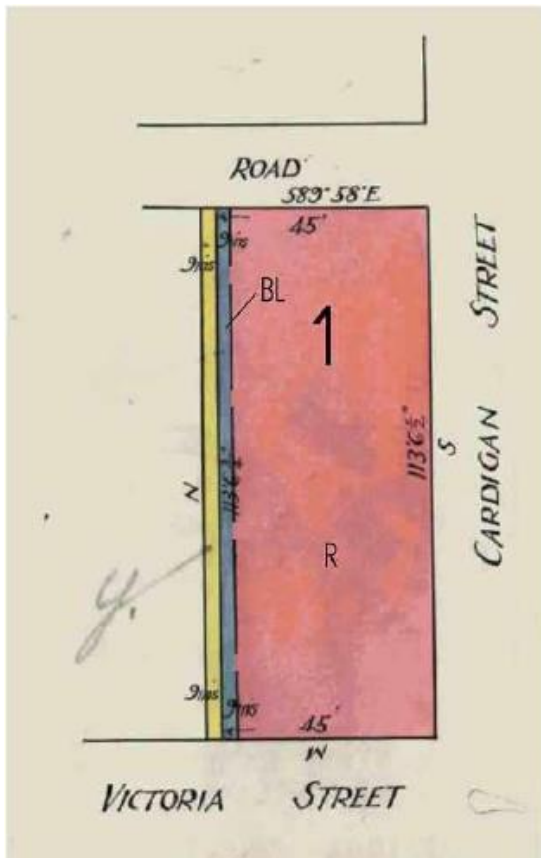


Figure 3 Title Diagram: 96-100 Victoria Street, Carlton
 (State of Victoria, 2nd November 2018)

There are two party wall easements, along the western boundary on site. The development does not propose any construction works on the existing walls and only proposes internal building works onsite. Therefore, the proposal does not breach, in any way, the easements.

2.3 Covenants

There are no covenants applied on site.

3.0 Site Conditions

3.1 Existing Development

The subject site is located on the northern side of Victoria Street and western site of Cardigan Street. It is rectangular in shape, covering a total site area of approximately 474.16 square metres. The site is a double storey building with brick façade and flat roof. The building on the site is currently vacant and was previously occupied by ‘Dracula’s Cabaret Restaurant’ – a popular dining and entertainment venue.

For more onsite and offsite carparking details please see traffic engineering letter, prepared by SALT, as part of the submission.



Figure 4 Subject Site Aerial
(Google Map, 12th November 2018)

3.2 Topography

The subject site is generally orientated in a north south direction, located at the corner of Victoria Street and Cardigan Street. The land can be described as flat.

3.3 Vegetation

There is no vegetation on site.

3.4 Access

Access to the site is achieved via both Victoria Street and Cardigan Street.

4.0 Proposal

4.1 Land Use

It is proposed to use the subject site as a Restaurant. Clause 73.03 of the Melbourne Planning Scheme defines a Restaurant as:

Land used to prepare and sell food and drink, for consumption on the premises. It may include:

- a) entertainment and dancing; and*
- b) the supply of liquor other than in association with the serving of meals, provided that tables and chairs are set out for at least 75% of patrons present on the premises at any one time.*

It does not include the sale of packaged liquor.

4.2 Operation

The Restaurant proposed will specialise in servicing the Melbourne inner city and regional area and providing multi-cultural food experience.

Operation details are stated below:

- Operation hours:

The operation hours of the Restaurant will be restricted to the following times:

Monday to Sunday:

○ 11.30am-11.30pm

- Number of Staff:

A maximum of 30 staff will be working in the Restaurant at any one time.

- Number of Patrons:

A maximum of 190 patrons will be accommodated in the Restaurant at any one time.

Other operating procedures have been outlined through this report, and can be requested where necessary through a Request for Further Information, pursuant to Section 54 of the *Planning and Environment Act, 1987*.

4.3 Development Summary

It is proposed to utilise the existing development as part of this proposal, with the current building envelope retained. As such, the existing street setbacks and accessways will not be altered.

A summary of the development is provided below, with development details fully illustrated in the

suite of architectural drawings, completed by Hanso Architects, included at Appendix B of this submission.

Table 3. Development Summary	
Site Area (including carparks)	474.16 square metres
Ground Floor Area (including kitchen)	440 square metres
First Floor Area	336 square metres
First Floor Mezzanine Area	92 square metres
Proposed Leasable Area	874 square metres

5.0 Site Context

5.1 Neighbourhood Character

The subject site is located within Carlton, which accommodates a range of uses including housing, retailing, entertainment, leisure and cultural activities. The subject site is occupied by a double storey building, as shown in Figure 4 below. Further, the subject site is surrounded by education, recreation, office and commercial land.

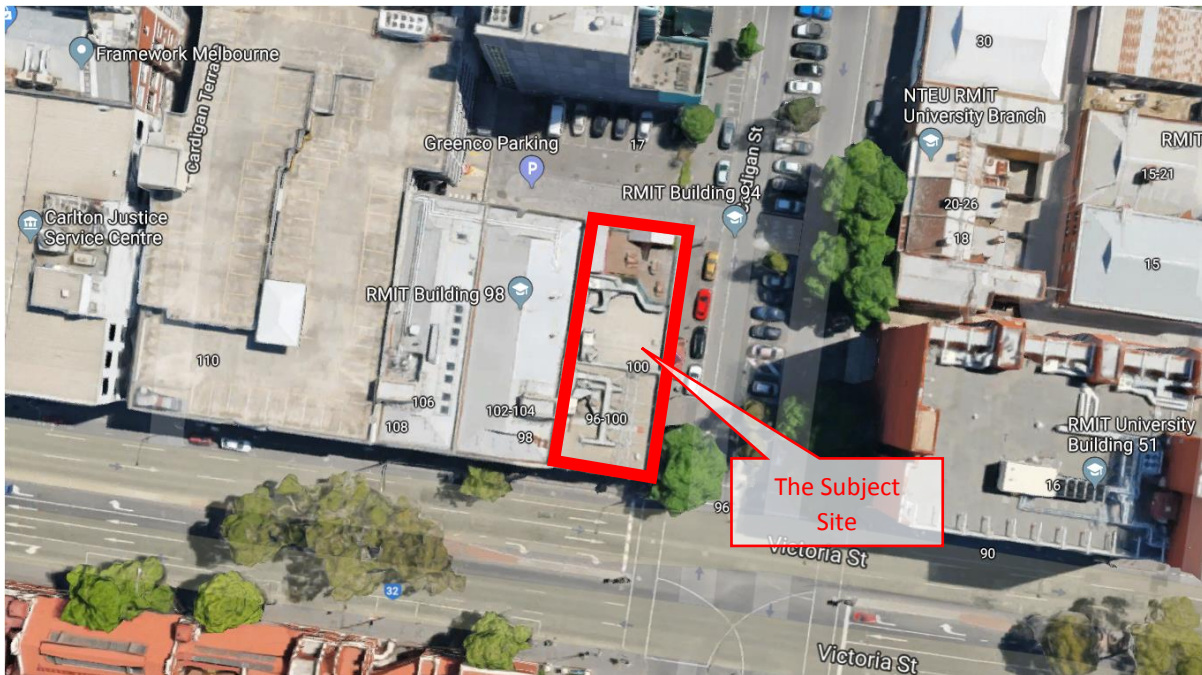


Figure 4 Surrounding Neighbourhood
 (Google Map, 12th November 2018)

5.2 Adjoining Development

Properties surrounding the subject SITE are summarized in Table 4 below.

Table 4. Adjoining Development	
West	To the west is 102 Victoria Street, which contains a three storey building with a flat roof. It is used as one of the RMIT University’s buildings – Building 98.
East	To the east the land joins Cardigan Street. On the opposite is 80-92 Victoria Street, which contains a seven storey office with a flat roof. It is used as one of the RMIT University’s buildings – Building 51.
South	To the south the land joins Victoria Street. On the opposite side of the street is 6 Franklin Street, which contains a two storey heritage building with a pitched roof. It is used as Melbourne Public Bath.
North	Directly to the north the land joins a laneway which provides access to the public carpark located at 110 Victoria Street.

	On the opposite side of the laneway is 17-27 Cardigan Street, which contains a five storey building with a pitched roof. It is used as the building of the RMIT University - School of Architecture and Carlton Library.
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The development utilises the existing vacant building as a restaurant, which provides a great dining experience to people who work, study and live in the surrounding and tourists who travel to Melbourne to experience a multi-cultural dining experience.

In summary, the proposed development not only respects the local context and building character, but also contributes to the provision of retail and entertainment services to the local community.

6.0 Planning Framework

6.1 State Planning Policy Framework

6.1.1 Clause 11.02-1 Supply of Urban Land

The objective of Clause 11.02-1S is:

- *To ensure a sufficient supply of land is available for residential, commercial, retail industrial, recreational, institutional and other community uses.*

It is submitted that the use of an existing building, for the provision of an essential eating and entertaining service being a Restaurant, provides the best and highest use of currently underutilised land in a Mixed Use Zone, surrounded by commercial, business, education and public use land. The proposed use of land for a Restaurant will ensure the ongoing supply of land to support sustainable, urban development. As such, it is contended that the proposal accords with Clause 11.02-1 of the State Planning Policy Framework.

6.1.2 Clause 17.01 Urban Environment

Objectives and Strategy of Clause 17.01 of the Planning Policy Framework, relevant to this proposal, are:

Objective:

- *To strengthen and diversify the economy.*

Strategy:

- *Facilitate growth in a range of employment sectors, including health, education, retail, tourism, knowledge industries and professional and technical services based on the emerging and existing strengths of each region.*
- *Improve access to jobs closer to where people live.*

The proposal utilises the existing building on site, ensuring the development responds to its context. As such, it is submitted that the proposal accords with Clause 17.01 of the State Planning Policy Framework.

6.2 Local Planning Policy Framework

6.2.1 Clause 21.08 Economic Development

Clause 21.08 states that ‘retailing is an important component of Melbourne’s Capital City function.’

6.2.2 Clause 21.16-3 Carlton

The subject site is located within the suburb of Carlton. Clause 21.16-3 Carlton states that

Carlton is a dynamic and diverse local area. It accommodates a range of uses including housing, retailing, entertainment, leisure and cultural activities.

Carlton will continue to accommodate a mix of retail, commercial, educational, institutional and residential uses of different scales.

Response

Retailing (eating and entertainment) uses are encouraged in Carlton in the future and the proposed development is suitable on site.

Further, Clause 21.16-3 also states that

Built Environment and Heritage

Ensure the scale of development in Victoria Street, west of Carlton Gardens reinforces the distinct contrast between medium rise development in North Melbourne and Carlton, and higher rise development in the Hoddle Grid.

Response

The development on 96-100 Victoria Street does not propose any building and construction works externally on site. Therefore, the scale of the existing building will not be changed, and the development is consistent with the above policy.

6.2.4 Clause 22.07 Advertising Signs

Clause 22.07 States the following objectives in regard to advertising signs on site:

	Objective	Response
1.	To allow for the reasonable identification and marketing of institutions, businesses and buildings and communication of messages.	Complies 5 existing signs are to be removed 4 of which will be replaced by new signs of the same or smaller size. These are business identification signs to allow for the promotion of food services provided. Please see town planning plan set.
2.	To protect the characteristics of significant buildings and streetscapes.	Complies As shown on the plans, proposed signs only replace existing signs and will not impact the existing streetscape.
3.	To protect important vistas from obtrusive and insensitive advertising.	Complies As stated above, proposed signs only replace existing signs. Therefore, key vistas in the local area are protected.

	Objective	Response
4. i	To ensure that signs in residential areas and other high amenity areas do not detract from the appearance or character of the area.	Complies As stated above, only small business signs are proposed on site and they will not detract the existing character of the area.
5.	To encourage where appropriate, signs that contribute to the lively and attractive character of an area.	Complies The existing built form and building presentation are improved by the proposed signs.
6.	To encourage signs that improve the quality of the area.	Complies As stated above, the quality of the area is improved by the proposed signs.

Further to the above, pursuant to Clause 22.07, it is policy that proposals are assessed against the following criteria:

	Policy	Response
1.	Signs should respect the building style and scale and the character of the street.	Complies As stated above, proposed signs only replace existing signs and they respect the existing character of the area.
2.	Signs should fit within architectural forms and be integrated with the design of the building.	Complies Proposed signs are replacing existing signs and will not detract the design of the building.
3.	Signs should not obscure architectural features of buildings, including windows.	Complies As stated above, proposed signs only replace existing signs and will not obscure architectural features or buildings, including windows.
4.	Wall or fascia signs should be applied directly to the building or on a flush mounted panel with minimum projection.	Complies Proposed signs are applied directly to the wall. For details of installation method please see plans prepared by Hanson Architects, as part of the submission.
5.	Signs should not cause visual clutter. Existing signs on a building or site will be taken into account when assessing new proposals.	Complies The development proposes to replace existing signs with new signs. Therefore, proposed 4 signs will not cause visual clutter on site.

	Policy	Response
6.	An integrated approach should be taken to the provision of signage on buildings with more than one occupancy.	N/A
7.	Where a building is occupied by more than one business, adequate space should be made available for all occupancies to display signage.	N/A
8.	Where a building is occupied by more than one business, adequate space should be made available for all occupancies to display signage.	N/A
9.	Views of the sign from all angles should be considered and the supporting structure should be designed with this in mind.	Complies As stated above, proposed signs are all small in size and will be installed directly on the wall. Therefore, the proposed development is consistent with the policy.
10.	Promotion, panel and sky signs are discouraged.	N/A
11.	Illumination should be concealed within, or integral to the sign through use of neon or an internally lit box or by sensitively designed external spot-lighting.	Complies The proposed sign A is self-illuminated and sign C is externally illuminated by 2 spot lights. The lighting method of sign A and C are the same as the existing signs. Proposed sign B and C are not illuminated.
12.	Cabling to signs should be concealed.	Complies As shown on the installation method, cabling to signs are concealed.
13.	Signs and their support should allow adequate clearance for the servicing requirements of streets and lanes.	Complies As stated above, proposed signs only replace existing signs and will allow adequate clearance for the servicing requirements of streets and lanes.
14.	The design and location of new signs should respect the cultural heritage significance, character and appearance of the heritage place.	Complies As stated above, proposed signs only replace existing signs and they will respect the existing character of the area.
15.	Signs which are attached to or form part of a building (including painted signs) and which contribute to the cultural heritage significance of the place should be retained.	N/A
Commercial and Industrial Zones		

	Policy	Response
1.	Signs should be sympathetic to the heritage and landscape character of the area.	Complies As stated above, proposed signs only replace existing signs and they respect the existing character of the area.
2.	Signs should be designed and located to minimise their impact on their immediate surrounds.	Complies As stated above, proposed signs only replace existing signs and they will only have minimal impact on their immediate surrounds.
3.	Signs on sports stadiums/grandstands should be limited to that required for building identification purposes.	N/A
Abutting Road Zones		
1.	Signs should not be located in a landscaped area or freeway buffer zone.	Complies Victoria Street is not in a landscaped area or freeway buffer zone.
2.	Signs should be limited in number and their size and height should complement the dominant built form or quality of landscape.	Complies There are only 4 signs proposed on site and they are not dominant to the Victoria Street façade.
3.	Signs should respect the boulevard quality of St Kilda Road, Victoria Parade, Royal Parade, Flemington Road, Elizabeth Street and Footscray Road.	N/A

In short, all three signs proposed comply with the above objectives within Clause 22.07 Advertising Signs.

Based on the above, it is contended that the proposal meets the objectives of State Planning Policy and Local Planning Policy, including Clause 11.02-1 Supply of Urban Land; Clause 17.01 Urban Environment; Clause 21.08 Economic Development; Clause 21.16-3 Carlton; and Clause 22.07, Advertising Signs.

7.0 Zone Provisions

7.1 Clause 32.04 Mixed Use Zone – Schedule to Mixed Use Zone

The Subject Site is zoned Mixed Use - Schedule to Mixed Use Zone, the purpose of which is:

- *To provide for a range of residential, commercial, industrial and other uses which complement the mixed-use function of the locality.*
- *To provide for housing at higher densities.*
- *To encourage development that responds to the existing or preferred neighbourhood character of the area.*
- *To facilitate the use, development and redevelopment of land in accordance with the objectives specified in a schedule to this zone.*

The proposed land use on site is Restaurant, which is appropriate within the zone and complies with above purpose.

7.1.1 Permit Trigger

Pursuant to Clause 32.04-2, a permit is required for a use of Restaurant if the leasable floor area exceeds 150 square meters.

The leasable floor area of the proposed development is 802.5 square meters (approx.), which is more than 150 square metres. Therefore, a planning permit is required for the Restaurant use.

Further, pursuant to Clause 32.04-8, a permit is required to construct a building or construct or carry out works for a use in Section 2 of Clause 32.04-2.

7.1.2 Decision Guidelines

Clause 32.04-12 Decision Guidelines states that the Responsible Authority must consider, as appropriate:

- The State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.

Addressed in Section 6.0 of this report.

- The objectives set out in a schedule to this zone.

Clause 1.0 to Schedule to Clause 32.04 Mixed Use Zone states that there are no specified objectives.

- Any other decision guidelines specified in a schedule to this zone.

Clause 6.0 to Schedule to Clause 32.04 Mixed Use Zone states that there are no specified decision guidelines.

8.0 Overlay Provisions

8.1 Clause 43.02 Design and Development Overlay – Schedule 44 South Carlton

The subject site is affected by Design and Development Overlay (Schedule 44 – South Carlton), the objective of which is

- *To maintain a contrast in building heights between this precinct and the CBD.*
- *To acknowledge the transitional nature of the area and the opportunity for the development of a new built form character.*
- *To encourage development opportunities for growth in the education, research and development sectors.*

8.1.1 Permit Triggers

Pursuant to Clause 43.02-2, a permit is required to construct a building or construct or carry out works.

The proposed development will maintain the existing building height and no externally building and construction works are proposed on site. Therefore, the proposal complies with above objectives and the relevant height requirements.

8.2 Clause 43.02 Design and Development Overlay – Schedule 70 Melbourne Metro Rail Project – Infrastructure Protection Areas

The subject site is affected by Design and Development Overlay (Schedule 70 – Melbourne Metro Rail Project – Infrastructure Protection Areas), the objective of which is

- *To avoid direct contact with and provide safe working clearance around the Melbourne Metro Infrastructure.*
- *To ensure development does not adversely affect or put at risk the construction, integrity or operation of the Melbourne Metro Infrastructure.*
- *To avoid loading onto the Melbourne Metro Infrastructure that could lead to structural damage, reduced structural capacity, damage detrimental to the serviceability of the structures, or displacement of the Melbourne Metro Infrastructure to the detriment of passenger rail operations.*
- *To avoid excavation or other unloading of the ground that could lead to structural, serviceability, or operational damage of the Melbourne Metro Infrastructure.*
- *To prevent development and construction methods that could generate unacceptable levels of vibration in the Melbourne Metro Infrastructure.*
- *To ensure that development works do not rely upon direct structural support from the Melbourne Metro Infrastructure unless specifically envisaged in the Melbourne Metro design.*
- *To ensure that potential effects of development on the Melbourne Metro Infrastructure, and the consequences of those effects on the wider Melbourne transport network, are appropriately managed or mitigated.*

The development only proposes internal changes and no external building and construction works are proposed on site. Therefore, the development complies with above objectives and will not have any impacts on the Melbourne Metro Infrastructure.

8.3 Clause 45.09 Parking Overlay – Schedule 12 Residential Development in Specific Inner City Areas

The subject site is affected by Parking Overlay (Schedule 12 – Residential Development in Specific Inner City Areas).

PO12 states the following objective:

- *To identify appropriate car parking rates for residential development in specific inner city areas of Melbourne.*

Details of carparking requirement and response please see below, in Section 9.2.

9.0 Particular Provisions

9.1 Clause 52.05 Advertising Signs

Pursuant to Clause 32.04 – 14 Signs, the subject site is within the Category 3 High amenity areas.

Clause 52.05 – 9 states the purpose of the High amenity areas is:

- *To ensure that signs in high-amenity areas are orderly, of good design and do not detract from the appearance of the building on which a sign is displayed or the surrounding area.*

9.1.1 Permit Triggers

- Pursuant to Clause 52.05 – 9, a permit is required to have Section 2 Business Identification Sign on the site.

9.1.2 Proposal

This planning application proposes to erect four business identification signs for a Restaurant, at the subject site. It is considered that the proposed business identification signs will be responsive to the future urban context of the subject site, and are in accordance with the overarching objectives of Clause 22.07 and Clause 52.05 of the Melbourne Planning Scheme.

Apart from the erection of the proposed signs, no external buildings and works are proposed in this application.

The proposed signage has the following description:

- Sign A (facing Victoria Street) – 2.0 m in height and 3.49 m in length, placed on the existing façade. Sign A is self-illuminated
- Sign B (facing Victoria Street) – 1.0 m in height and 13.04 m in length, placed on the existing façade. Signed B is not illuminated.
- Sign C (facing Cardigan Street) – 2.67 m in height and 3.9 m in length, placed on the existing façade. Sign C is a flat sign which replaces the existing angle sign. It is to be fixed between the brick piers. It is externally-illuminated by 2 spot lights.
- Sign D (facing Cardigan Street) – 0.54 m in height and 3.23 m in length, placed on the existing verandah structure. Signed D is not illuminated.

Further to the above, both proposed illuminated sign A and C maintain the lighting method of the existing signs. For details please see attached architectural drawings (page 17), prepared by Hanso Architects, as part of the submission.

9.1.3 Decision Guidelines

Category 3 advertising controls apply to land zoned Mixed Use (Schedule to Mixed Use Zone). Four Business identification signs are proposed on the site and therefore require a planning permit under the provisions of Category 3 under clause 52.05-9.

Clause 52.05-3 sets out the decision guidelines applying to proposals to display outdoor advertising. The current proposal is considered to satisfy the relevant decision guidelines, in particular:

Decision Guidelines	Response
<p>The character of the area including:</p> <ul style="list-style-type: none"> • The sensitivity of the area in terms of the natural environment, heritage values, waterways and open space, rural landscape or residential character. • The compatibility of the proposed sign with the existing or desired future character of the area in which it is proposed to be located. • The cumulative impact of signs on the character of an area or route, including the need to avoid visual disorder or clutter of signs. • The consistency with any identifiable outdoor advertising theme in the area. 	<p>As per the submissions outlined above, the proposal will contribute positively to the future character of the area and will not constitute visual clutter. It is further submitted that all proposed signs will replace the existing street frontage signage with the existing location and dimensions to be retained. No further impacts to both Victoria Street and Cardigan Street will be caused by the proposed signs.</p>
<p>Impacts on views and vistas:</p> <ul style="list-style-type: none"> • The potential to obscure or compromise important views from the public realm. • The potential to dominate the skyline. • The potential to impact on the quality of significant public views. • The potential to impede views to existing signs. 	<p>As per submissions outlined above, the proposed signs are consistent and ordered in its appearance.</p> <p>All four signs proposed are below the roof line. Therefore, major views and vistas in the area will not be affected.</p>
<p>The relationship to the streetscape, setting or landscape:</p> <ul style="list-style-type: none"> • The proportion, scale and form of the proposed sign relative to the streetscape, setting or landscape. • The position of the sign, including the extent to which it protrudes above existing buildings or landscape and natural elements. • The ability to screen unsightly built or other elements. • The ability to reduce the number of signs by rationalising or simplifying signs. • The ability to include landscaping to reduce the visual impact of parts of the sign structure. 	<p>As per the submissions outlined above, all proposed signs are in relatively small sizes. Further, all proposed signs will be replacing the existing signs, with the same location and same dimensions. Therefore, the proposal will not have any negative impacts on the existing streetscape.</p>
<p>The relationship to the site and building:</p>	<p>The proposal has been developed in a coordinated manner, so as to ensure the proposed signage is consistent in its design,</p>

Decision Guidelines	Response
<ul style="list-style-type: none"> The scale and form of the sign relative to the scale, proportion and any other significant characteristics of the host site and host building. The extent to which the sign displays innovation relative to the host site and host building. The extent to which the sign requires the removal of vegetation or includes new landscaping. 	<p>and appropriately responds to the built form of the subject site of the Restaurant. As stated above, all proposed signs will be replacing the existing signage on the site. In this regard, the proposed signs do not present as a dominating feature.</p>
<p>The impact of structures associated with the sign:</p> <ul style="list-style-type: none"> The extent to which associated structures integrate with the sign. The potential of associated structures to impact any important or significant features of the building, site, streetscape, setting or landscape, views and vistas or area. 	<p>As mentioned above, the coordinated nature of the proposal ensures that it will appropriately integrate with the inner city character on the site.</p>
<p>The impact of any illumination:</p> <ul style="list-style-type: none"> The impact of glare and illumination on the safety of pedestrians and vehicles. The impact of illumination on the amenity of nearby residents and the amenity of the area. The potential to control illumination temporally or in terms of intensity. 	<p>As stated above, the proposed illuminated signs maintain the same lighting methods of the existing signs which do not pose safety or amenity hazards.</p>
<p>The need for identification and the opportunities for adequate identification on the site or locality.</p>	<p>As stated above, all proposed signs are to be placed on the existing signage boards on the site, to be consistent with the surrounding context.</p>
<p>The impact on road safety. A sign is a safety hazard if the sign:</p> <ul style="list-style-type: none"> Obstructs a driver’s line of sight at an intersection, curve or point of egress from an adjacent property. Obstructs a driver’s view of a traffic control device, or is likely to create a confusing or dominating background which might reduce the clarity or effectiveness of a traffic control device. Could dazzle or distract drivers due to its size, design or colouring, or it being illuminated, reflective, animated or flashing. Is at a location where particular concentration is required, such as a high pedestrian volume intersection. Is likely to be mistaken for a traffic control device, because it contains red, green or yellow lighting, or has red circles, octagons, crosses, triangles or arrows. 	<p>It is submitted that the proposal will not adversely impact the safety of road users, given the following:</p> <ul style="list-style-type: none"> All proposed signs will not be made of reflective materials. As such, the potential for it to distract passing drivers and create road safety issues will be minimal. The subject site is not within 100 metres of a rural railway crossing. It will not obstruct a driver’s view of any traffic control device or create a dominating or confusing visual setting.

Decision Guidelines	Response
<ul style="list-style-type: none"> • Requires close study from a moving or stationary vehicle in a location where the vehicle would be unprotected from passing traffic. • Invites drivers to turn where there is fast moving traffic or the sign is so close to the turning point that there is no time to signal and turn safely. • Is within 100 metres of a rural railway crossing. • Has insufficient clearance from vehicles on the carriageway. • Could mislead drivers or be mistaken as an instruction to drivers. 	

The proposal for advertising signage is considered to support and further enhance the operation of a Restaurant, promoting retail and entertainment service to the surrounding inner city area within Carlton and Melbourne Central Business District.

The design of the four signs is considered to appropriately minimize any potential to impact negatively upon the amenity and character of the area or the safety of local pedestrians and vehicles. It is therefore concluded that the proposed advertising signs are appropriate to the subject site and complies with state and local planning policies and relevant particular provisions of the Melbourne Planning Scheme.

9.2 Clause 52.06 Carparking

Pursuant to Clause 52.06 of the Melbourne Planning Scheme, the Use of Land for a Restaurant within the Parking Overlay requires a provision of 3.5 car parking spaces to each 100 sqm of leasable floor area. Therefore, in total twenty-eight (28) car parking spaces are required on site. There are no car parking spaces provided on the subject site. Therefore, a waiver of carparks provided on site is proposed.

9.2.1 Permit Triggers

Pursuant to Clause 52.06 – 3 Permit Requirement, a planning permit is required to *reduce (including reduce to zero) the number of car parking spaces required under Clause 52.06-5 or in a schedule to the Parking Overlay.*

For details please see traffic assessment report, prepared by Salt3, as part of the submission.

10.0 Conclusion

As illustrated through this report and supporting documents, the current proposal will make best use of a currently underutilized site, within the local Carlton Neighbourhood, providing the local community with excellent dining and food experience.

The proposal accords with the State and Local Planning Policy Framework as well as the Municipal Strategic Statement for City of Melbourne This is considered a fair and appropriate proposal for a

discretionary use in the Mixed Use Zone. As such, it is respectfully requested that Council support this application and issue a planning permit accordingly.

11.0 APPENDICES

APPENDIX A – TITLE

APPENDIX B – ARCHITECTURAL DRAWINGS

APPENDIX C – TRAFFIC REPORT

Annexure C

5 February 2019

Melbourne City Council
GPO Box 1603
MELBOURNE VIC 3001

Via email: planning@melbourne.vic.gov.au

Re: Planning Permit Application TP-2018-994
Land at: 96-100 Victoria Street Carlton

RMIT wish to make a submission with respect to the application for planning permit detailed above.

RMIT University own and or manage on behalf of the Crown many of the properties in the vicinity including the property to the immediate west (102-104 Victoria Street) and the properties fronting Cardigan Street to the north over what is currently a Council laneway (known at Council Lane 1514).

Melbourne City Council has given notice that it proposes to discontinue CL1514 and sell the land to RMIT. This matter will be considered by Council in March 2019.

Given that the subject land does use the laneway for loading and waste management, we recognise that these uses should be permitted to continue. However, we are concerned that the past practices at the subject site has seen the use of the laneway for the storage of bins and the parking of vehicles.

We request that in the event Council approve the application that a condition be included on any permit requiring that the waste bins will be stored within the subject site at all times time and only moved into the laneway during the active bin collection. This would be consistent with the Waste Management Plan (WMP) submitted with the application which we assume will become an endorsed document should the planning application be approved. We are concerned however with a number of aspects of the WMP as it is currently presented:

- First, the WMP suggests the use of the RMIT owned site (currently used as an open air carpark) as a potential to facilitate a turning manoeuvre for the waste trucks. This is not

an acceptable use of our land and cannot form one of the access options. We request that the WMP be amended to remove this option.

- Secondly, we are concerned that the swept path shows the waste truck located centrally to the laneway thereby effectively blocking the laneway and access to and from the car park at 110 Victoria Street. This has been an ongoing problem for RMIT. Whilst we recognise the site has a new owner, the WMP suggests this practice will continue.
- We believe that it would be appropriate that a 'loading zone' be clearly delineated on the laneway so as to ensure that waste and delivery vehicles park adjacent to the subject property and therefore allow for continued access to the properties beyond whilst loading and waste collection functions are carried out. This we believe could become a condition of any planning permit issued.

Before the use of the development starts, the area set aside for the loading/unloading of vehicles as shown on the endorsed plans must be appropriately line marked to indicate the loading zone.

- In addition to the requirement for the line marked loading zone detailed above, a specific permit condition relating to loading/unloading should also be applied:

The loading and unloading of goods from vehicles must only be carried out within the designated loading bay and must not disrupt the circulation of vehicles.

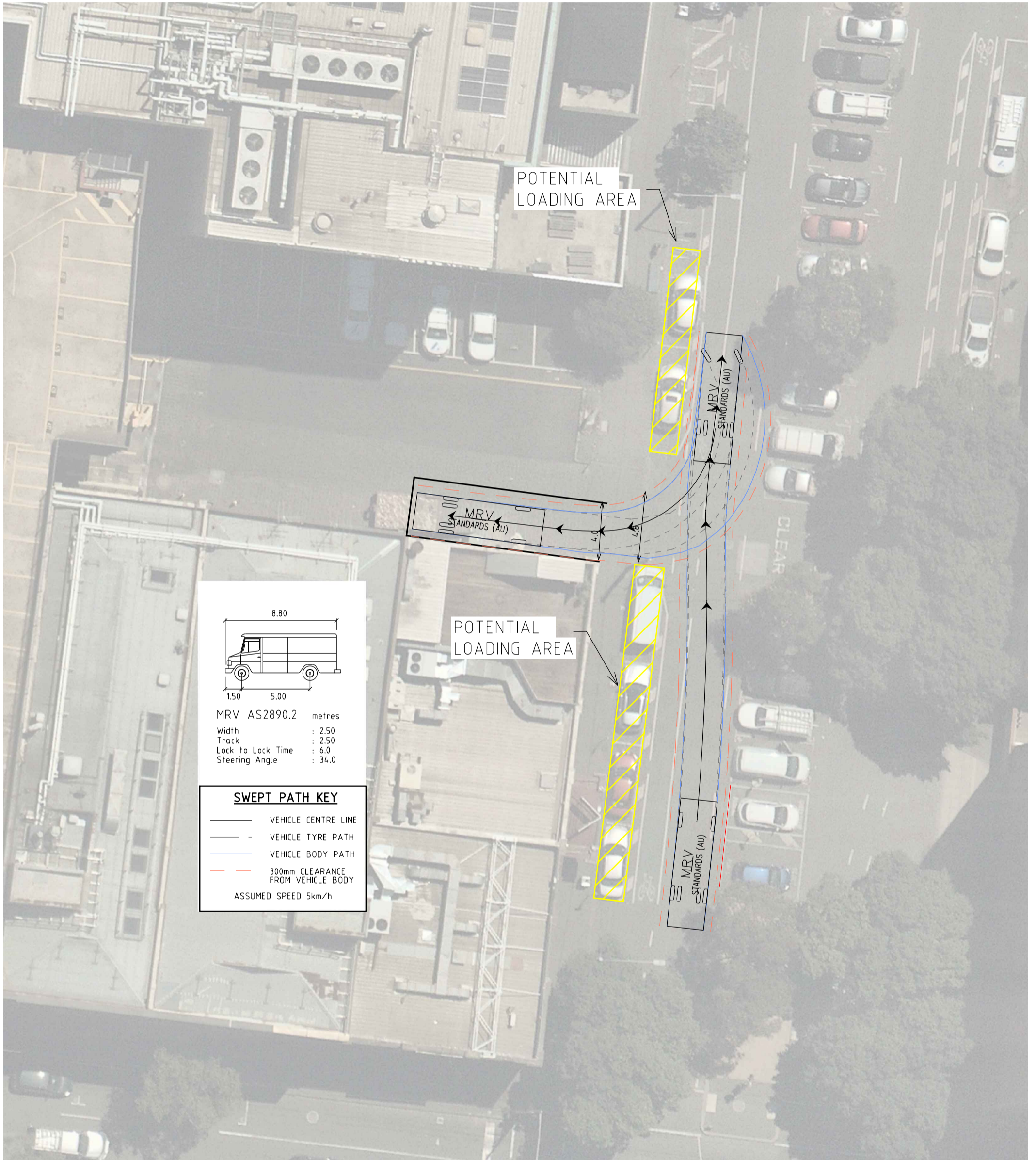
An assessment by GTA Consultants undertaken on our behalf is attached to this submission. This indicates that a 4m space is required to cater for the waste truck (also noting that GTA have allowed for an 8.8m loading truck as this represents the most common/standard loading vehicle). On this basis, we would request that the loading zone marked be limited to a 4m width.

In the alternative if City of Melbourne were not supportive of the waste truck undertaking a reversing manoeuvre into Cardigan Street, we note there is on street carparking that could be made available for loading.

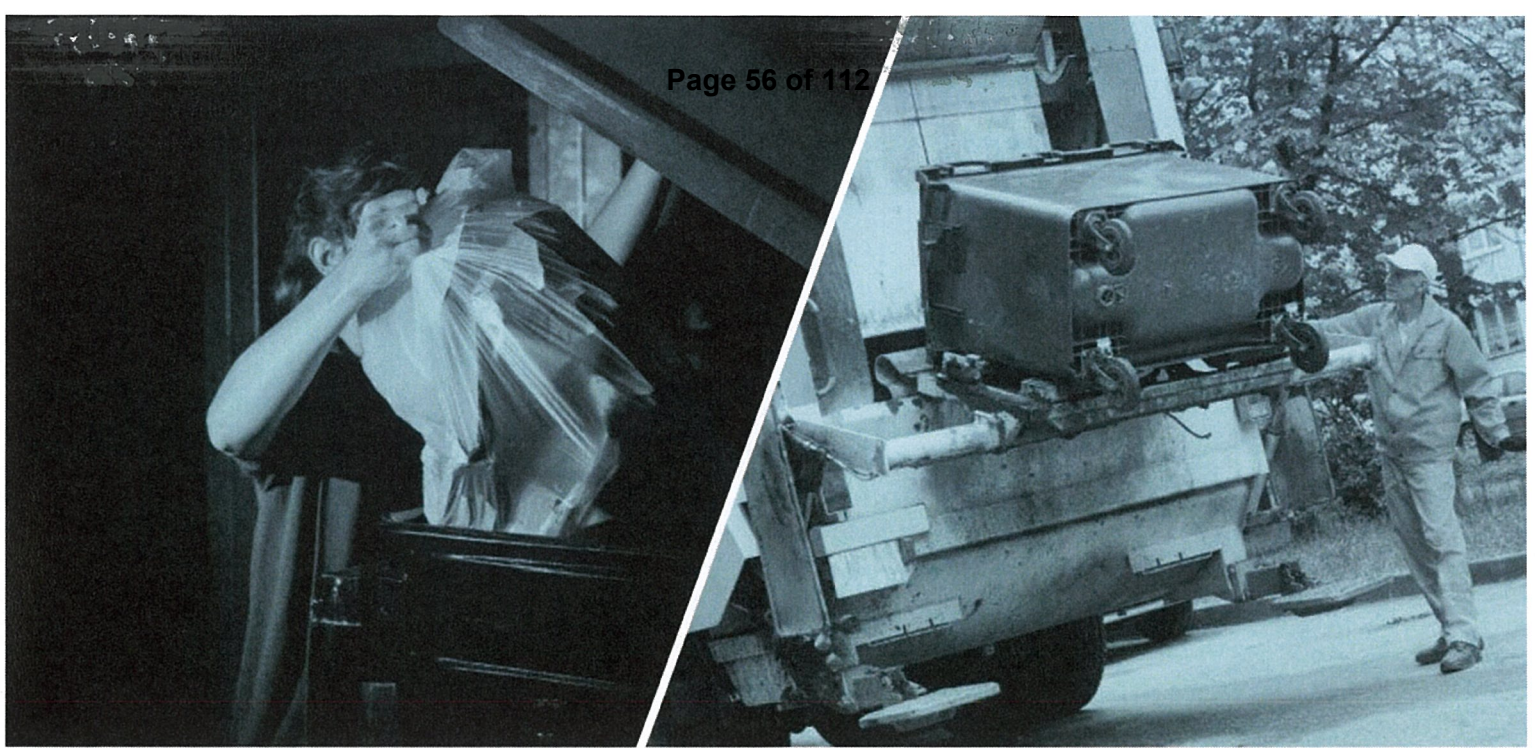
We would be happy to discuss this submission with Council as appropriate. Please do not hesitate to contact me on 03 9925 2797.

Yours sincerely

Lilian Wong
Property Manager, Real Estate Services



Annexure D



PROPOSED RESTAURANT DEVELOPMENT

100 VICTORIA STREET, CARLTON

WASTE MANAGEMENT PLAN



PROPOSED RESTAURANT DEVELOPMENT, 100 VICTORIA STREET, CARLTON

Client: Smart Planning & Design

Report Reference: 18450W

File Path: X:\PROJECTS\2018\18450W - 100 Victoria Street, Carlton\Reports\18450WREP01F01.docx

Friday, December 14, 2018

Document Control

Version:	Prepared By:	Position:	Date:	Reviewed By:	Position:	Date:
F01	Rachel Heriot	Environmental Engineer	10 December 2018	Jarrod Wicks	Associate	14 December 2018

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PROPOSED RESTAURANT DEVELOPMENT 100 VICTORIA STREET, CARLTON
EXECUTIVE SUMMARY

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TRAFFIC ENGINEERS / WASTE ENGINEERS / TRANSPORT PLANNERS / ROAD SAFETY AUDITORS

2016 EAST GIPPSLAND BUSINESS AWARDS FINALIST Professional Services Innovation Child & Family Friendly



EXECUTIVE SUMMARY

SALT has been engaged by Smart Planning & Design to prepare a Waste Management Plan (WMP) for a proposed change of use application located at 100 Victoria Street, Carlton.

SALT understands that the proposal would involve the redevelopment of the current building, formerly occupied by a theatre restaurant, to convert the use to restaurant. Seating areas are provided on two of the three floor levels, with the additional level to be used for ancillary storage.

Commercial waste would be stored on-site in the bin storage area located at ground level on the northern boundary of the subject site.

Commercial waste would be collected by private contractor, with:

- Eight 360L garbage bins collected seven times per week; and
- Three 360L commingled recycle bins collected seven times per week.

Waste vehicles would prop in the loading area provided at the rear lane to perform collections. Vehicle operators would ferry waste bins from the waste store to the collection vehicle and return upon emptying.

In the opinion of SALT the enclosed Waste Management Plan would provide efficient waste management for the proposed development.



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1 INTRODUCTION

SALT has been requested by Smart Planning and Design to prepare a Waste Management Plan for a proposed change of use application located at 100 Victoria Street, Carlton.

The proposal would see the change of use from a theatre restaurant (the former Draculas Cabaret Restaurant) to a standard restaurant. Waste is currently collected from a signed loading zone at the rear of the building within a public right of way. Waste, which is currently stored external to the building, will now be stored inside the building. The existing collection arrangements would otherwise be retained.

This Waste Management Plan (WMP) has been prepared based on the Melbourne City Council *Guidelines for Preparing a Waste Management Plan 2017* and industry best practice.

Generation rates are based on Melbourne City Council document *Waste Generation Rates (2015)*.

2 INCLUDED IN THIS REPORT

Enclosed is the Waste Management Plan for the proposed development at 100 Victoria Street, Carlton. Included are details regarding:

- Land use;
- Waste generation;
- Waste systems;
- Bin quantity, size and colour;
- Collection frequency;
- Bin storage area;
- Signage;
- Waste collection;
- Ventilation, washing and vermin-prevention;
- Noise reduction;
- DDA compliance;
- Supplier contact information; and
- Scaled waste management drawings.

3 LAND USE

Land Zone: Mixed-use Zone (MUZ)

Land use type: Restaurant

Number of levels: 2 (with 1 additional mezzanine level)

Commercial Space:

- 856m² total floor area (including kitchen, dining areas, storage areas, staircases, toilets, common areas)



4 WASTE MANAGEMENT PLAN

4.1 WASTE GENERATION

Commercial waste generation rates are shown in Table 1. Calculations are based on 7 days per week operation for the restaurant development.

Table 1 Waste Generation Rates

Use	Garbage (L/100m ² /week)	Recycling (L/100m ² /week)
Restaurant	4620	1400

A commercial waste generation assessment is provided in Table 2. Restaurant rates have been applied to the following functional floor areas of the proposed development:

- Kitchen;
- Toilets;
- Seating Areas;
- Bar;
- VIP Rooms;
- Food Preparation Areas;
- Bin Room
- Office.

All other areas (entrance, common areas, staircases, storage) are considered as auxiliary to the functional floor areas and therefore not included in the calculations. Please note the common areas are intended to be utilised for landscaping and décor display.

Table 2 Waste Generation Assessment

Use	Area	Waste Per Week	
		Garbage	Recycling
Restaurant	420.5m ²	19,427L	5,887
Total Waste Generated per Week		19,427L	5,887

4.2 WASTE SYSTEMS

Waste would be sorted on-site by staff and cleaners as appropriate into the following streams:

- Garbage (General Waste); and
- Commingled Recycling.

4.2.1 GARBAGE (GENERAL WASTE)

The restaurant would be furnished with plastic lined bins for the temporary holding of garbage waste, to have minimum cumulative capacity to hold one days' worth of waste.

Staff/cleaners would dispose of waste from these bins directly into the appropriate 360L garbage bin provided within the ground level bin room, accessed via the kitchen (refer to Appendix 1).

Garbage is to be disposed of bagged.

4.2.2 COMMINGLED RECYCLING

The restaurant would be furnished with unlined bins for the temporary holding of recyclable waste, to have minimum cumulative capacity to hold one days' worth of waste.

Staff/cleaners would dispose of waste from these bins directly into the appropriate 360L commingled recycling bin provided within the ground level bin room, accessed via the kitchen (refer to Appendix 1).

Commingled recycling would be disposed of loosely.

4.3 BIN QUANTITY, SIZE AND COLLECTION FREQUENCY

The bin quantity, size and the frequency of collection are shown below in Table 3 and Table 4.

Seven collections per week is recommended given the volume and nature of food waste generated by the restaurant. Please note one additional bin, which is not required, has been provided in the plans of Appendix 1.

Table 3 Garbage Bin Size and Collection Frequency

Waste Management					
Waste Stream	Collections per Week	Bin Size	No. Bins	Weekly Capacity	Weekly Volume
Garbage	7	360L	8	20,160L	19,427L
Commingled Recycling	7	360L	3	7,560L	5,887L

Table 4 Typical Waste Bin Dimensions

Capacity (L)	Width (mm)	Depth (mm)	Height (mm)	Area (m ²)
360	680	848	1100	0.58

4.4 BIN COLOUR AND SUPPLIER

All bins would be provided by private supplier. The below bin colours are specified by Australian Standard AS4123.7-2006, however due the private nature of the collection, these are only recommendations and are not mandatory:

- Garbage (general waste) shall have red lids with dark green or black body; and
- Recycle shall have yellow lids with dark green or black body.

Note, private contractors often supply bins for collection.

4.5 WASTE STORAGE AREA

Table 5 demonstrates the cumulative space requirements and provision of waste areas in the proposed development.

Please refer to scaled drawing shown in Appendix 1.

Table 5 Waste Area Space Requirements

Stream	Space Required (excluding circulation)	Space Provided
General Waste	4.64m ²	12.00m ²
Commingled Recycling	1.74m ²	
TOTAL	6.38m²	12.00m²

Waste management would be overseen by restaurant management.



4.6 SIGNAGE

Waste storage areas and bins would be clearly marked and signed with the industry standard signage approved by Sustainability Victoria, or equivalent, as illustrated in Figure 1.

Figure 1 Sustainability Victoria Signage



4.7 WASTE COLLECTION

Waste would be collected by private contractor, as follows:

- Eight 360L garbage bin collected seven times per week; and
- Three 360L commingled recycling bin collected seven times per week.

General waste would be collected by a private contractor as follows:

All waste bins would be stored on-site in the bin room provided on the ground level.

General waste collections would occur via a 6.35m low profile waste collection vehicle.

Waste would be collected as per existing conditions, with the truck stopping within the existing signed loading zone at the rear of the site on the public laneway (right of way).

Vehicle operators would ferry waste bins from the bin room and return upon emptying.

The truck would gain access by one of three possible ways:

1. Drive forwards into the laneway and reverse onto Cardigan Street; or
2. Reverse into the laneway and then drive forwards onto Cardigan Street; or
3. Drive forwards into the laneway, undertake a three-point turn (including across a car park abutting the laneway that is privately owned), and exit in a forward direction onto Cardigan Street.

Vehicle swept path diagrams for these options are provided in Appendix 2.

As the building alterations are internal only, it is not feasible to provide space within the site for a truck to park, and hence there is no other practical option for waste collection except to continue the existing arrangement.

Building management would ensure that waste vehicle operators are able to access the bin room.

Commercial waste bins would not be presented to street kerb at any point. Commercial waste bins would not be permanently stored at the rear lane way or street.

5 VENTILATION, WASHING AND VERMIN-PREVENTION

Ventilation would be provided in accordance with Australian Standard AS1668.

A third-party bin washing service can be engaged to perform this service. Bin washing suppliers must retain all waste water to within their washing apparatus so as to not impact on the drainage provisions of the site.

6 NOISE REDUCTION

All waste areas would meet EPA, BCA and AS2107 acoustic requirements as appropriate within operational hours assigned to minimise acoustic impact on surrounding premises.

7 SUPPLIER CONTACT INFORMATION

Table 6 provides a list of equipment specified by this waste management plan.

Below is a complimentary listing of contractors and equipment suppliers. You are not obligated to procure goods/services from these companies. This is not, nor is it intended to be, a complete list of available suppliers.

SALT does not warrant (or make representations for) the goods/services provided by these suppliers.

Table 6 High Level Purchasing Schedule

Item	Quantity	Supplier	Notes
360L Bins	11	Private Supplier*	8 x 360L bins for garbage 3 x 360L bins for commingled recycling

*Private waste collection contractors often supply their own bins for collection.

7.1 EQUIPMENT SUPPLIERS

- Sulo MGB Australia (bin supplier) – 1300 364 388

7.2 WASTE COLLECTORS

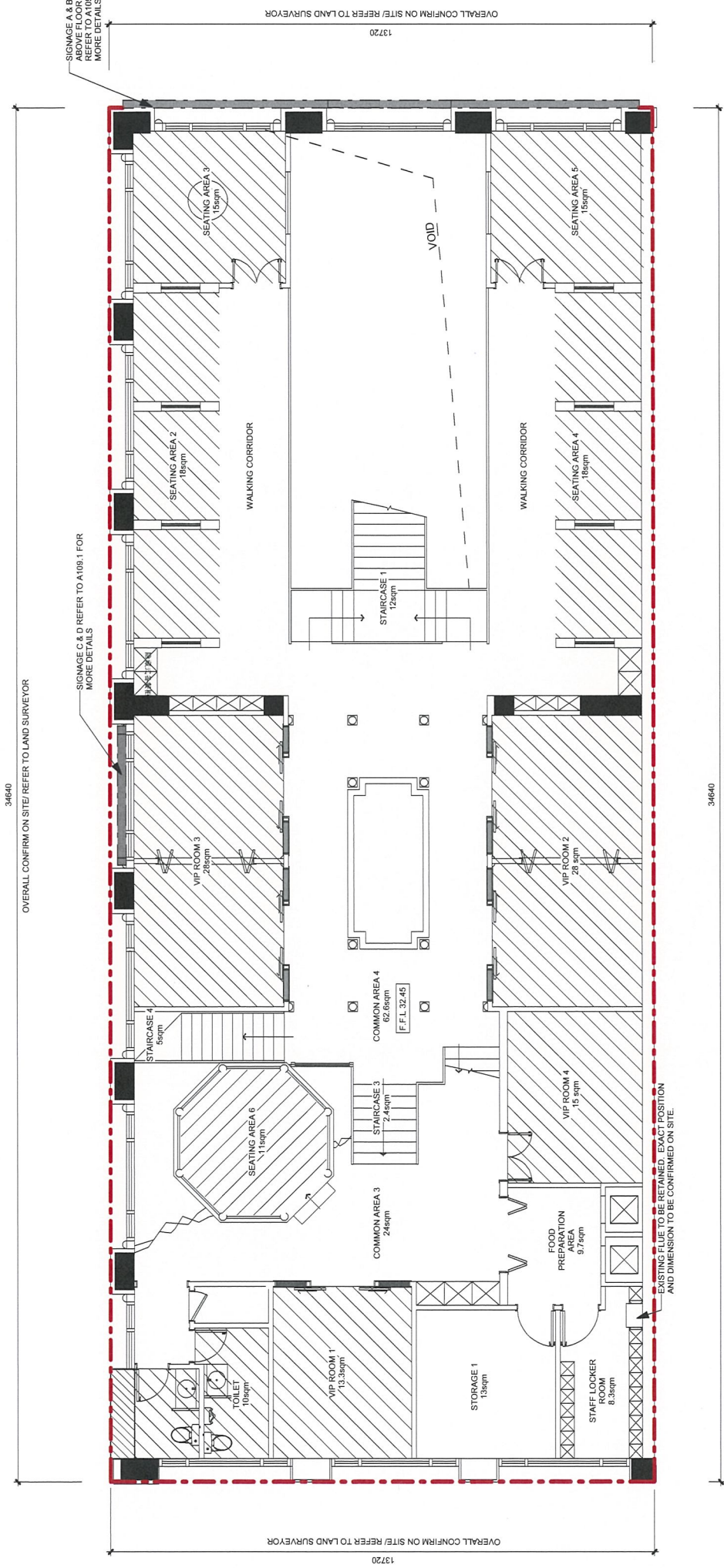
- CSC Waste – 1300 499 927
- iDump – 1300 443 867
- SUEZ Environnement – 13 13 35
- Veolia Environmental Services – 132 955

7.3 BIN WASHING SERVICES

- The Bin Butler – 1300 788 123
- Calcorp Services – 1888 225 267
- WBCM Environmental – 1300 800 621



APPENDIX 1 DESIGN DRAWINGS



Proposed First Floor Plan

1 : 100

NOTES TO CHECK AND ENSURE ALL EXISTING MECHANICAL SYSTEMS ARE IN GOOD CONDITION/BUILDER TO REPAIR AND MAKE GOOD IF NECESSARY.

THE BUILDER/CONTRACTOR SHALL ALLOW TO DO ALL DEMOLITION WORKS SHOWN ON THE EXISTING CONDITION PLAN AND IN ACCORDANCE TO THE LOCAL COUNCIL REGULATIONS AND IN ACCORDANCE TO THE LOCAL COUNCIL REGULATIONS AND IN ACCORDANCE TO THE LOCAL COUNCIL REGULATIONS AND IN ACCORDANCE TO THE LOCAL COUNCIL REGULATIONS.

ALL ACTIVITIES OF BUILDING OCCUPANTS SHALL BE KEPT AWAY FROM BEINGS AND LIST AT ALL TIMES.

NO EXTERNAL WORKS TO BE PERFORMED.

NET AREAS IN ACCORDANCE WITH IBC 17 AND AS/2740

NOTE:

ALL DIMENSIONS ARE APPROX. ONLY BUILDER/MECHANICAL CHECK AND CONFIRM DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK.

ALL DIMENSIONS ARE MEASURED FROM THE FINISHED SURFACES.

EXISTING WALLS AND CEILING ARE TO BE RETAINED AND REPAIRS TO BE CONFIRMED ON SITE.

EXISTING WALLS AND CEILING ARE TO BE RETAINED AND REPAIRS TO BE CONFIRMED ON SITE.

EXISTING WALLS AND CEILING ARE TO BE RETAINED AND REPAIRS TO BE CONFIRMED ON SITE.

GENERAL LEGEND

EX. E.D.B.	EXISTING E.D.B.
E.D.B.	PROPOSED E.D.B.
F.H.R.	EXISTING FIRE HOSE REEL
F.F.L.	FINISH FLOOR LEVEL
RL	RELATIVE LEVEL
- - -	TITLE BOUNDARIES

PROPOSED FLOOR AREA TO BE REFERRED BY WASTE MANAGEMENT

GROUND FLOOR SEATING AREA: 428 sqm (INCLUDE KITCHEN)

KITCHEN AREA: 89 sqm

GROUND FLOOR SEATING AREA: 37sqm

FIRST FLOOR SEATING AREA: 161sqm

FIRST FLOOR TOILET AREA: 10sqm

PRIVATE ROOM: 12

OPEN PLAN PRIVATE ROOM: 6

TOTAL AREA: 655 sqm

NO EXTERNAL WORKS WILL BE PROPOSED EXCEPT FOR THE ENTRANCEWAY FACING VICTORIA STREET AND EXISTING DOOR FACING CAROIGN STREET.



HANSO ARCHITECTS

W. www.hansoarchitects.com.au | G. 08 9393 8000

ALL DRAWINGS SUBJECT TO COPYRIGHT

No.	Date	Description	By	For
1	13/12/2018	Revised according to Waste Management	Uir	
2	22/12/2018	Revised according to Waste Management	Uir	
3	22/12/2018	Revised according to Waste Management	Uir	
4	22/12/2018	Revised according to Waste Management	Uir	

CLIENT NAME: Proposed First Floor Plan
 SHEET NO: A106
 SCALE: 1:100

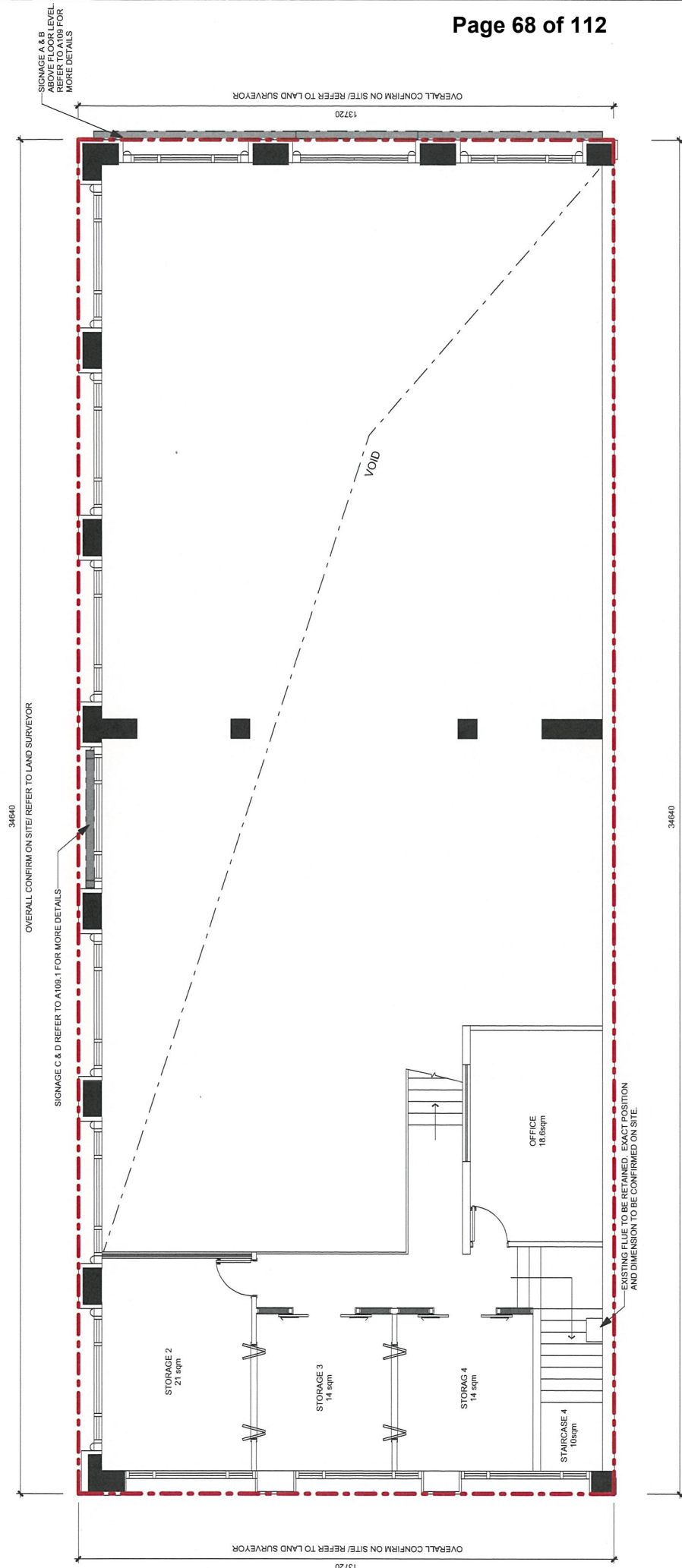
DRAWN BY: LHV
 CHECK BY: CLC
 CHECKER: CLC

PROJECT ADDRESS: 300 Victoria St, Carlton

TOWN PLANNING

OVERALL CONFIRM ON SITE/ REFER TO LAND SURVEYOR

13720



1 Proposed First Floor Plan - Mezzanine

1 : 100

NOTE: TO CHECK AND ENSURE ALL EXISTING MECHANICAL SYSTEMS ARE IN GOOD CONDITION BUILDER TO REPAIR, AND MAKE GOOD IF NECESSARY. BUILDER ON CONSTRUCTION SHALL ALLOW TO DO ALL DEMOLITION WORKS SHOWN ON THE EXISTING CONDITIONS AND IN ACCORDANCE TO THE LOCAL COUNCIL REQUIREMENTS. ALL EXISTING STRUCTURAL WORKS SHALL BE PROTECTED AND MAINTAINED THROUGHOUT CONSTRUCTION. ALL EXISTING SERVICES TO REMAIN SHALL BE PROTECTED AND MAINTAINED THROUGHOUT CONSTRUCTION. ALL EXISTING SERVICES TO BE REMOVED SHALL BE REMOVED AND ALL JOINTS TO BE REPAIRED. ALL EXISTING SERVICES SHALL OCCUR WITHIN THE DESIGNATED AREAS. ALL EXISTING SERVICES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT CONSTRUCTION. ALL EXISTING SERVICES SHALL BE REMOVED AND ALL JOINTS TO BE REPAIRED. ALL EXISTING SERVICES TO BE REMOVED SHALL BE REMOVED AND ALL JOINTS TO BE REPAIRED.

NOTE: ALL DIMENSIONS ARE APPROX. ONLY BUILDER MUST CHECK AND CONFIRM DIMENSION ON SITE PRIOR TO COMMENCEMENT OF WORK. ALL DIMENSIONS ARE MEASURED FROM THE FINISHED SURFACES. ALL DIMENSIONS OF ALL SERVICES & STRUCTURE ETC. TO BE CONFIRMED ON SITE. ALL SERVICES TO BE FULLY INTEGRATED INTO/OUT A COORDINATED MANNER.

GROUND FLOOR AREA: 428 sqm (INCLUDE KITCHEN)
 KITCHEN AREA: 30sqm
 KITCHEN TOILET AREA: 37sqm
 FIRST FLOOR AREA: 336sqm
 FIRST FLOOR TOILET AREA: 46sqm
 FIRST FLOOR MEZZANINE AREA: 52sqm
 PRIVATE ROOM: 12sqm
 OPEN PLAN PRIVATE ROOM: 6sqm
 TOTAL AREA: 856sqm

NO EXTERNAL WORKS WILL BE PROPOSED EXCEPT FOR THE ENTRANCEWAY FACING VICTORIA STREET AND EXISTING DOOR FACING CARDIGAN STREET.

- GENERAL LEGEND**
- EX. E.D.B. EXISTING E.D.B.
 - E.D.B. PROPOSED E.D.B.
 - P.H.R. EXISTING FIRE HOSE REEL
 - F.F.L. FINISH FLOOR LEVEL
 - R.L. RELATIVE LEVEL
 - TITLE BOUNDARIES

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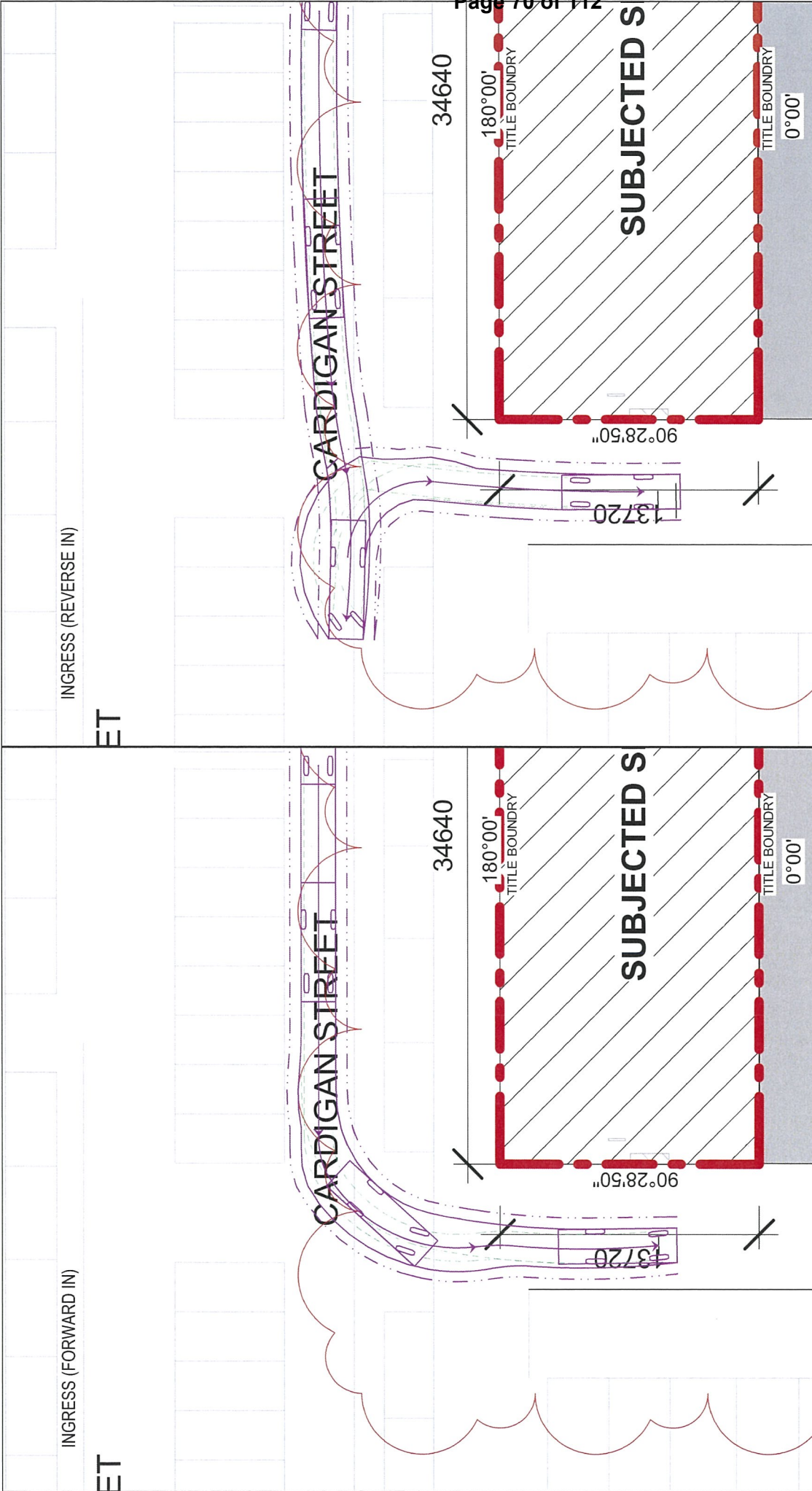
No.	Date	Description	By	Chk
1	20/12/2018	Revised according to Town Planner	CH1	CH1
2	20/12/2018	Revised according to Town Planner	CH1	CH1
3	01/12/2018	2nd Revision according to Town Planner	CH1	CH1

TOWN PLANNING
 SHEET NAME: Proposed First Floor Plan-Mezzanine
 SCALE: 1 : 100

CLIENT NAME:	Owner	DRAWN BY:	LHY
PROJECT ADDRESS:	100 Victoria St, Carlton	CHECK BY:	Checker
SHEET NO.:	A106.1	PROJECT NO.:	1035

APPENDIX 2 SWEPT PATH ANALYSIS





INGRESS (REVERSE IN)

ET

INGRESS (FORWARD IN)

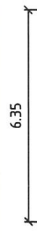
ET

VEHICLE LEGEND

- 6.35m GARBAGE TRUCK 600mm CLEARANCE
- 6.35m GARBAGE TRUCK OVERHANG
- 6.35m GARBAGE TRUCK FRONT WHEEL LINE
- 6.35m GARBAGE TRUCK REAR WHEEL LINE
- 6.35m GARBAGE TRUCK CENTRELINE

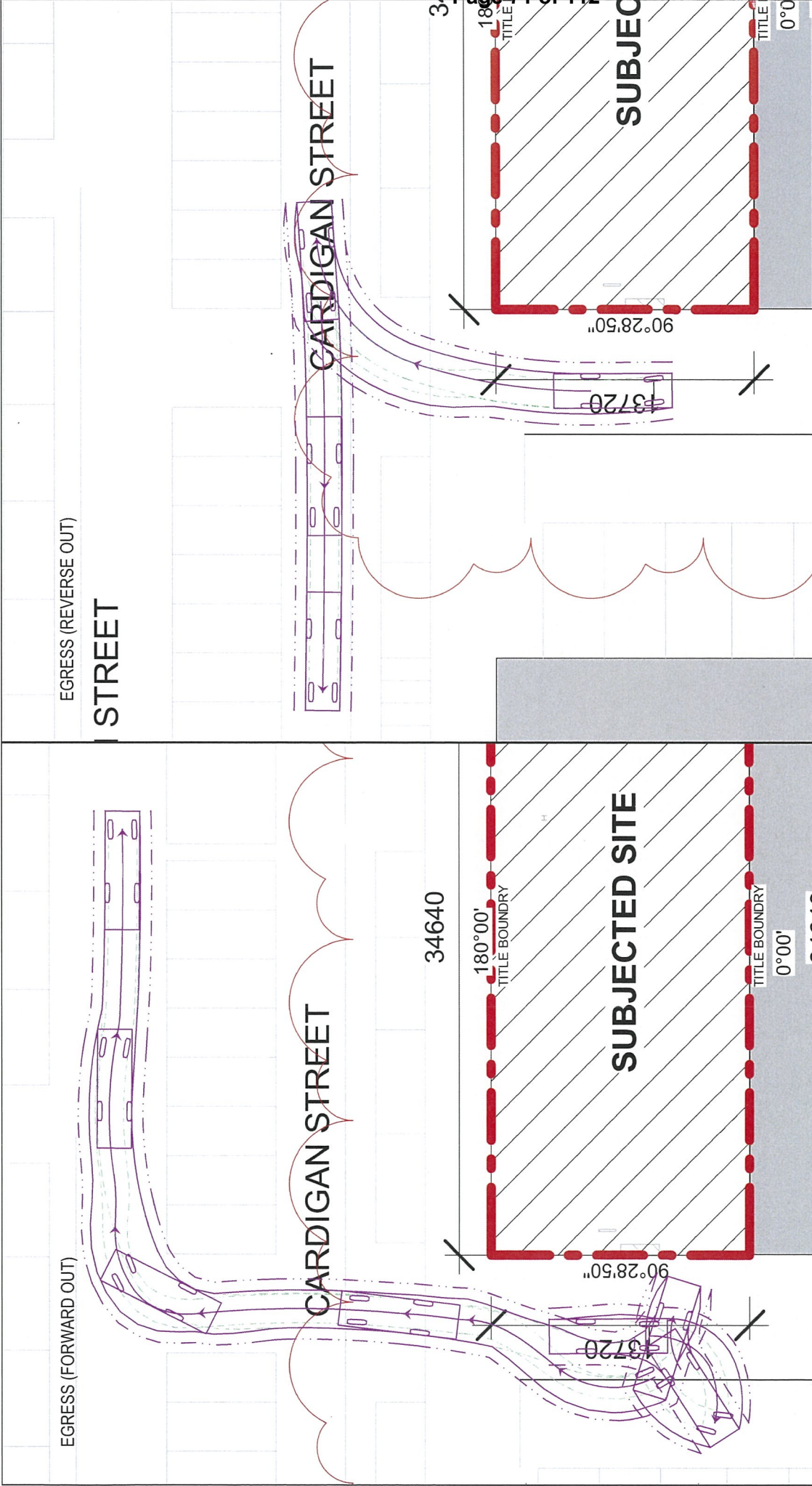


6.35m GARBAGE TRUCK
 Width : 3.40
 Track : 1.84
 Lock to Lock Time : 6.0
 Steering Angle : 45.4



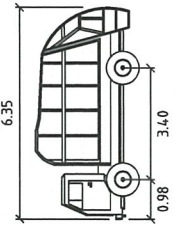
18450W SK002
 6.35m GARWOOD MINER
 INGRESS MANOEUVRES
 G.L. 10.12.2018





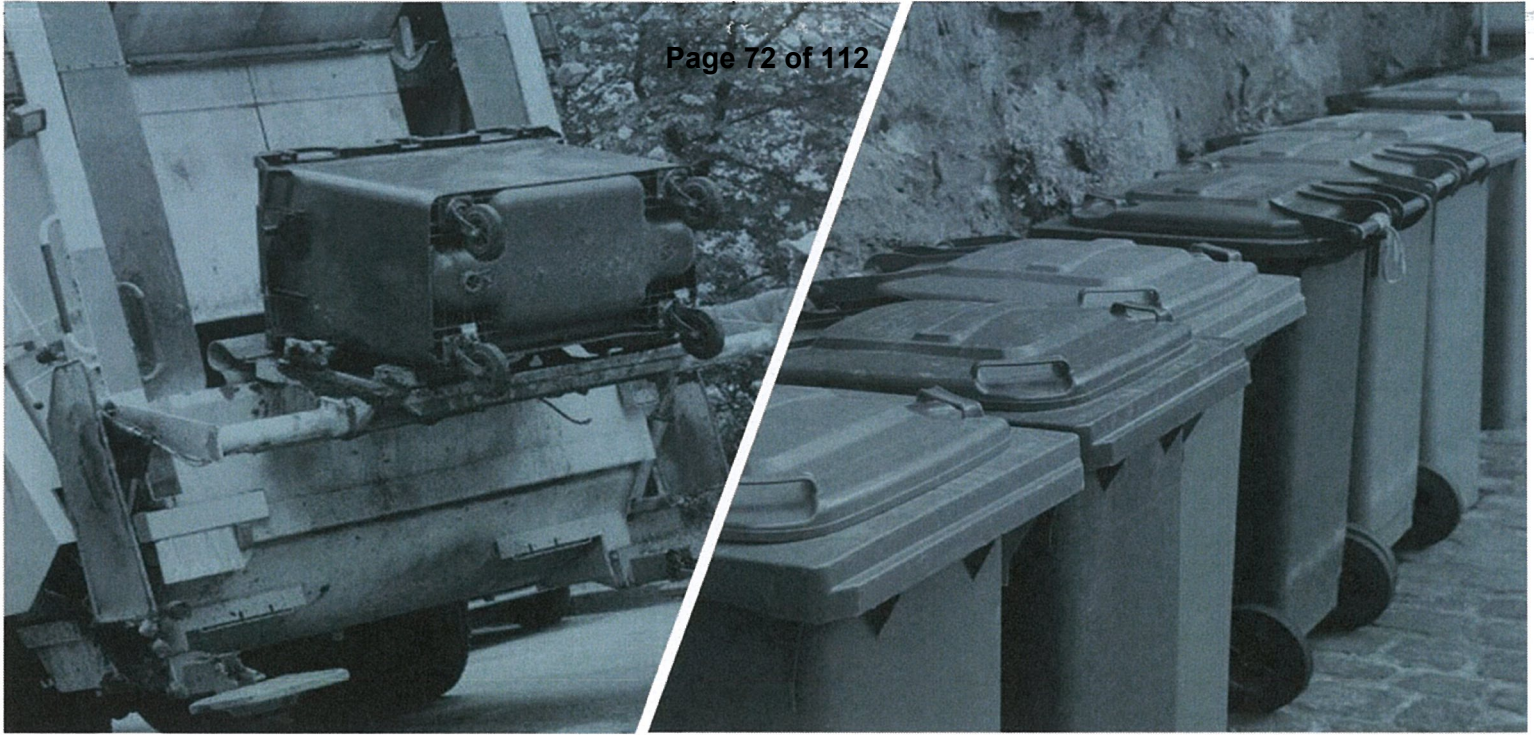
VEHICLE LEGEND

- 6.35m GARBAGE TRUCK 600mm CLEARANCE
- 6.35m GARBAGE TRUCK OVERHANG
- 6.35m GARBAGE TRUCK FRONT WHEEL LINE
- 6.35m GARBAGE TRUCK REAR WHEEL LINE
- 6.35m GARBAGE TRUCK CENTRELINE



18450W SK003
6.35m GARWOOD MINER
EGRESS MANOEUVRES
G.L. 10.12.2018





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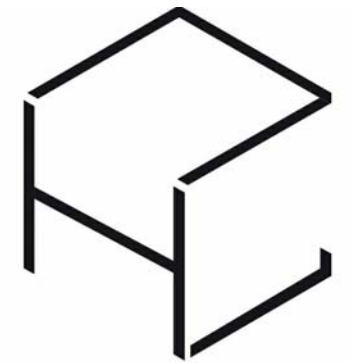
2016 EAST GIPPSLAND BUSINESS AWARDS FINALIST
Professional Services, Innovation, Child & Family Friendly

Annexure E

Sheet List		
Sheet Number	Sheet Name	Current Revision
A000	Cover	1
A101	Site Plan	3
A101.1	Site Plan - Signage	3
A102	Existing Ground Floor Plan	3
A103	Existing First Floor Plan	3
A103.1	Existing First Floor Plan-Mezzanine	3
A104	Existing Roof Plan	3
A105	Proposed Ground Floor Plan	5
A106	Proposed First Floor Plan	4
A106.1	Proposed First Floor Plan-Mezzanine	3
A107	Proposed Roof Plan	3
A108	Existing Elevation (Victoria St)	3
A108.1	Existing Elevation (Cardigan St)	3
A108.2	Existing Elevation	2
A109	Proposed Elevation (Victoria St)	6
A109.1	Proposed Elevation (Cardigan St)	6
A109.2	Proposed Elevation	3
A110	Details of Signages	3



100 VICTORIA ST, CARLTON, MELBOURNE
VIC 3000



HANSO ARCHITECTS

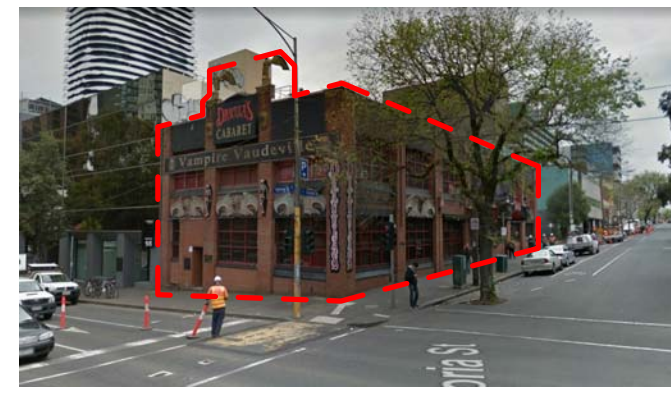
A 394 - 396 BURKE ROAD, CAMBERWELL, 31254 VIC, AUSTRALIA
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 ACN 71 624 791 171 ALL DRAWINGS SUBJECT TO COPYRIGHT



2.5D Hero View



Street View From Cardigan Street



Street View From Victoria Street

NOTE:
BUILDER TO CHECK AND ENSURE ALL EXISTING MECHANICAL SYSTEM ARE IN GOOD CONDITION. BUILDER TO REPAIR, AND MAKE GOOD IF NECESSARY.

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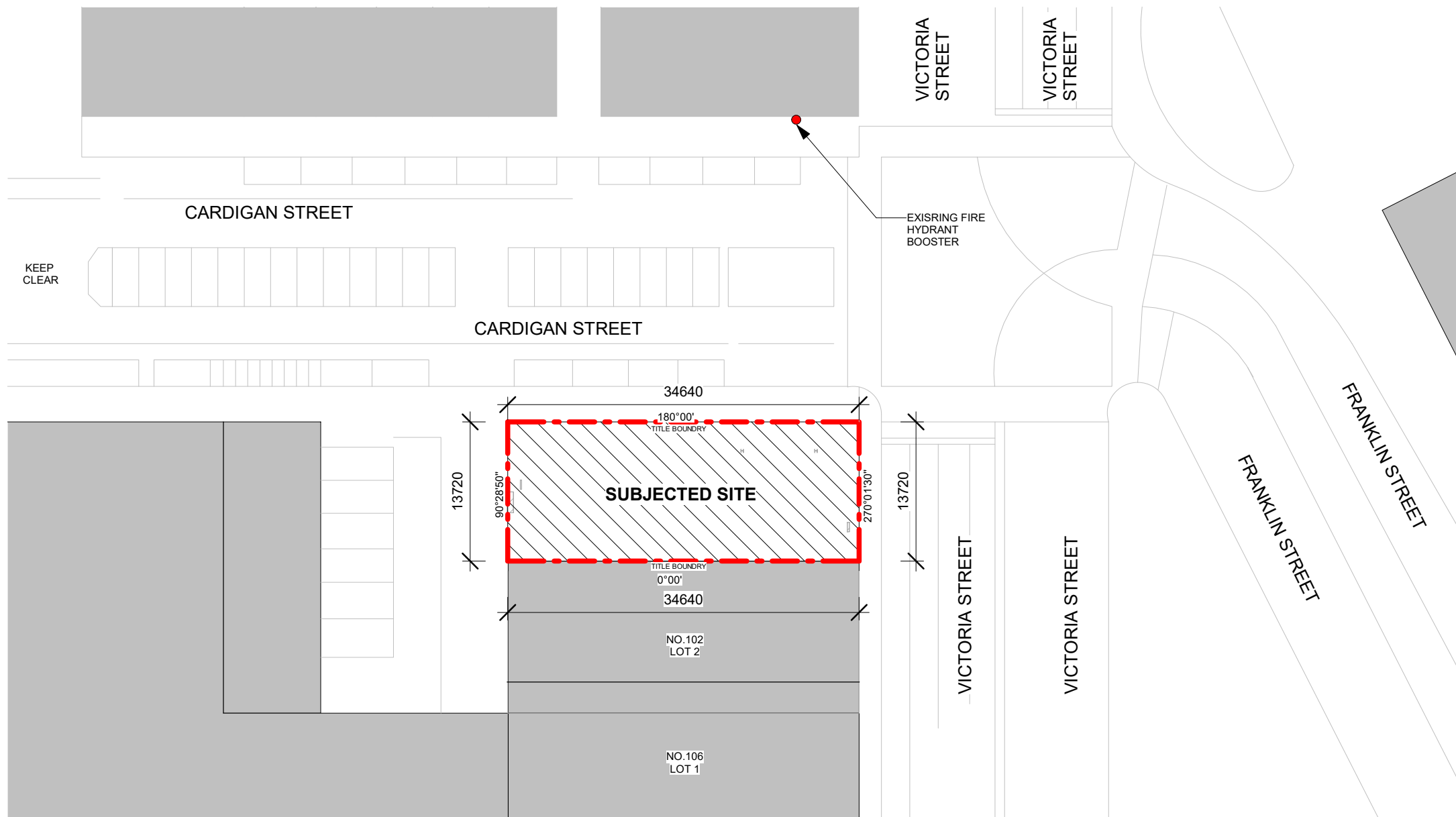
DEMOLITION WORKS SHALL OCCUR WITH MINIMUM DISRUPTION TO THE DAILY ACTIVITIES OF BUILDING OCCUPANTS. PUBLIC AREAS SHALL BE KEPT AWAY FROM DEBRIS AND DUST AT ALL TIMES.

NO EXTERNAL WORKS TO BE PROPOSED.

WET AREAS IN ACCORDANCE WITH BCA F1.7 AND AS3740

NOTE:
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GENERAL NOTES
--- LANDTITLE



1 Site Plan
1 : 500



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No.	Date	Description	IB
3	04/12/2018	2nd Revision according to Town Planner	CLH
1	21/11/2018	Lodge Town Planning	CLH

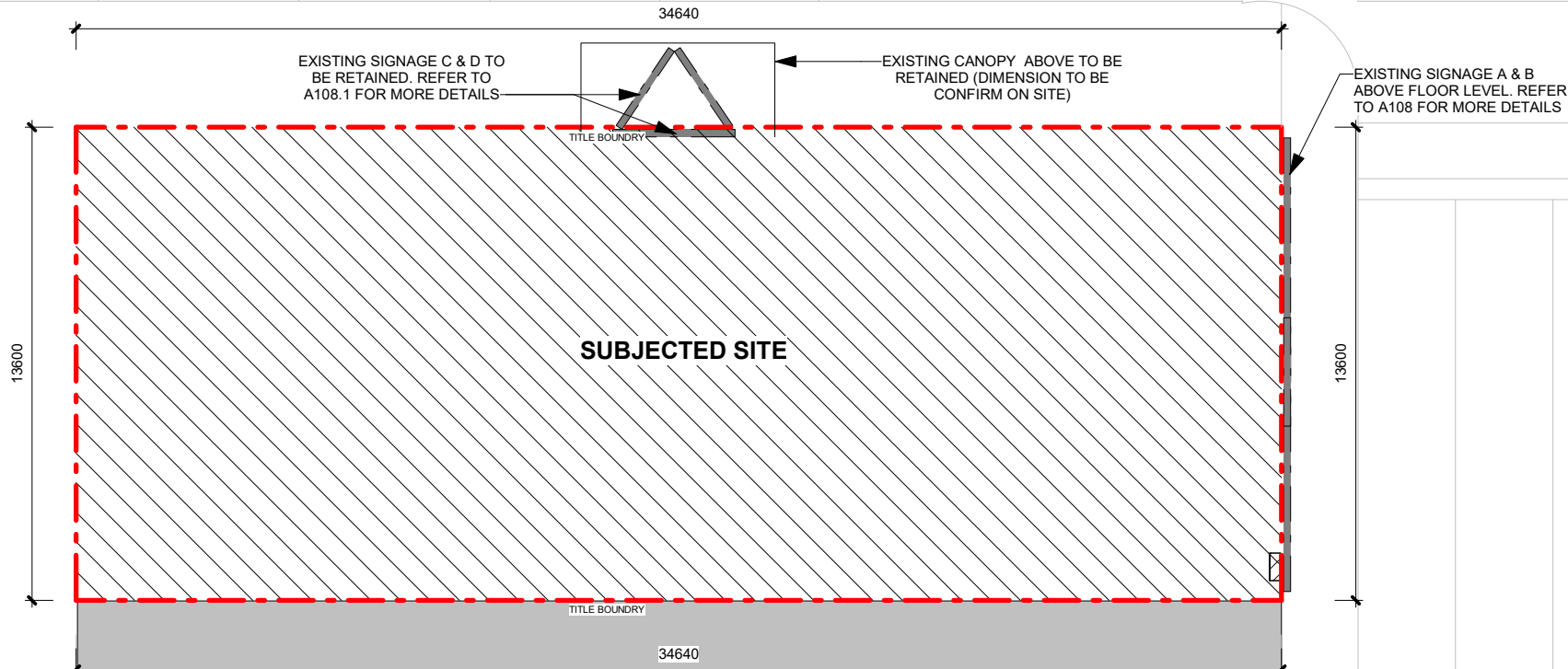
TOWN PLANNING

SHEET NAME:
Site Plan

SCALE 1 : 500

SHEET NO. A101	CLIENT NAME: Owner	DRAWN BY LHY
PROJECT NO. 1035	PROJECT ADDRESS: 100 Victoria St, Carlton	CHECK BY Checker

CARDIGAN STREET



SUBJECTED SITE

VICTORIA STREET

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GENERAL NOTES

--- LANDTITLE



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TOWN PLANNING

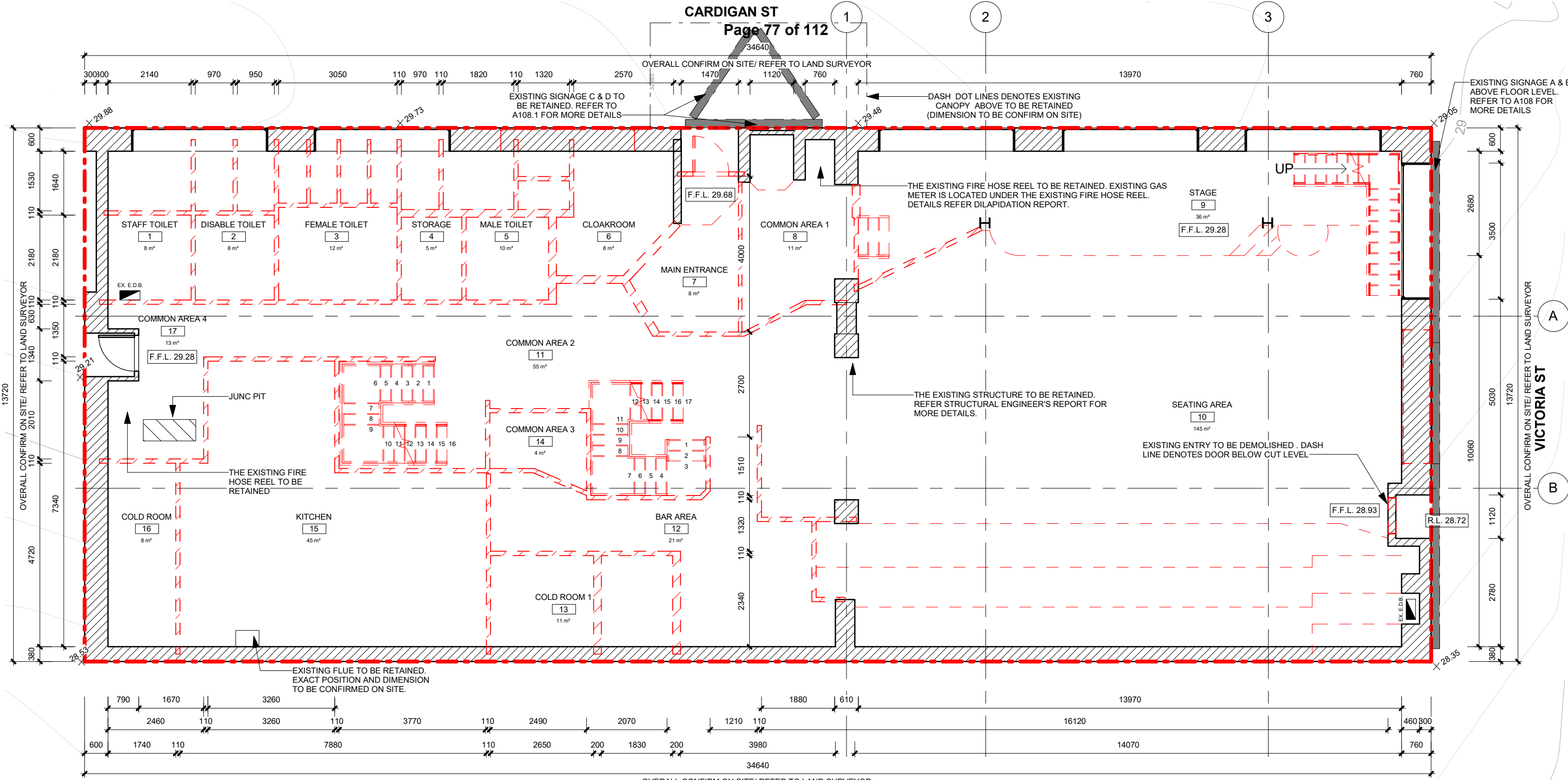
SHEET NAME:
Site Plan - Signage

SCALE 1 : 200

SHEET NO. A101.1	CLIENT NAME: Owner	DRAWN BY LHY
PROJECT NO. 1035	PROJECT ADDRESS: 100 Victoria St, Carlton	CHECK BY Checker

1 Site Plan - Signage
1 : 200

14/12/2018 11:48:30 AM



Existing Ground Floor Plan

1

1 : 100

NOTE:
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NO.	Name	Level	Area
1	STAFF TOILET	Ground Level	8 m ²
2	DISABLE TOILET	Ground Level	8 m ²
3	FEMALE TOILET	Ground Level	12 m ²
4	STORAGE	Ground Level	5 m ²
5	MALE TOILET	Ground Level	10 m ²
6	CLOAKROOM	Ground Level	8 m ²
7	MAIN ENTRANCE	Ground Level	8 m ²
8	COMMON AREA 1	Ground Level	11 m ²
9	STAGE	Ground Level	36 m ²
10	SEATING AREA	Ground Level	145 m ²
11	COMMON AREA 2	Ground Level	55 m ²
12	BAR AREA	Ground Level	21 m ²
13	COLD ROOM 1	Ground Level	11 m ²
14	COMMON AREA 3	Ground Level	4 m ²
15	KITCHEN	Ground Level	45 m ²
16	COLD ROOM	Ground Level	8 m ²
17	COMMON AREA 4	Ground Level	13 m ²
18	COMMON AREA	First Level	66 m ²
19	BAR AREA	First Level	19 m ²
20	SUB-FLOOR SEATING AREA	First Level	15 m ²
21	STAIR	First Level	7 m ²
23	MALE TOILET	First Level	6 m ²
24	TRAIN RIDE ROOM	First Level	73 m ²
24	FEMALE TOILET	First Level	7 m ²

NO.	Name	Level	Area
25	STAIRCASE	First Level	5 m ²
26	STAIRCASE	First Level	6 m ²
27	CHANGE ROOM	First Level	10 m ²
28	STORAGE ROOM	First Level	8 m ²
29	CHANGE ROOM 2	First Level	9 m ²
30	OPEN SPACE	First Level	10 m ²
31	CORRIDOR + BACKSTAGE	First Level	17 m ²
32	CHANGE ROOM 3	First Level	5 m ²
33	OPEN SPACE 2	First Level	45 m ²
34	THEATER DINING AREA	First Level	68 m ²
35	BACKSTAGE 2	First Level	23 m ²
36	WORKSHOP	Existing Mezzanine Level	26 m ²
37	OFFICE 1	First Level	11 m ²
38	ROOM 2	First Level	6 m ²
39	OFFICE 2	Existing Mezzanine Level	15 m ²
40	Room 3	Existing Mezzanine Level	6 m ²
41	Room 4	Existing Mezzanine Level	10 m ²
42	Room 5	Existing Mezzanine Level	12 m ²
43	BACKSTAGE ROOM	Existing Mezzanine Level	22 m ²
45	STORE ROOM	Roof Top Timber Deck Level	13 m ²
46	STAIRWELL	Roof Top Timber Deck Level	5 m ²
47	DECKING AREA	Roof Top Timber Deck Level	63 m ²
54	Room	Existing Mezzanine Level	15 m ²
TOTAL FLOOR AREA			937m ²

CONSTRUCTION NOTES

EXISTING LOAD BEARING BRICK WALL TO BE RETAINED

EXISTING STUD WALL TO BE DEMOLISHED

TITLE BOUNDARY

GENERAL LEGEND

EX. E.D.B. EXISTING E.D.B.

FHR EXISTING FIRE HOSE REEL



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No.	Date	Description	IB
3	04/12/2018	2nd Revision according to Town Planner	CLH
1	21/11/2018	Lodge Town Planning	CLH

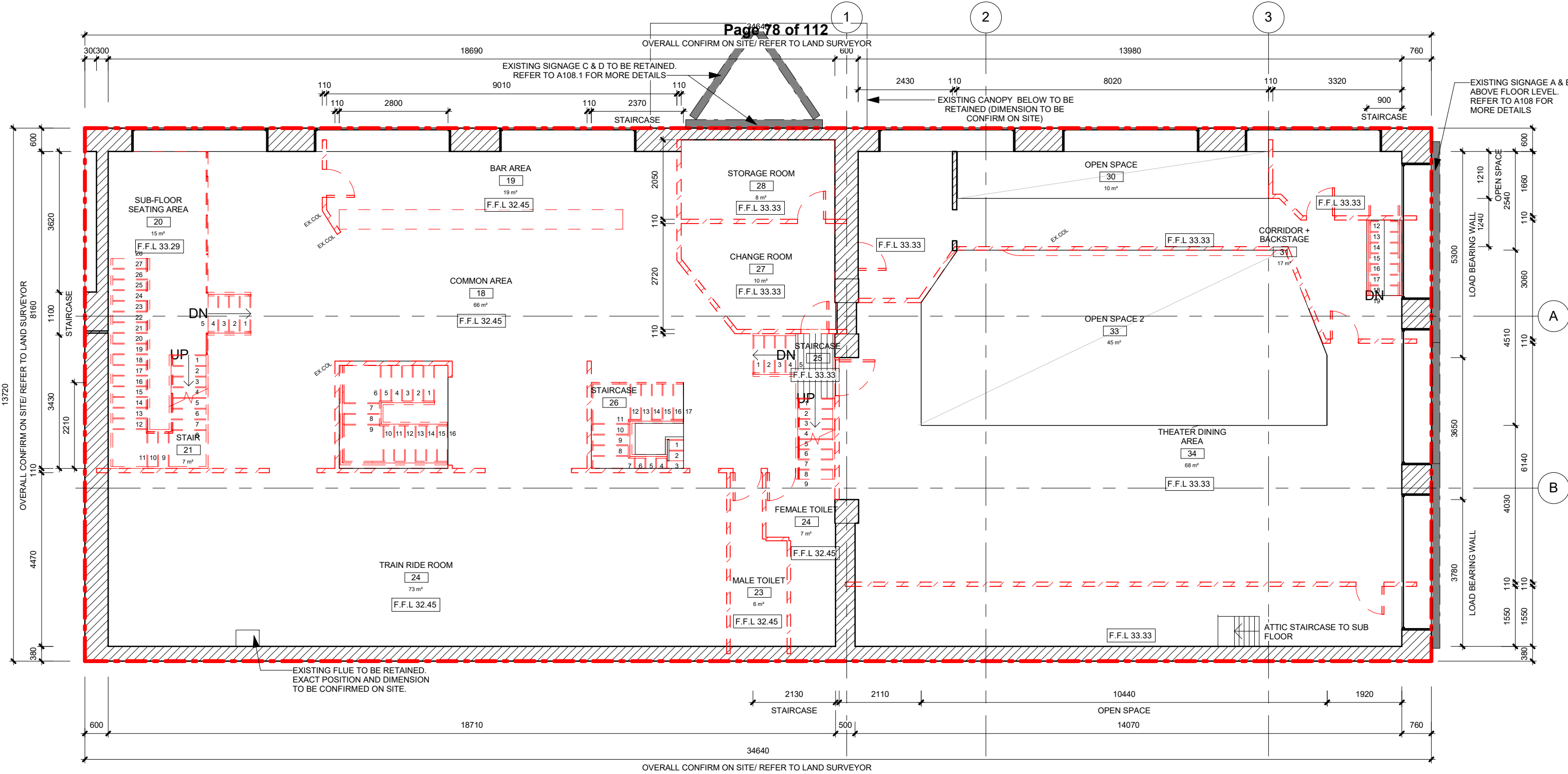
TOWN PLANNING

SHEET NAME:
Existing Ground Floor Plan

SCALE 1 : 100

SHEET NO.	CLIENT NAME:	DRAWN BY
A102	Owner	LHY

PROJECT NO.	PROJECT ADDRESS:	CHECK BY
1035	100 Victoria St, Carlton	Checker



Existing First Floor Plan

1

1 : 100

NOTE:
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CONSTRUCTION NOTES

- EXISTING LOAD BEARING BRICK WALL TO BE RETAINED
- EXISTING STUD WALL TO BE DEMOLISHED
- TITLE BOUNDARY

GENERAL LEGEND

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- FHR EXISTING FIRE HOSE REEL



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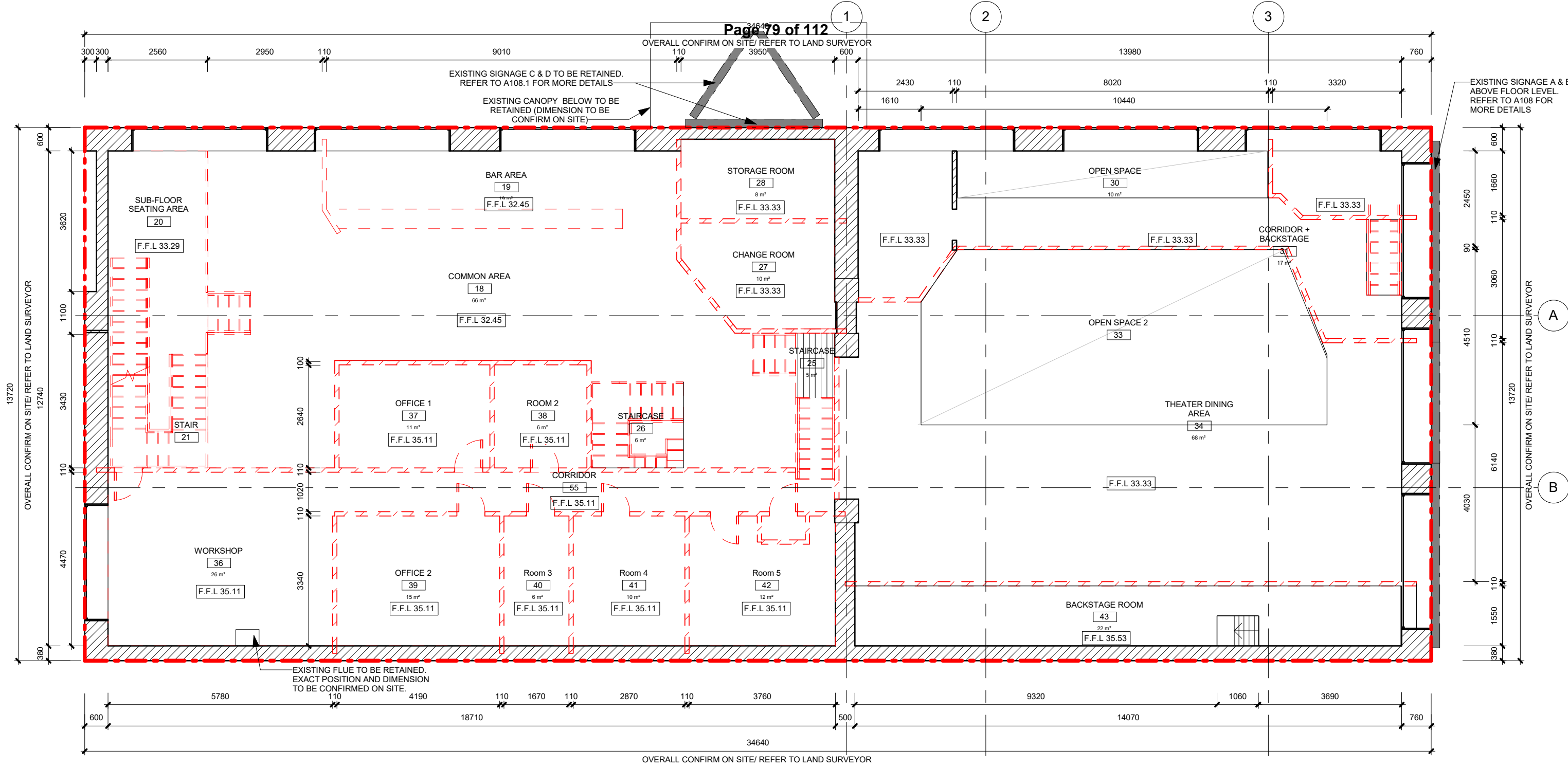
No.	Date	Description	IB
3	04/12/2018	2nd Revision according to Town Planner	CLH
1	21/11/2018	Lodge Town Planning	CLH

TOWN PLANNING

SHEET NAME:
 Existing First Floor Plan

SCALE 1 : 100

SHEET NO. A103	CLIENT NAME: Owner	DRAWN BY LHY
PROJECT NO. 1035	PROJECT ADDRESS: 100 Victoria St, Carlton	CHECK BY Checker



Existing Mezzanine Level

1 : 100

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- EXISTING STUD WALL TO BE DEMOLISHED
- TITLE BOUNDARY

GENERAL LEGEND

- EX. E.D.B. EXISTING E.D.B.
- FHR EXISTING FIRE HOSE REEL



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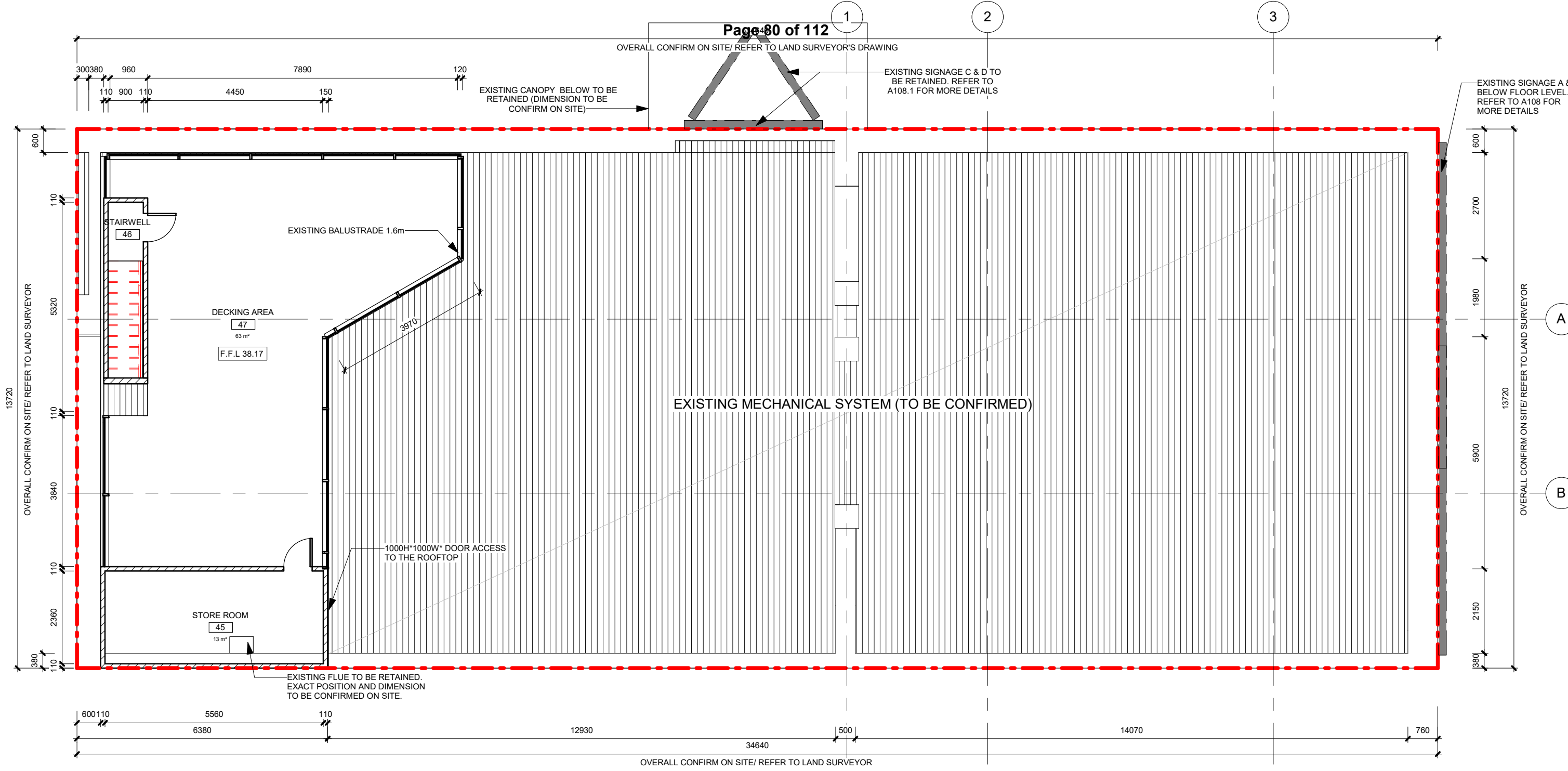
No.	Date	Description	IB
3	04/12/2018	2nd Revision according to Town Planner	CLH
1	21/11/2018	Lodge Town Planning	CLH

TOWN PLANNING

SHEET NAME:
Existing First Floor Plan-Mezzanine

SCALE 1 : 100

SHEET NO. A103.1	CLIENT NAME: Owner	DRAWN BY LHY
PROJECT NO. 1035	PROJECT ADDRESS: 100 Victoria St, Carlton	CHECK BY Checker



Existing Roof Top Timber Deck Level

1

1 : 100

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CONSTRUCTION NOTES

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-  EXISTING STUD WALL TO BE DEMOLISHED
-  TITLE BOUNDARY

GENERAL LEGEND

- EX. E.D.B. EXISTING E.D.B.
- FHR EXISTING FIRE HOSE REEL



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1	21/11/2018	Lodge Town Planning	CLH

TOWN PLANNING

SHEET NAME:
Existing Roof Plan

SCALE 1 : 100

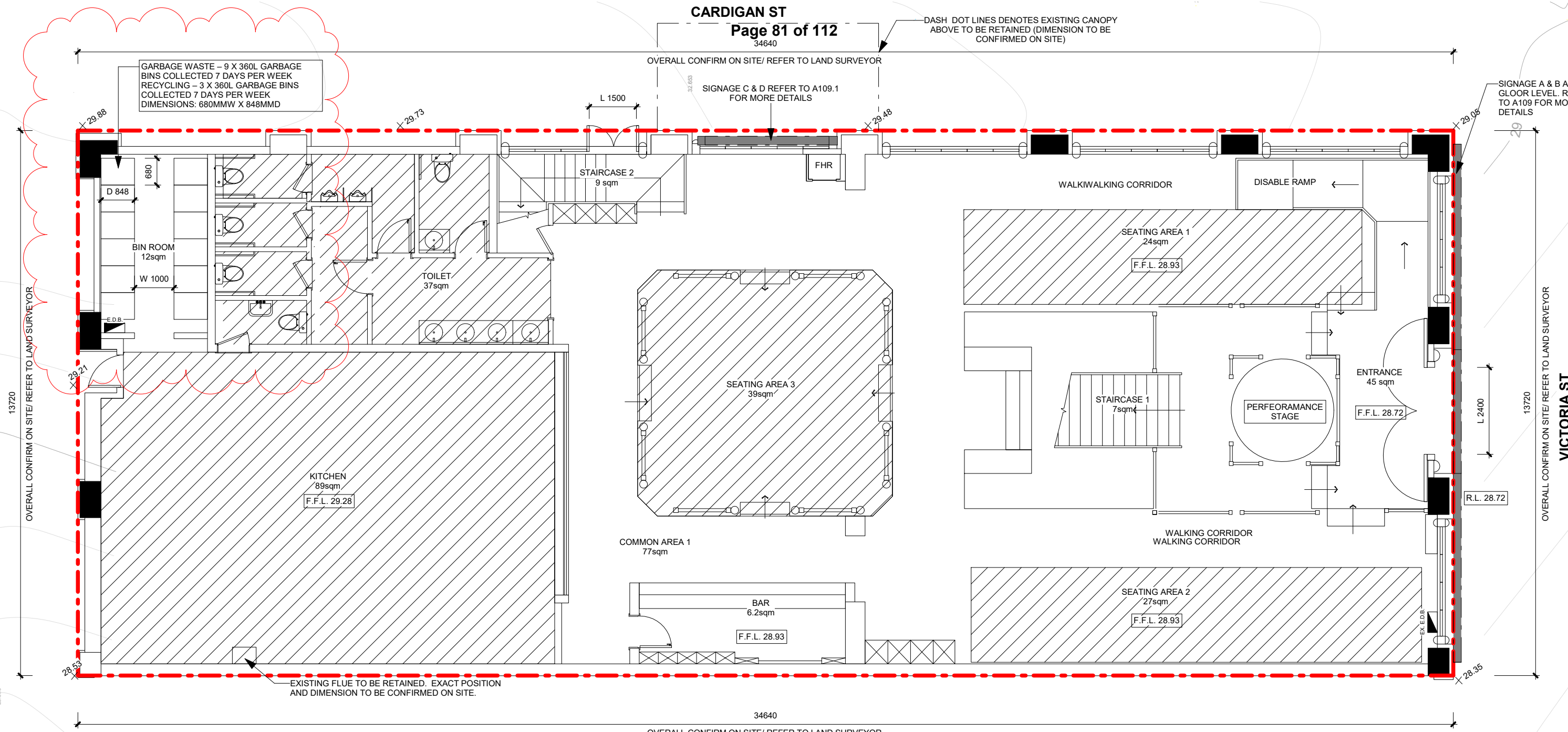
SHEET NO. A104	CLIENT NAME: Owner	DRAWN BY LHY
PROJECT NO. 1035	PROJECT ADDRESS: 100 Victoria St, Carlton	CHECK BY Checker

DASH DOT LINES DENOTES EXISTING CANOPY ABOVE TO BE RETAINED (DIMENSION TO BE CONFIRMED ON SITE)

OVERALL CONFIRM ON SITE/ REFER TO LAND SURVEYOR

SIGNAGE C & D REFER TO A109.1 FOR MORE DETAILS

SIGNAGE A & B ABOVE GLOOR LEVEL. REFER TO A109 FOR MORE DETAILS



1 Proposed Ground Floor Plan

1 : 100

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PROPOSED FLOOR AREA (TO BE REFERENCE BY WASTE MANAGEMENT)

GROUND FLOOR AREA: 428 sqm (INCLUDE KITCHEN)
 GROUND FLOOR SEATING AREA: 90sqm
 KITCHEN AREA: 89 sqm
 GROUND FLOOR TOILET AREA: 37sqm
 FIRST FLOOR AREA : 336 sqm
 FIRST FLOOR SEATING AREA: 93.3sqm
 FIRST FLOOR TOILET AREA: 10sqm
 FIRST FLOOR MEZZANINE AREA: 92 sqm
 PRIVATE ROOM: 12
 OPEN PLAN PRIVATE ROOM: 6
 TOTAL AREA: 856 sqm

NO EXTERNAL WORKS WILL BE PROPOSED EXCEPT FOR THE ENTRANCEWAY FACING VICTORIA STREET AND EXISTING DOOR FACING CARDIGAN STREET.

GENERAL LEGEND

- EX. E.D.B. EXISTING E.D.B.
- E.D.B. PROPOSED E.D.B.
- FHR EXISTING FIRE HOSE REEL
- F.F.L. FINISH FLOOR LEVEL
- RL. RELATIVE LEVEL
- TITLE BOUNDARIES



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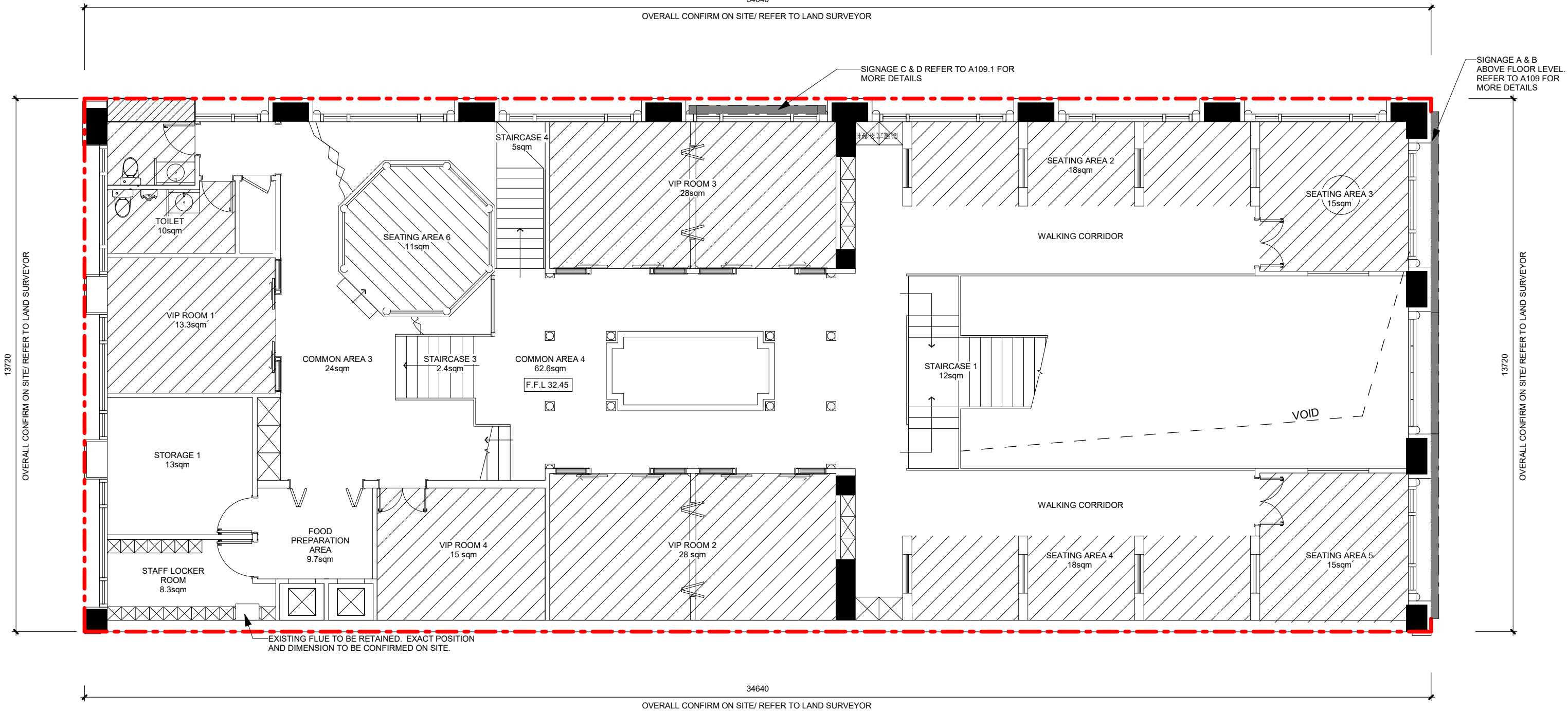
No.	Date	Description	IB
5	14/12/2018	Revised the bin room	LHY
4	11/12/2018	Revised according to Waste Management	LHY
2	30/11/2018	Revised according to Town Planner	CLH
1	21/11/2018	Lodge Town Planning	CLH

TOWN PLANNING

SHEET NAME:
Proposed Ground Floor Plan

SCALE 1 : 100

SHEET NO.	CLIENT NAME:	DRAWN BY
A105	Owner	LHY
PROJECT NO.	PROJECT ADDRESS:	CHECK BY
1035	100 Victoria St, Carlton	Checker



1 Proposed First Floor Plan

1 : 100

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 KITCHEN AREA: 89 sqm
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 OPEN PLAN PRIVATE ROOM: 6

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GENERAL LEGEND

- EX. E.D.B. EXISTING E.D.B.
- E.D.B. PROPOSED E.D.B.
- FHR EXISTING FIRE HOSE REEL
- F.F.L. FINISH FLOOR LEVEL
- RL. RELATIVE LEVEL
- TITLE BOUNDARIES



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4	11/12/2018	Revised according to Waste Management	LHY
2	30/11/2018	Revised according to Town Planner	CLH
1	21/11/2018	Lodge Town Planning	CLH

TOWN PLANNING

SHEET NAME:
Proposed First Floor Plan

SCALE 1 : 100

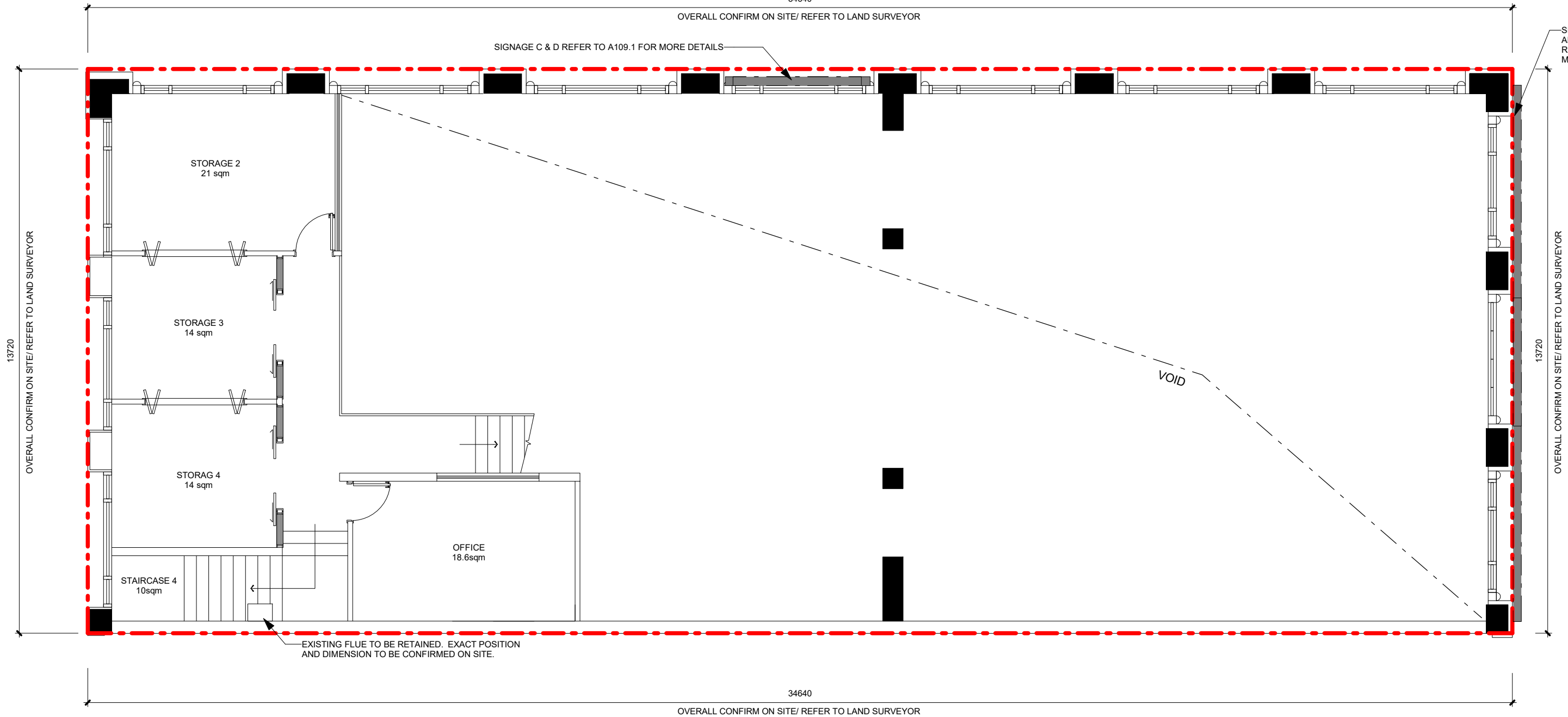
SHEET NO. A106
 CLIENT NAME: Owner
 PROJECT NO. 1035
 PROJECT ADDRESS: 100 Victoria St, Carlton
 DRAWN BY: LHY
 CHECK BY: Checker

34640

OVERALL CONFIRM ON SITE/ REFER TO LAND SURVEYOR

SIGNAGE C & D REFER TO A109.1 FOR MORE DETAILS

SIGNAGE A & B ABOVE FLOOR LEVEL. REFER TO A109 FOR MORE DETAILS



1 Proposed First Floor Plan - Mezzanine

1 : 100

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THE BUILDER OR CONTRACTOR SHALL ALLOW TO DO ALL DEMOLITION WORK SHOWN ON THE EXISTING CONDITION PLAN AND IN ACCORDANCE TO THE DEMOLITION SCHEDULE IF PROVIDED. THE BUILDER OR CONTRACTOR SHALL PROTECT ALL AREAS TO BE RETAINED AND MAINTAIN STRUCTURAL STABILITY OF THE EXISTING STRUCTURE DURING DEMOLITION AND TO AVOID ANY DAMAGE TO EXISTING BUILDINGS AND ALL ADJACENT PROPERTIES.

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NO EXTERNAL WORKS TO BE PROPOSED.

WET AREAS IN ACCORDANCE WITH BCA F1.7 AND AS3740

NOTE:
ALL DIMENSIONS ARE APPROX. ONLY. BUILDER MUST CHECK AND CONFIRM DIMENSION ON SITE PRIOR TO COMMENCEMENT OF WORK.
ALL DIMENSIONS ARE MEASURE FROM THE FINISHED SURFACES.
ALL TENANCY CONDITIONS INCLUDING ALL DIMENSION, LOCATION & DETAILS OF ALL SERVICES & STRUCTURE ETC, TO BE CONFIRMED ON SITE.
ALL SERVICES PIPES ETC, TO BE FULLY INTEGRATED INTO FITOUT & CONCEALED.

GROUND FLOOR AREA: 428 sqm (INCLUDE KITCHEN)
GROUND FLOOR SEATING AREA: 90sqm
KITCHEN AREA: 89 sqm
GROUND FLOOR TOILET AREA: 37sqm
FIRST FLOOR AREA : 336 sqm
FIRST FLOOR SEATING AREA: 161sqm
FIRST FLOOR TOILET AREA: 10sqm
FIRST FLOOR MEZZANINE AREA: 92 sqm
PRIVATE ROOM: 12
OPEN PLAN PRIVATE ROOM: 6
TOTAL AREA: 856 sqm

NO EXTERNAL WORKS WILL BE PROPOSED EXCEPT FOR THE ENTRANCEWAY FACING VICTORIA STREET AND EXISTING DOOR FACING CARDIGAN STREET.

GENERAL LEGEND

- EX. E.D.B. EXISTING E.D.B.
- E.D.B PROPOSED E.D.B.
- FHR EXISTING FIRE HOSE REEL
- F.F.L. FINISH FLOOR LEVEL
- RL. RELATIVE LEVEL
- TITLE BOUNDARIES



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No.	Date	Description	IB
3	04/12/2018	2nd Revision according to Town Planner	CLH
2	30/11/2018	Revised according to Town Planner	CLH
1	21/11/2018	Lodge Town Planning	CLH

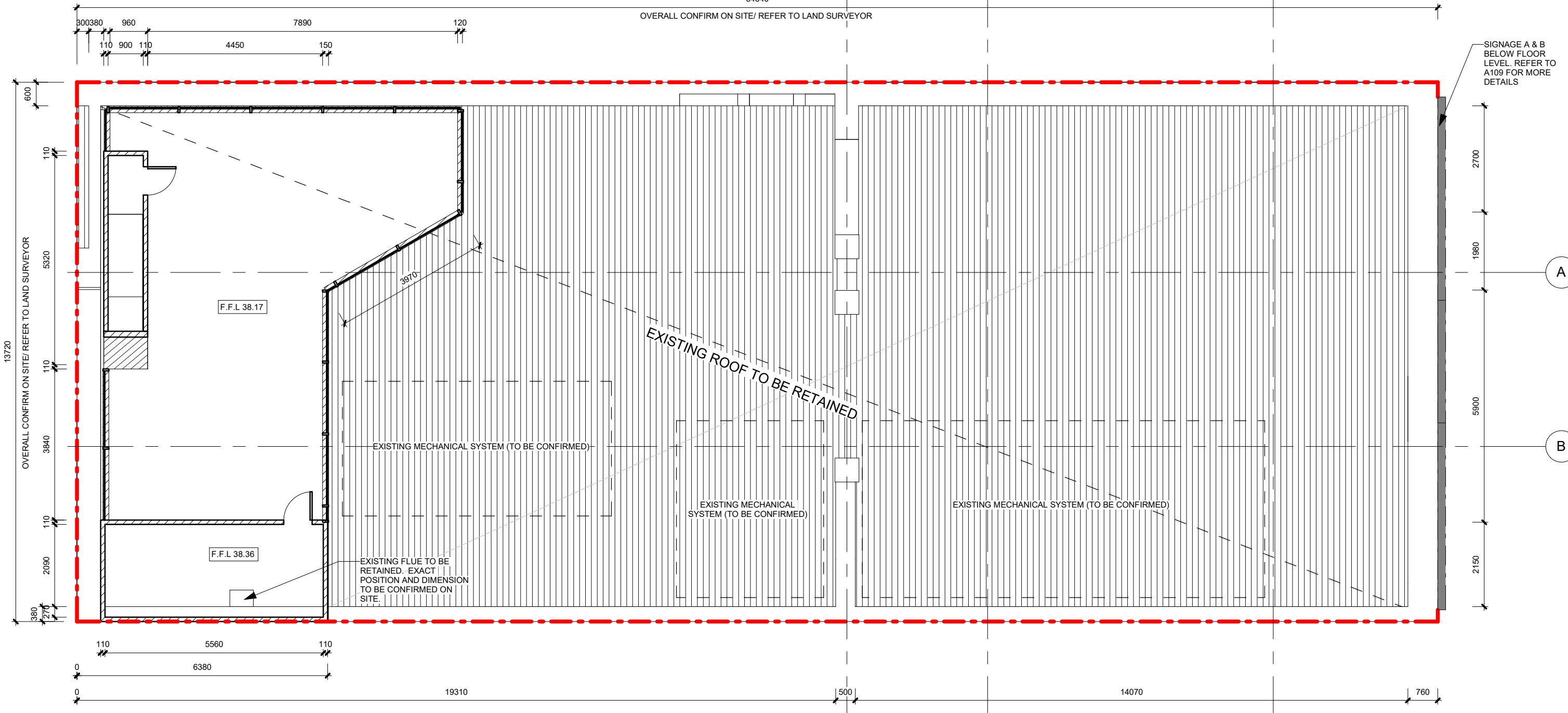
TOWN PLANNING

SHEET NAME:
Proposed First Floor Plan-Mezzanine

SCALE 1 : 100

SHEET NO. A106.1	CLIENT NAME: Owner	DRAWN BY LHY
PROJECT NO. 1035	PROJECT ADDRESS: 100 Victoria St, Carlton	CHECK BY Checker

OVERALL CONFIRM ON SITE/ REFER TO LAND SURVEYOR



SIGNAGE A & B BELOW FLOOR LEVEL. REFER TO A109 FOR MORE DETAILS

OVERALL CONFIRM ON SITE/ REFER TO LAND SURVEYOR

1 Proposed Roof Top Timber Deck Level

1 : 100

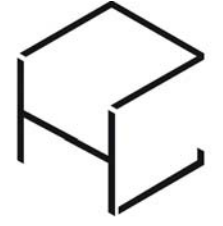
NOTE:
 BUILDER TO CHECK AND ENSURE ALL EXISTING MECHANICAL SYSTEM ARE IN GOOD CONDITION BUILDER TO REPAIR, AND MAKE GOOD IF NECESSARY.
 THE BUILDER OR CONTRACTOR SHALL ALLOW TO DO ALL DEMOLITION WORK SHOWN ON THE EXISTING CONDITION PLAN AND IN ACCORDANCE TO THE DEMOLITION SCHEDULE IF PROVIDED. THE BUILDER OR CONTRACTOR SHALL PROTECT ALL AREAS TO BE RETAINED AND MAINTAIN STRUCTURAL STABILITY OF THE EXISTING STRUCTURE DURING DEMOLITION AND TO AVOID ANY DAMAGE TO EXISTING BUILDINGS AND ALL ADJACENT PROPERTIES.
 DEMOLITION WORKS SHALL OCCUR WITH MINIMUM DISRUPTION TO THE DAILY ACTIVITIES OF BUILDING OCCUPANTS. PUBLIC AREAS SHALL BE KEPT AWAY FROM DEBRIS AND DUST AT ALL TIMES.
 NO EXTERNAL WORKS TO BE PROPOSED.
 WET AREAS IN ACCORDANCE WITH BCA F1.7 AND AS3740

GROUND FLOOR AREA: 428 sqm (INCLUDE KITCHEN)
 GROUND FLOOR SEATING AREA: 90sqm
 KITCHEN AREA: 89 sqm
 GROUND FLOOR TOILET AREA: 37sqm
 FIRST FLOOR AREA : 336 sqm
 FIRST FLOOR SEATING AREA: 161sqm
 FIRST FLOOR TOILET AREA: 10sqm
 FIRST FLOOR MEZZANINE AREA: 92 sqm
 PRIVATE ROOM: 12
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 TOTAL AREA: 856 sqm

- GENERAL LEGEND**
- EX. E.D.B. EXISTING E.D.B.
 - E.D.B PROPOSED E.D.B.
 - FHR EXISTING FIRE HOSE REEL
 - F.F.L. FINISH FLOOR LEVEL
 - RL. RELATIVE LEVEL
 - TITLE BOUNDARIES

NO EXTERNAL WORKS WILL BE PROPOSED EXCEPT FOR THE ENTRANCEWAY FACING VICTORIA STREET AND EXISTING DOOR FACING CARDIGAN STREET.

NOTE:
 ALL DIMENSIONS ARE APPROX. ONLY. BUILDER MUST CHECK AND CONFIRM DIMENSION ON SITE PRIOR TO COMMENCEMENT OF WORK.
 ALL DIMENSIONS ARE MEASURED FROM THE FINISHED SURFACES.
 ALL TENANCY CONDITIONS INCLUDING ALL DIMENSION, LOCATION & DETAILS OF ALL SERVICES & STRUCTURE ETC, TO BE CONFIRMED ON SITE.
 ALL SERVICES PIPES ETC, TO BE FULLY INTEGRATED INTO FITOUT & CONCEALED.



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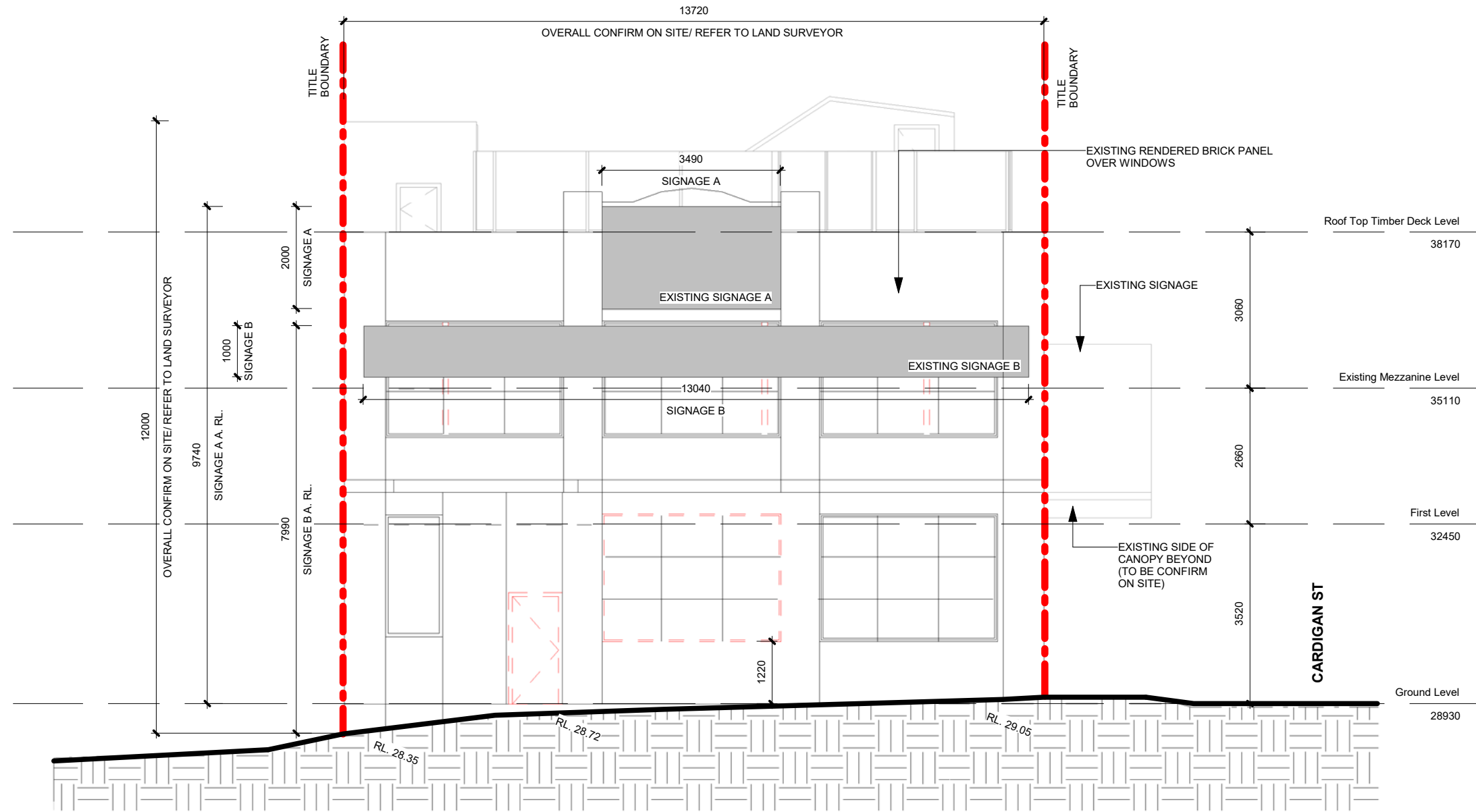
No.	Date	Description	IB
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2	30/11/2018	Revised according to Town Planner	CLH
1	21/11/2018	Lodge Town Planning	CLH

TOWN PLANNING

SHEET NAME:
 Proposed Roof Plan

SCALE 1 : 100

SHEET NO. A107	CLIENT NAME: Owner	DRAWN BY LHY
PROJECT NO. 1035	PROJECT ADDRESS: 100 Victoria St, Carlton	CHECK BY Checker



Existing Elevation - South (Victoria St)

1

1 : 100

VISUAL INDICATORS ON GLASS. CONTRASTING LINE SHALL BE NOT LESS THAN 75mm WIDE AND SHALL EXTEND ACROSS THE FULL WIDTH OF THE GLAZING PANEL SHALL BE BETWEEN 900mm & 1000mm ABOVE THE PLANE OF THE FFL. ANY CONTRASTING LINE ON THE GLAZING SHALL PROVIDE A MIN OF 30% LUMINANCE CONTRAST IN ACCORDANCE WITH AS1428.1-2009.

ALL GLAZING WITHIN EXTERNAL WALLS COMPLY WITH AS2047.

NOTE: ALL DIMENSION FOR EXISTING CONDITION ARE INDICATIVE USE ONLY. MUST BE CONFIRMED ON SITE. HANSO ARCHITECTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF DIMENSIONS TO BE CONFIRMED ON SITE. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, LEVELS AND DIMENSIONS ON THE PRIOR TO THE OFFICE IMMEDIATELY. DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS HAVE PREFERENCE OVER DIMENSIONS SCALED FROM THE DRAWINGS. THESE DRAWINGS TO BE READ IN CONJUNCTION WITH OTHER ASSOCIATED DOCUMENTS AND SPECIFICATIONS. IN THE SCOPE OF WORKS. NOM INDICATES A NOMINAL DIMENSION TO BE CHECKED ON SITE, THIS DRAWINGS IS SUBJECT TO COPYRIGHT.

GENERAL LEGEND

ARL ABOVE RELATIVE LEVEL

EXISTING SIGNAGE - SOUTH

A : 6.98 sqm

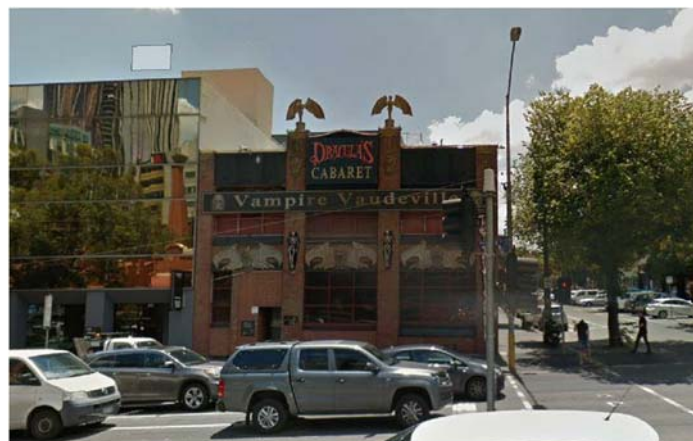
B : 13.04 sqm

TOTAL AREA: 20.02 sqm

ALL EXISTING BRICK WALL AND FACADE TO BE RETAINED. THE EXISTING NEON LIGHT ON THE BUILDING FACADE TO BE RETAINED.

SIGNAGE	ILLUMINATION METHOD	TIME
A	INTERNAL ILLUMINATED	6PM-1AM
B	INTERNAL ILLUMINATED	6PM-1AM
C	LIGHT UP BY SPOT LIGHT (PER EXISTING CONDITION)	6PM-1AM
D	LIGHT UP BY SPOT LIGHT (PER EXISTING CONDITION)	6PM-1AM
E	LIGHT UP BY SPOT LIGHT (PER EXISTING CONDITION)	6PM-1AM

EXISTING SIGNAGES ON CARDIGAN STREET



CONSTRUCTION NOTES

--- EXISTING ELEMENTS TO BE DEMOLISHED

- - - TITLE BOUNDARY



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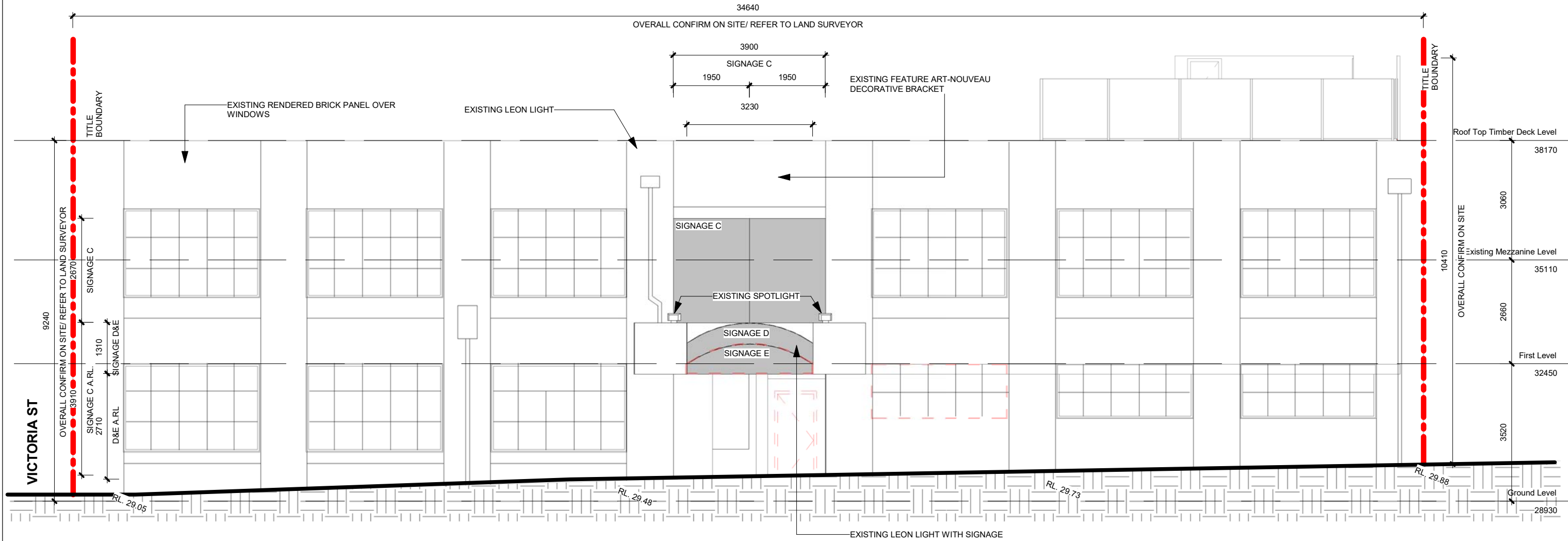
No.	Date	Description	IB
3	04/12/2018	2nd Revision according to Town Planner	CLH
2	30/11/2018	Revised according to Town Planner	CLH
1	21/11/2018	Lodge Town Planning	CLH

TOWN PLANNING

SHEET NAME:
Existing Elevation (Victoria St)

SCALE 1 : 100

SHEET NO.	CLIENT NAME:	DRAWN BY
A108	Owner	LHY
PROJECT NO.	PROJECT ADDRESS:	CHECK BY
1035	100 Victoria St, Carlton	Checker



Existing Elevation - East (Cardigan St)

1 : 100

VISUAL INDICATORS ON GLASS. CONTRASTING LINE SHALL BE NOT LESS THAN 75mm WIDE AND SHALL EXTEND ACROSS THE FULL WIDTH OF THE GLAZING PANEL SHALL BE BETWEEN 900mm & 1000mm ABOVE THE PLANE OF THE FFL. ANY CONTRASTING LINE ON THE GLAZING SHALL PROVIDE A MIN OF 30% LUMINANCE CONTRAST IN ACCORDANCE WITH AS1428.1-2009.

ALL GLAZING WITHIN EXTERNAL WALLS COMPLY WITH AS2047.

NOTE: ALL DIMENSION FOR EXISTING CONDITION ARE INDICATIVE USE ONLY. MUST BE CONFIRMED ON SITE. HANSO ARCHITECTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF DIMENSIONS TO BE CONFIRMED ON SITE. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, LEVELS AND DIMENSIONS ON THE PRIOR TO THE OFFICE IMMEDIATELY. DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS HAVE PREFERENCE OVER DIMENSIONS SCALED FROM THE DRAWINGS. THESE DRAWINGS TO BE READ IN CONJUNCTION WITH OTHER ASSOCIATED DOCUMENTS AND SPECIFICATIONS. IN THE SCOPE OF WORKS. NOM INDICATES A NOMINAL DIMENSION TO BE CHECKED ON SITE, THIS DRAWINGS IS SUBJECT TO COPYRIGHT.

GENERAL LEGEND

ARL ABOVE RELATIVE LEVEL

EXISTING SIGNAGE - SOUTH

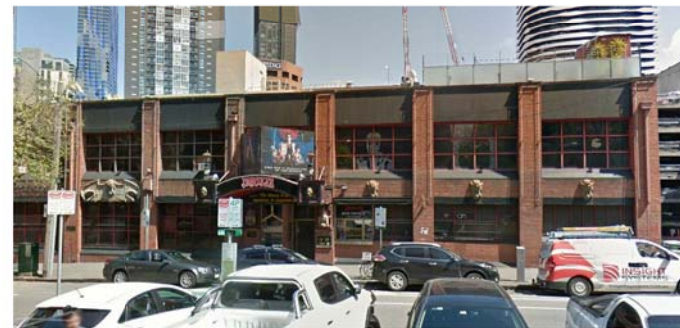
A : 6.98 sqm
B : 13.04 sqm

TOTAL AREA: 20.02 sqm

ALL EXISTING BRICK WALL AND FACADE TO BE RETAINED. THE EXISTING NEON LIGHT ON THE BUILDING FACADE TO BE RETAINED.

SIGNAGE	ILLUMINATION METHOD	TIME
A	INTERNAL ILLUMINATED	6PM-1AM
B	INTERNAL ILLUMINATED	6PM-1AM
C	LIGHT UP BY SPOT LIGHT (PER EXISTING CONDITION)	6PM-1AM
D	LIGHT UP BY SPOT LIGHT (PER EXISTING CONDITION)	6PM-1AM
E	LIGHT UP BY SPOT LIGHT (PER EXISTING CONDITION)	6PM-1AM

EXISTING SIGNAGES ON VICTORIA STREET



CONSTRUCTION NOTES

- EXISTING ELEMENTS TO BE DEMOLISHED
- TITLE BOUNDARY



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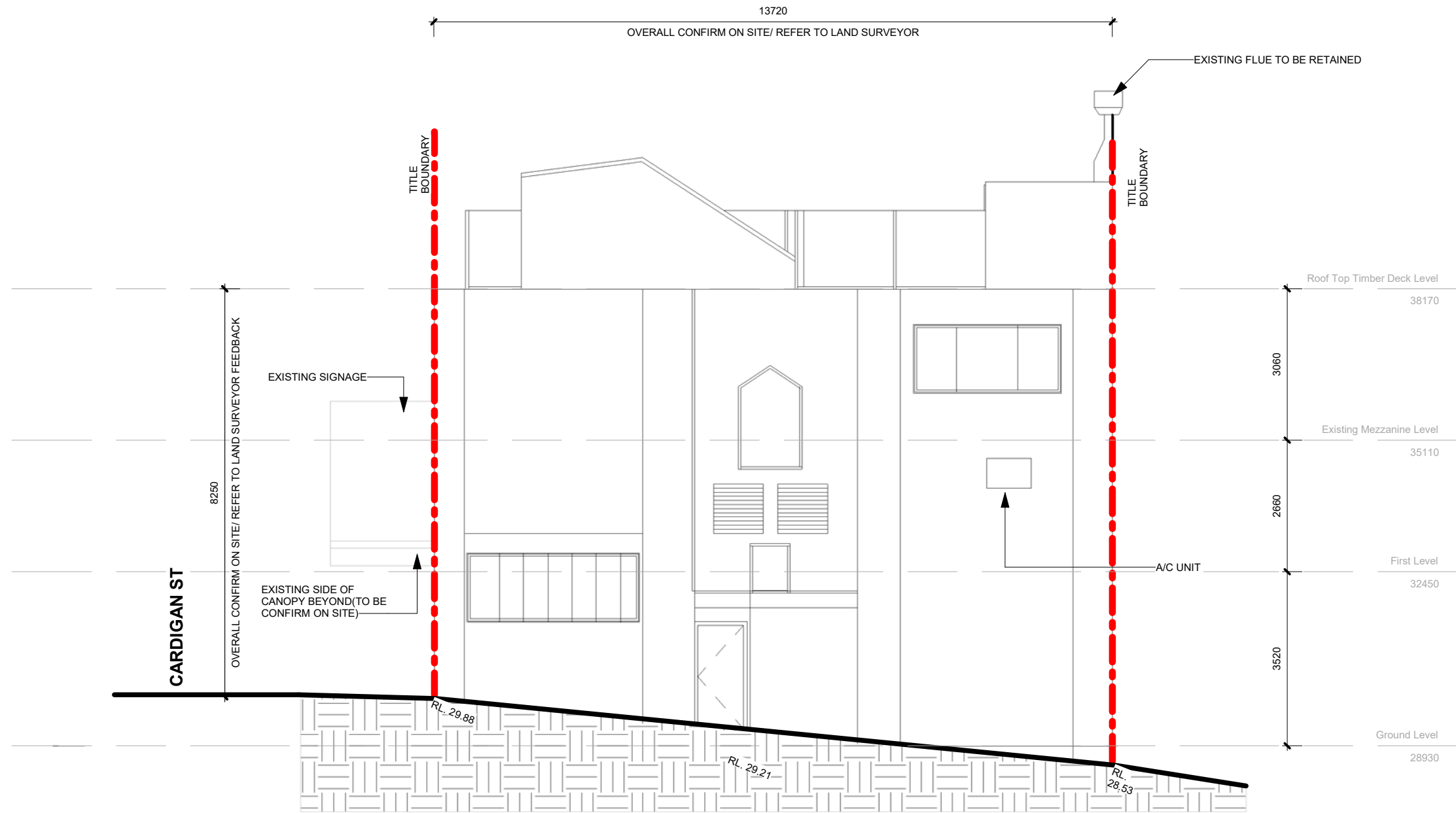
No.	Date	Description	IB
3	04/12/2018	2nd Revision according to Town Planner	CLH
2	30/11/2018	Revised according to Town Planner	CLH
1	21/11/2018	Lodge Town Planning	CLH

TOWN PLANNING

SHEET NAME:
Existing Elevation (Cardigan St)

SCALE 1 : 100

SHEET NO.	CLIENT NAME:	DRAWN BY
A108.1	Owner	LHY
PROJECT NO.	PROJECT ADDRESS:	CHECK BY
1035	100 Victoria St, Carlton	Checker



Existing Elevation -North

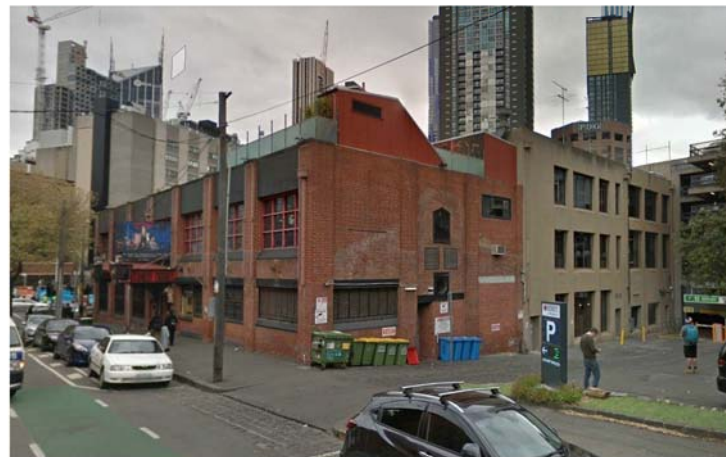
1 : 100

VISUAL INDICATORS ON GLASS. CONTRASTING LINE SHALL BE NOT LESS THAN 75mm WIDE AND SHALL EXTEND ACROSS THE FULL WIDTH OF THE GLAZING PANEL SHALL BE BETWEEN 900mm & 1000mm ABOVE THE PLANE OF THE FFL. ANY CONTRASTING LINE ON THE GLAZING SHALL PROVIDE A MIN OF 30% LUMINANCE CONTRAST IN ACCORDANCE WITH AS1428.1-2009.

ALL GLAZING WITHIN EXTERNAL WALLS COMPLY WITH AS2047.

NOTE:
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EXISTING SINGAGES ON CARDIGAN STREET



ALL EXISTING BRICK WALL AND FACADE TO BE RETAINED. THE EXISTING NEON LIGHT ON THE BUILDING FACADE TO BE RETAINED.

THE SIGNAGE FACING VICTORIA ST. WILL BE SELF ILLUMINATED. THE OTHER SIGNAGE AT THE SIDE ENTRANCE WILL BE LIGHTED UP BY SPOT LIGHT AS PER THE EXISTING CONDITION.

CONSTRUCTION NOTES

--- TITLE BOUNDARY



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No.	Date	Description	IB
2	30/11/2018	Revised according to Town Planner	CLH
1	21/11/2018	Lodge Town Planning	CLH

TOWN PLANNING

SHEET NAME:
Existing Elevation

SCALE 1 : 100

SHEET NO. A108.2	CLIENT NAME: Owner	DRAWN BY LHY
PROJECT NO. 1035	PROJECT ADDRESS: 100 Victoria St, Carlton	CHECK BY Checker

NO EXTERNAL WORKS WILL BE PROPOSED, ONLY THE EXISTING DOOR WILL BE REMOVED AND RELOCATED TO CENTER.

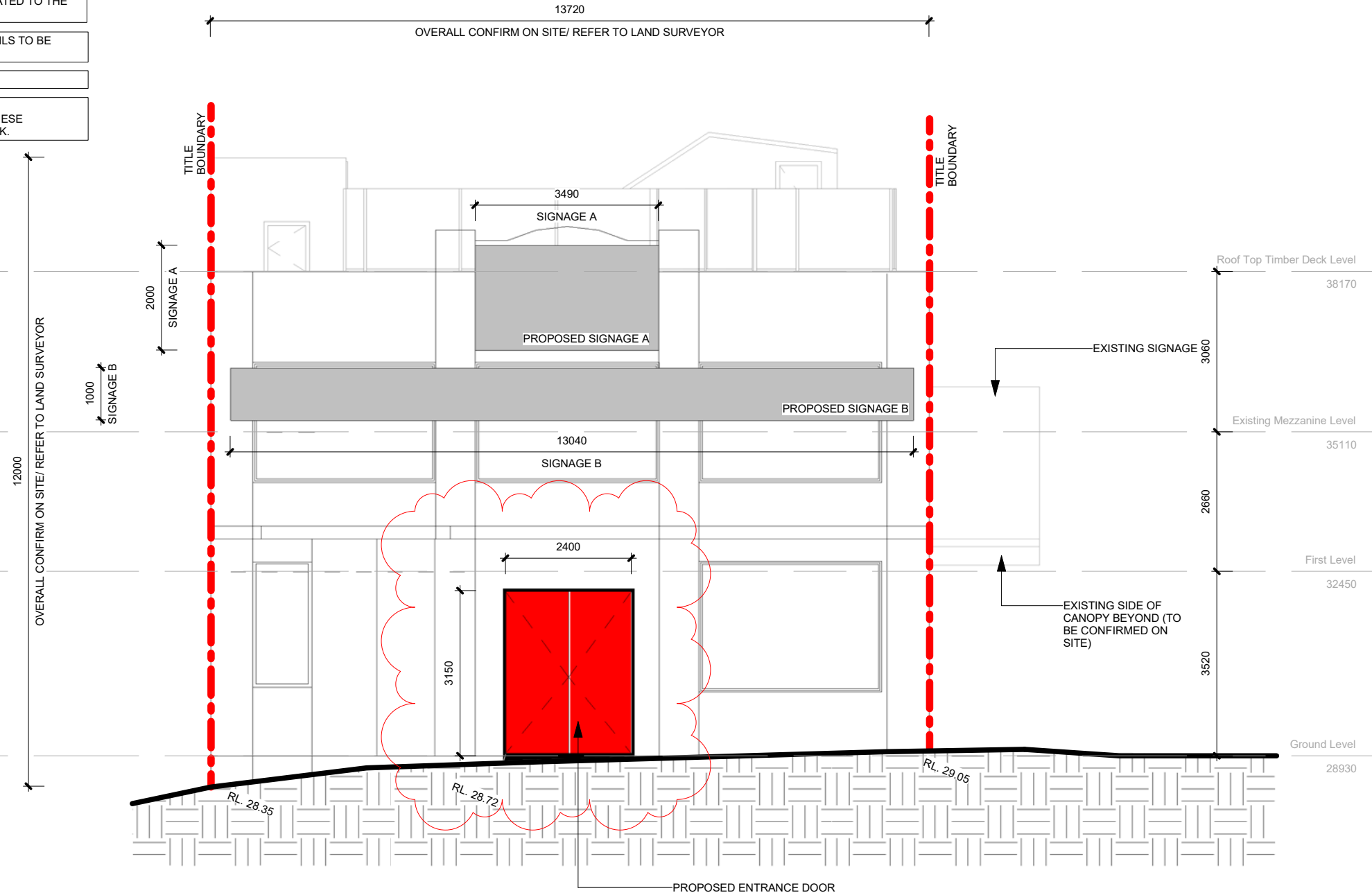
*ALL EXISTING SIGNAGE TO BE REPLACED WITH PROPOSED SIGNAGE UNLESS SPECIFIED IN THE DRAWING.

*EXTERNAL FACADE TO BE RETAINED, ONLY DOOR TO BE RELOCATED TO THE CENTER.

SIGNAGE WILL BE PIN INTO THE WALL AND CONSTRUCTION DETAILS TO BE APPROVED BY STRUCTURAL ENGINEER.

MAINTAINING EXTERNAL COLOURS AS FINISH SCHEDULE.

FINISH SCHEDULE OF ALL PROPOSED ENTRANCES:
PROPOSED ENTRANCES TO BE DESIGNED IN A TRADITIONAL CHINESE ARCHITECTURAL STYLE, WITH TIMBER PAINTED IN RED AND BLACK.



1 Proposed Elevation - South (Victoria St)

1 : 100

VISUAL INDICATORS ON GLASS. CONTRASTING LINE SHALL BE NOT LESS THAN 75mm WIDE AND SHALL EXTEND ACROSS THE FULL WIDTH OF THE GLAZING PANEL SHALL BE BETWEEN 900mm & 1000mm ABOVE THE PLANE OF THE FFL. ANY CONTRASTING LINE ON THE GLAZING SHALL PROVIDE A MIN OF 30% LUMINANCE CONTRAST IN ACCORDANCE WITH AS1428.1-2009.

ALL GLAZING WITHIN EXTERNAL WALLS COMPLY WITH AS2047.

NOTE:
ALL DIMENSION FOR EXISTING CONDITION ARE INDICATIVE USE ONLY. MUST BE CONFIRMED ON SITE. HANSO ARCHITECTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF DIMENSIONS TO BE CONFIRMED ON SITE. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, LEVELS AND DIMENSIONS ON THE PRIOR TO THE OFFICE IMMEDIATELY. DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS HAVE PREFERENCE OVER DIMENSIONS SCALED FROM THE DRAWINGS. THESE DRAWINGS TO BE READ IN CONJUNCTION WITH OTHER ASSOCIATED DOCUMENTS AND SPECIFICATIONS. IN THE SCOPE OF WORKS. NOM INDICATES A NOMINAL DIMENSION TO BE CHECKED ON SITE, THIS DRAWINGS IS SUBJECT TO COPYRIGHT.

GENERAL LEGEND

ABOVE RELATIVE LEVEL

EXISTING SIGNAGE - SOUTH

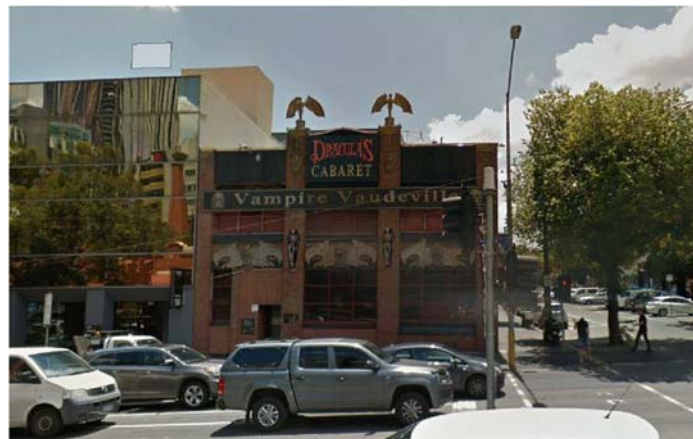
A : 6.98 sqm
B : 13.04 sqm

TOTAL AREA: 20.02 sqm

ALL EXISTING BRICK WALL AND FACADE TO BE RETAINED. THE EXISTING LEON LIGHT ON THE BUILDING FACADE TO BE RETAINED.

SIGNAGE	ILLUMINATION METHOD	TIME
A	INTERNAL ILLUMINATED	6PM-1AM
B	INTERNAL ILLUMINATED	6PM-1AM
C	LIGHT UP BY SPOT LIGHT (PER EXISTING CONDITION)	6PM-1AM
D	LIGHT UP BY SPOT LIGHT (PER EXISTING CONDITION)	6PM-1AM

EXISTING SIGNAGES ON CARDIGAN STREET



CONSTRUCTION NOTES

--- TITLE BOUNDARY



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No.	Date	Description	IB
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2	30/11/2018	Revised according to Town Planner	CLH
1	21/11/2018	Lodge Town Planning	CLH

TOWN PLANNING

SHEET NAME:
Proposed Elevation (Victoria St)

SCALE 1 : 100

SHEET NO.	CLIENT NAME:	DRAWN BY
A109	Owner	LHY
PROJECT NO.	PROJECT ADDRESS:	CHECK BY
1035	100 Victoria St, Carlton	Checker

14/12/2018 4:11:44 PM

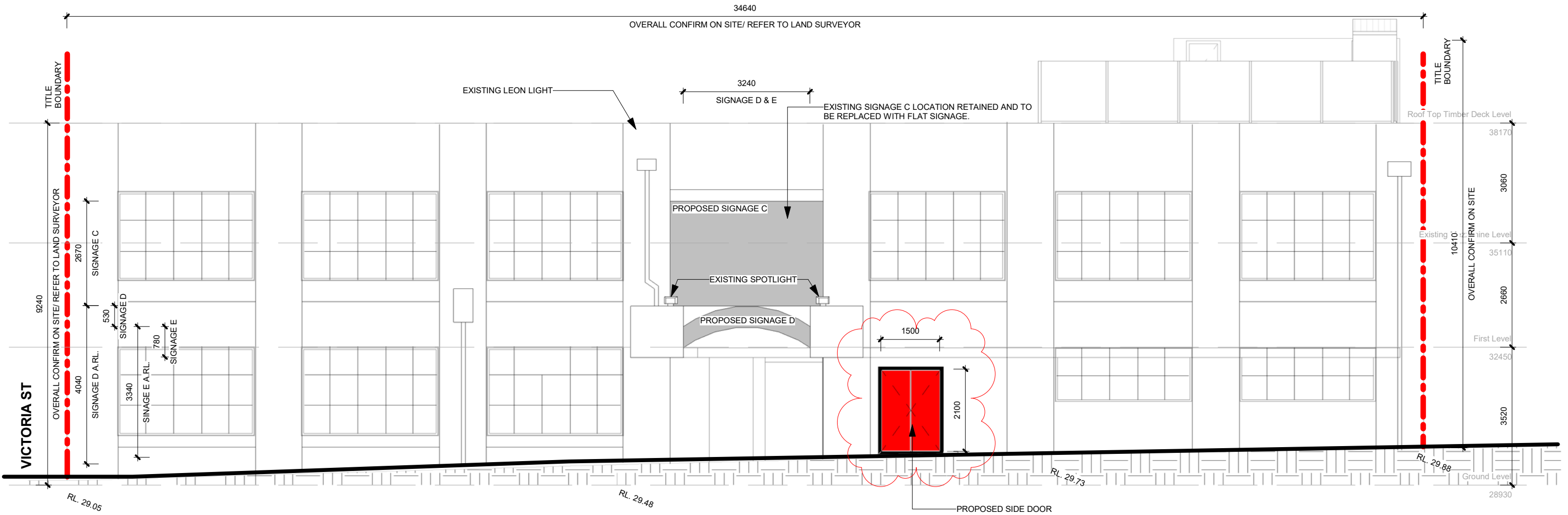
*MAIN ENTRANCE IS NOW SITUATED AT SOUTH ELEVATION. EXISTING ENTRANCE ON EAST ELEVATION TO BE RELOCATED TO THE RIGHT AS SHOWN BELOW.

*ALL EXISTING SIGNAGE TO BE REPLACED WITH PROPOSED SIGNAGE UNLESS SPECIFIED IN THE DRAWING

SIGNAGE WILL BE PIN INTO THE WALL AND CONSTRUCTION DETAILS TO BE APPROVED BY STRUCTURAL ENGINEER.

MAINTAINING EXTERNAL COLOURS AS FINISH SCHEDULE.

FINISH SCHEDULE OF ALL PROPOSED ENTRANCES:
PROPOSED ENTRANCES TO BE DESIGNED IN A TRADITIONAL CHINESE ARCHITECTURAL STYLE, WITH TIMBER PAINTED IN RED AND BLACK.



Proposed Elevation - East (Cardigan St)

1 : 100

VISUAL INDICATORS ON GLASS. CONTRASTING LINE SHALL BE NOT LESS THAN 75mm WIDE AND SHALL EXTEND ACROSS THE FULL WIDTH OF THE GLAZING PANEL SHALL BE BETWEEN 900mm & 1000mm ABOVE THE PLANE OF THE FFL. ANY CONTRASTING LINE ON THE GLAZING SHALL PROVIDE A MIN OF 30% LUMINANCE CONTRAST IN ACCORDANCE WITH AS1428.1-2009.

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GENERAL LEGEND

ABOVE RELATIVE LEVEL

EXISTING SIGNAGE - SOUTH
A : 6.98 sqm
B : 13.04 sqm

TOTAL AREA: 20.02 sqm

ALL EXISTING BRICK WALL AND FACADE TO BE RETAINED. THE EXISTING LEON LIGHT ON THE BUILDING FACADE TO BE RETAINED.

SIGNAGE	ILLUMINATION METHOD	TIME
A	INTERNAL ILLUMINATED	6PM-1AM
B	INTERNAL ILLUMINATED	6PM-1AM
C	LIGHT UP BY SPOT LIGHT (PER EXISTING CONDITION)	6PM-1AM
D	LIGHT UP BY SPOT LIGHT (PER EXISTING CONDITION)	6PM-1AM

EXISTING SIGNAGES ON VICTORIA STREET



CONSTRUCTION NOTES

--- TITLE BOUNDARY



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1	21/11/2018	Lodge Town Planning	CLH

TOWN PLANNING

SHEET NAME:
Proposed Elevation (Cardigan St)

SCALE 1 : 100

SHEET NO.	CLIENT NAME:	DRAWN BY
A109.1	Owner	LHY
PROJECT NO.	PROJECT ADDRESS:	CHECK BY
1035	100 Victoria St, Carlton	Checker

14/12/2018 4:11:48 PM



Proposed Elevation - North

1

1 : 100

VISUAL INDICATORS ON GLASS. CONTRASTING LINE SHALL BE NOT LESS THAN 75mm WIDE AND SHALL EXTEND ACROSS THE FULL WIDTH OF THE GLAZING PANEL SHALL BE BETWEEN 900mm & 1000mm ABOVE THE PLANE OF THE FFL. ANY CONTRASTING LINE ON THE GLAZING SHALL PROVIDE A MIN OF 30% LUMINANCE CONTRAST IN ACCORDANCE WITH AS1428.1-2009.

ALL GLAZING WITHIN EXTERNAL WALLS COMPLY WITH AS2047.

NOTE:
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EXISTING SINGAGES ON CARDIGAN STREET



CONSTRUCTION NOTES

ALL EXISTING BRICK WALL AND FACADE TO BE RETAINED. THE EXISTING NEON LIGHT ON THE BUILDING FACADE TO BE RETAINED.

THE SIGNAGE FACING VICTORIA ST. WILL BE SELF ILLUMINATED. THE OTHER SIGNAGE AT THE SIDE ENTRANCE WILL BE LIGHTED UP BY SPOT LIGHT AS PER THE EXISTING CONDITION.

--- TITLE BOUNDARY



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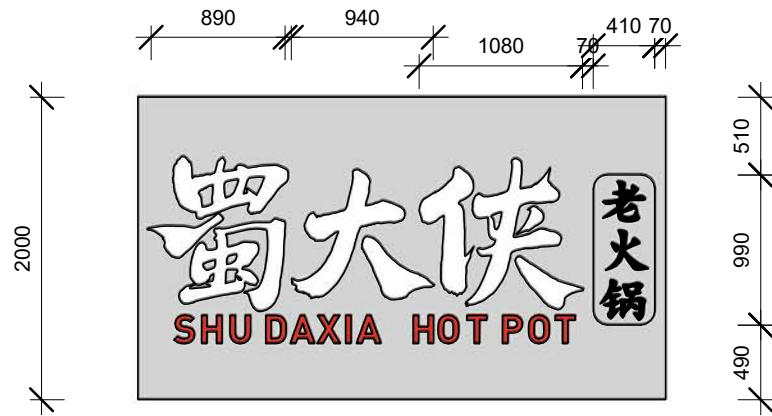
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2	30/11/2018	Revised according to Town Planner	CLH
1	21/11/2018	Lodge Town Planning	CLH

TOWN PLANNING

SHEET NAME:
Proposed Elevation

SCALE 1 : 100

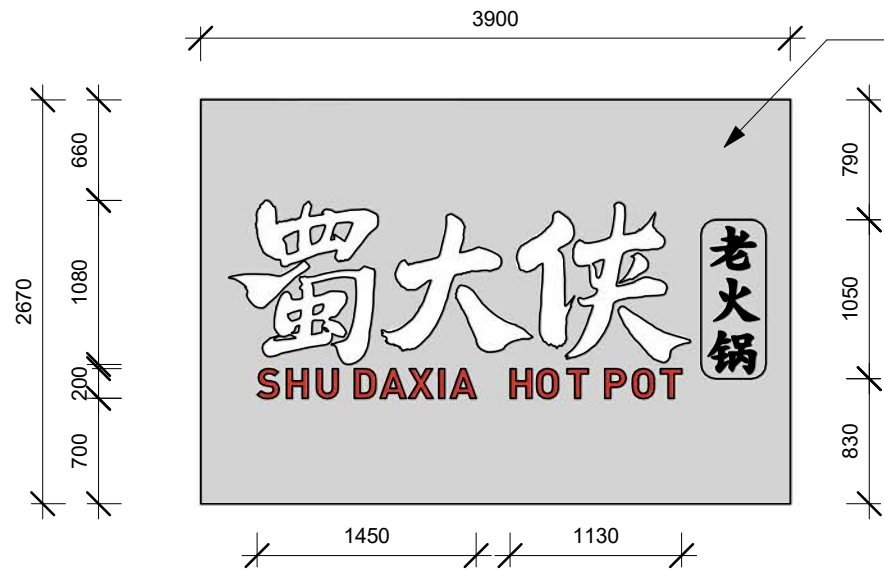
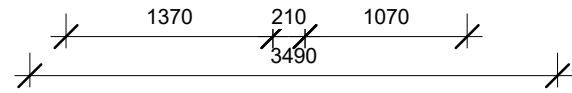
SHEET NO. A109.2	CLIENT NAME: Owner	DRAWN BY LHY
PROJECT NO. 1035	PROJECT ADDRESS: 100 Victoria St, Carlton	CHECK BY Checker



PROPOSED SIGNAGE A

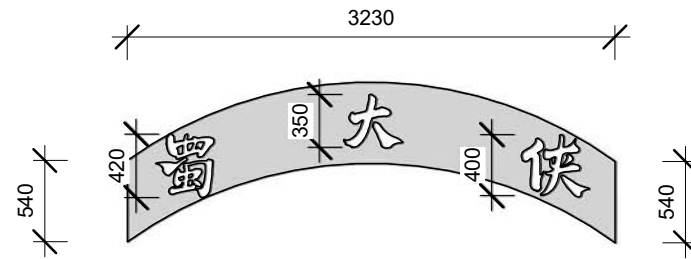


PROPOSED SIGNAGE B



PROPOSED SIGNAGE C

EXISTING SIGNAGE C LOCATION RETAINED AND TO BE REPLACED WITH FLAT SIGNAGE.



PROPOSED SIGNAGE D

SIGNAGE WILL BE PIN INTO THE WALL AND CONSTRUCTION DETAILS TO BE APPROVED BY STRUCTURAL ENGINEER.



COLOUR SCHEME REFER THIS PICTURE

Details Of Singages

1 1 : 50

VISUAL INDICATORS ON GLASS. CONTRASTING LINE SHALL BE NOT LESS THAN 75mm WIDE AND SHALL EXTEND ACROSS THE FULL WIDTH OF THE GLAZING PANEL SHALL BE BETWEEN 900mm & 1000mm ABOVE THE PLANE OF THE FFL. ANY CONTRASTING LINE ON THE GLAZING SHALL PROVIDE A MIN OF 30% LUMINANCE CONTRAST IN ACCORDANCE WITH AS1428.1-2009.

ALL GLAZING WITHIN ENXTERNAL WALLS COMPLY WITH AS2047.

NOTE: ALL DIMENSION FOR EXISTING CONDITION ARE INDICATIVE USE ONLY. MUST BE CONFIRMED ON SITE. HANSO ARCHITECTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF DIMENSIONS TO BE CONFIRMED ON SITE. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, LEVELS AND DIMENSIONS ON THE PRIOR TO THE OFFICE IMMEDIATELY. DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS HAVE PREFERENCE OVER DIMENSIONS SCALED FROM THE DRAWINGS. THESE DRAWINGS TO BE READ IN CONJUNCTION WITH OTHER ASSOCIATED DOCUMENTS AND SPECIFICATIONS. IN THE SCOPE OF WORKS. NOM INDICATES A NOMINAL DIMENSION TO BE CHECKED ON SITE, THIS DRAWINGS IS SUBJECT TO COPYRIGHT.

PROPOSED SIGNAGES - SOUTH

A : 6.98 sqm
B : 13.04 sqm

TOTAL AREA: 20.02 sqm

PROPOSED SIGNAGE - EAST

C : 8.65 sqm
D : 1.7sqm

TOTAL AREA: 10.35 sqm

TOTOAL AREA ON SOUTH AND EAST: 30.37sqm

SIGNAGE	ILLUMINATION METHOD	TIME
A	INTERNAL ILLUMINATED	6PM-1AM
B	INTERNAL ILLUMINATED	6PM-1AM
C	LIGHT UP BY SPOT LIGHT (PER EXISTING CONDITION)	6PM-1AM
D	LIGHT UP BY SPOT LIGHT (PER EXISTING CONDITION)	6PM-1AM



HANSO ARCHITECTS

A 394 - 396 BURKE ROAD, CAMBERWELL, 31254 VICTORIA, AUSTRALIA
W www.hanso.com.au E design@hanso.com.au T 03 9939 3693
ACN 71 624 791 171 ALL DRAWINGS SUBJECT TO COPYRIGHT

No.	Date	Description	IB
3	04/12/2018	2nd Revision according to Town Planner	CLH
1	21/11/2018	Lodge Town Planning	CLH

TOWN PLANNING

SHEET NAME:
Details of Signages

SCALE 1 : 50

SHEET NO.	CLIENT NAME:	DRAWN BY
A110	Owner	LHY
PROJECT NO.	PROJECT ADDRESS:	CHECK BY
1035	100 Victoria St, Carlton	Checker

Annexure F

Page 93 of 112
VIC LANDATA - Title History Historical Search

VIC LANDATA - Title History

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HISTORICAL SEARCH STATEMENT Land Use Victoria

Produced 13/02/2019 10:02 AM

Volume 6302 Folio 348

Folio Creation: Created as paper folio continued as computer folio

Parent title Volume 03604 Folio 777

THE IMAGE OF THE FOLIO CEASED TO BE THE DIAGRAM LOCATION ON 09/05/2003 05:05:29 AM

RECORD OF HISTORICAL DEALINGS

Date Lodged for Registration	Date Recorded on Register	Dealing	Imaged	Dealing Type and Details
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RECORD OF VOTS DEALINGS

Date Lodged for Registration	Date Recorded on Register	Dealing	Imaged
------------------------------	---------------------------	---------	--------

21/06/2018	21/06/2018	AR156374Q (E)	N
------------	------------	---------------	---

CAVEAT

CAVEAT AR156374Q 21/06/2018

Caveator

WEI ZHOU

Grounds of Claim

PURCHASERS' CONTRACT WITH THE FOLLOWING PARTIES AND DATE.

Parties

THE REGISTERED PROPRIETOR(S)

Date

25/05/2018

Estate or Interest

FREEHOLD ESTATE

Prohibition

ABSOLUTELY

Lodged by

PCL LAWYERS

Notices to

JULIA NGO of LEVEL 8 446 COLLINS STREET MELBOURNE VIC 3000

19/09/2018	19/09/2018	AR468939B (E)	N
------------	------------	---------------	---

WITHDRAWAL OF CAVEAT

CAVEAT AR156374Q REMOVED

20/09/2018 20/09/2018 AR471729U (E) N

CONVERT PCT AND NOMINATE ECT TO LODGEMENT CASE
LC Id: 3188613
Removed by Dealing AR481544B

24/09/2018 24/09/2018 AR481544B (E) N

TRANSFER OF LAND BY ENDORSEMENT
FROM:
Z.V. NOMINEES PTY LTD
TO:
EXCELLION INVESTMENTS PTY LTD 621976154
RESULTING PROPRIETORSHIP:
Estate Fee Simple
Sole Proprietor
EXCELLION INVESTMENTS PTY LTD of 1 CHELMSFORD AVENUE EPPING NSW 2121
AR481544B 24/09/2018

CANCELLED

27/11/2018 27/11/2018 AR695600A (E) N

TRANSFER CONTROL OF AN ELECTRONIC CERTIFICATE OF TITLE

27/11/2018 27/11/2018 AR697704B (E) N

APPLICATION TO NOMINATE AN ECT TO AN ELECTRONIC INSTRUMENT
ELF Id: 3440885
Removed by Dealing AR697713A

27/11/2018 27/11/2018 AR697713A (E) N

MORTGAGE OF LAND
MORTGAGE AR697713A 27/11/2018
WESTPAC BANKING CORPORATION

STATEMENT END

VOLUME 06302 FOLIO 348

124072499400H
Produced 21/06/2018 05:46 pm

LAND DESCRIPTION

Lot 1 on Title Plan 386768P (formerly known as part of Crown Allotment 1
Section 16 at Carlton Parish of Jika Jika).
PARENT TITLE Volume 03604 Folio 777
Created by instrument 1704299 13/09/1938

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor
Z.V. NOMINEES PTY LTD of 117 CHURCH ST HAWTHORN
R133797W 12/12/1990

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP386768P FOR FURTHER DETAILS AND BOUNDARIES

**Delivered from the LANDATA® System by SAI Global Property Division Pty Ltd
Delivered at 13/02/2019, for Order Number 55463549. Your reference: 5788023.**

H977094



Entered in the Register Book

Vol. 6302 Fol.

1260348

2.8.89
J.S.

VICTORIA.

Certificate of Title,

UNDER THE "TRANSFER OF LAND ACT 1928."

Ross Robbins Proprietary Limited of 98 Victoria Street Carlton is -----
now the proprietor of an Estate in Fee-simple, subject to the Encumbrances
notified hereunder in **All** that piece of Land, delineated and coloured
red and blue on the map in the margin being part of Crown Allotment One Section---
Sixteen at Carlton Parish of Jika Jika County of Bourke - As to the land colored
blue Together with a right to use the land colored yellow on the said map for ----
party wall purposes -----

ORIGINAL CERTIFICATE:
Not to be dealt with outside the Titles Office.

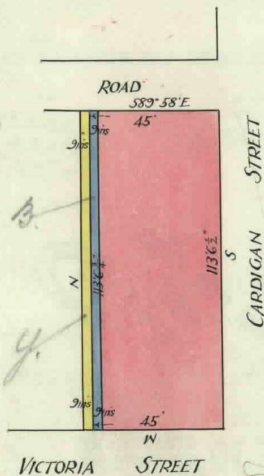
Dated the Thirteenth day of September One
thousand nine hundred and thirty-eight.

R. Hewison
Assistant Registrar of Titles.



ENCUMBRANCES REFERRED TO.

As to the land colored blue ---
THE PARTY WALL EASEMENT created by Instrument
No.702881 in the Register Book-----



3604 — 777



T06302-348-1-2

The Measurements are in feet and inches

Delivered
on 13/02/2019 10:03
LANDATA®
Both text and diagram on this file have been fully converted to a computer file.
FULLY CONVERTED TITLE

Vol. 3604 Fol. 720777

Transfer. 1704299

Application.

CATRA LIMITED of 123 York Street Sydney New South Wales is now the proprietor Registered 17th December 1973 No.F136118

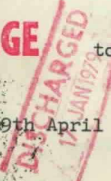


CAVEAT No. F526501 LODGED 19th Nov. 76

CAVEAT WITHDRAWN 5 JUN 1975



MORTGAGE to COMMERCIAL & GENERAL ACCEPTANCE LIMITED Registered 9th April 1974 No.F266442



CAVEAT No. H275901 LODGED 20th Oct 78

CAVEAT WITHDRAWN 21 FEB 1980 AS TO THE WITHIN LAND



CAVEAT No. H446918 LODGED 16 MAR 1979 21 FEB 1980

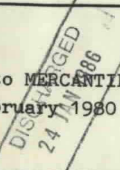
CAVEAT WITHDRAWN AS TO THE WITHIN LAND



BELGRAVE NOMINEES PTY. LTD. of 381 Punt Road Richmond and APOGEE BUILDING PTY. LTD. of 114 William Street Melbourne are now proprietors as TENANTS IN COMMON IN EQUAL SHARES Registered 21st February 1980 No.H877096



MORTGAGE to MERCANTILE CREDITS LIMITED Registered 21st February 1980 No.H877097



CAVEAT No. K510148 LODGED 18 AUG 1983 CAVEAT WITHDRAWN - 5 JAN 1984



CAVEAT No. K709231 LODGED 5/1/84

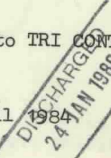
CAVEAT WILL LAPSE ON REGISTRATION OF 1830595



23 MAY 1984

MORTGAGE to TRI CONTINENTAL FINANCE CORPORATION LIMITED

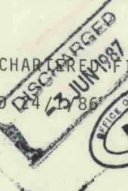
Registered 9th April 1984 No.K837784S



MORTGAGE STICHTING ADMINISTRATIE ANTWOOR ORCO AUSTRALIAN MORTGAGE FUND REGISTERED 10/11/83 M81344H



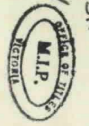
MORTGAGE STANDARD CHARtered FINANCE LIMITED REGISTERED 24/3/85 M102185T



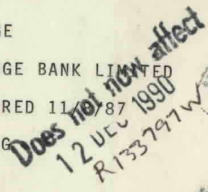
CAVEAT No. M762691 LODGED 23 MAR 1987 CAVEAT WILL LAPSE ON REGISTRATION OF M983133K



PROPRIETOR - IOAKIM-IOKIM ALEKOZOGLOU OF 138 MELVILLE RD. WEST BRUNSWICK REGISTERED 11/8/87 M983133K



MORTGAGE CHALLENGE BANK LIMITED REGISTERED 11/8/87 M983134G



CAVEAT No. K510148 LODGED 18 AUG 1983 CAVEAT WITHDRAWN - 5 JAN 1984

MORTGAGE TO STATE BANK OF VICTORIA

Registered 14 SEP 1986 No. P4274594



ENDORSEMENTS CONTINUE ON ANNEXED SHEET MARKED A COMMENCING WITH R65750K

Delivered by LANDATA®. This is a scanned copy of a document. Both text and figures for this form have been duly converted to a computer file. FULLY CONVERTED TITLE REGISTER

Amended No. 7648865A - 14 SEP 1986 G.J.N. VICTORIA



This is the Sheet marked **A** referred to in the Certificate of Title entered in the Register Book Vol. **630** Fol. **345**

ORIGINAL



Assistant Registrar of Titles

CAVEAT

CAVEATOR: Z.V. NOMINEES PTY. LTD.
CAPACITY: PURCHASER/FEE SIMPLE
LODGED BY: 1265E MOLOMBY & MOLOMBY OF 575 BOURKE ST.
MELBOURNE 3000
NOTICE TO: AS ABOVE
NO: R65750K
DATE: 26/10/90



CAVEAT WILL LAPSE ON
REGISTRATION OF **R133797W**
12 DEC 1990



PROPRIETOR

Z.V. NOMINEES PTY. LTD. OF 117 CHURCH ST. HAWTHORN
R133797W 12/12/90

MORTGAGE DISCHARGED

ARGYLE INVESTMENTS PTY. LTD.
R276447B 27/3/91
21 APR 1991



T06302-348-2-1

V.L. 8302 PL. 348

THE LAND ACT 1958
 THE LAND USE (ZONING) ACT 1988
 THE LAND USE (ZONING) REGULATIONS 1996
 THE LAND USE (ZONING) ACT 1988 (AMENDMENT) ACT 2002
 THE LAND USE (ZONING) ACT 1988 (AMENDMENT) ACT 2004
 THE LAND USE (ZONING) ACT 1988 (AMENDMENT) ACT 2006
 THE LAND USE (ZONING) ACT 1988 (AMENDMENT) ACT 2008
 THE LAND USE (ZONING) ACT 1988 (AMENDMENT) ACT 2010
 THE LAND USE (ZONING) ACT 1988 (AMENDMENT) ACT 2012
 THE LAND USE (ZONING) ACT 1988 (AMENDMENT) ACT 2014
 THE LAND USE (ZONING) ACT 1988 (AMENDMENT) ACT 2016
 THE LAND USE (ZONING) ACT 1988 (AMENDMENT) ACT 2018

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 on 13/02/2019
 by LANDATA
 FULLY CONVERTED TITLE
 THIS IS A FULLY CONVERTED TITLE
 Both text and diagram for this Folio have been fully converted to a computer Folio.

13 February 2019

Parvesh Siroha
Town Planner
Smart Planning and Design
Level 4, 80 Market Street
SOUTH MELBOURNE VIC 3205

Dear Parvesh,

RE: 100 VICTORIA STREET, CARLTON – LOADING & WASTE COLLECTION

Council Permit Reference: TP-2018-994

In response to a letter to Melbourne City Council from RMIT University dated 5 February 2019, this letter of advice is provided to address the outlined concerns.

RMIT have raised a number of concerns in reference to SALT's Waste Management Plan (WMP) dated 24 January 2019, relating to waste collection within the laneway at the rear of 100 Victoria Street (Council Lane 1514), which currently facilitates waste collection for 100 Victoria Street, in addition to access to the neighbouring 102-104 Victoria Street and RMIT's car parking complex.

It is understood that Melbourne City Council propose to discontinue Council Laneway 1514 and sell the land. RMIT and the owner of 100 Victoria Street have both expressed interest in purchasing this land. SALT's response below remains applicable whether the land remains to be managed by Council, or if sold to a private entity. In the case that the laneway falls under private ownership, it is our belief that a carriageway easement must be adopted, allowing the laneway to continue facilitating waste collection, deliveries and emergency building access, as per the existing arrangement.

SALT has assessed RMIT's concerns in detail from a traffic engineering perspective and our advice for each point is as follows:

- **Concern 1: SALT's WMP suggests use of the RMIT owned site as potential to facilitate a turning manoeuvre for waste trucks.**

This was a Council-preferred option to allow waste collection trucks to enter/exit Cardigan Street in a forward direction.

Swept paths are provided in **Appendix 1**, detailing how both a 6.4m or 8.8m waste collection vehicle could collect waste from the site, without utilising RMIT's outdoor car park as a turnaround area.

Trucks are shown reversing into the laneway and departing to Cardigan Street in a forward direction, although the opposite could also occur. Whilst achieving both forward ingress and egress is generally the most desirable outcome, this is simply not achievable and has not been possible since the creation of the title allotment in 1938. This is equally true of many laneways within the Melbourne CBD and is a commonplace practice.

- **Concern 2: Swept paths indicate that the waste truck is located centrally within the laneway, blocking through access to other properties from the laneway.**

The revised swept paths attached in **Appendix 1** indicate that there is sufficient space available within the laneway to facilitate for waste collection, whilst maintaining access to properties beyond.

It is noted that the existing occupancy has previously utilised the laneway to store bins, however under the new proposal these bins will be stored within the premises, hence providing additional space within the laneway to perform collection. This is hence an improvement upon the existing situation.

- ***Concern 3: RMIT believe a 'loading zone' should be delineated on the laneway to ensure access to properties beyond.***

Under the existing arrangement there is no loading zone delineated with line marking. 'Loading Zone' signage is instead used for this purpose.

The removal of bins stored within the laneway will enable truck drivers to park closer to the building, thus providing more room for cars to pass a truck when waste collection or loading activities are taking place.

Delineating a 4.0m wide loading zone, as suggested, would in effect reduce the carriageway width down to one lane. This would be a poor outcome for the vast majority of the time when there are no trucks stopped in the laneway.

Further, line marking the bluestone surface would be an undesirable outcome, requiring ongoing maintenance from the Council or new owner (if the land sale proceeds).

- ***Concern 4: In addition to the linemarked loading zone, RMIT believe a permit condition should be imposed relating to loading vehicles having to carry out loading from within the loading bay.***

From a traffic engineering perspective, all loading and unloading should be carried out from as close to the premises as possible in any situation, regardless of permit conditions.

- ***In the alternative if City of Melbourne were not supportive of the waste truck undertaking a reversing manoeuvre into Cardigan Street, we note there is on street carparking that could be made available for loading.***

This is not particularly practical for waste collection as the proposed 1,100 litre bins would have to be wheeled across the Council footpath and into the street.

It would also require the loss of two public car parking spaces for the gain of a loading zone that only services the one property, noting that other nearby properties are generally offices that do not have a significant need for an on-street loading zone.

In addition to the responses above, SALT also recommend the use of a 6.4m Garwood Miner (or similar) waste collection vehicle for the premises at 100 Victoria Street. The size of this vehicle is adequate to accommodate the amount of waste generated by the proposal. The truck will also utilise considerably less space within the laneway than that of an 8.8m MRV, hence providing additional space for more comfortable access to properties accessed via the laneway. Details of the 6.4m configuration can be seen attached in Appendix 1.

If there are any enquiries in relation to this assessment, I can be contacted on the number below.

Yours sincerely,

Jarrod Wicks
Associate

T: (03) 9020 4225

E: jarrod.wicks@salt3.com.au

APPENDIX 1

REVISED SWEEP PATHS

DRAFT



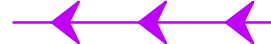


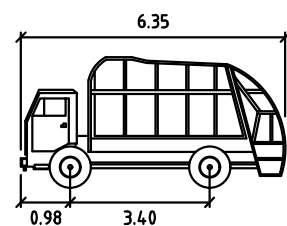
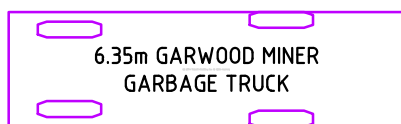
INGRESS

EGRESS



VEHICLE LEGEND

-  6.35m GARBAGE TRUCK 600mm CLEARANCE
-  6.35m GARBAGE TRUCK OVERHANG
-  6.35m GARBAGE TRUCK CENTRELINE



6.35m GARWOOD MINER
 Width : 1.84 meters
 Track : 1.84
 Lock to Lock Time : 6.0
 Steering Angle : 45.4

18450T SK001a

6.35M GARWOOD MINER
 SWEEP PATH MANOEUVRE
 C.A. 13.02.2019



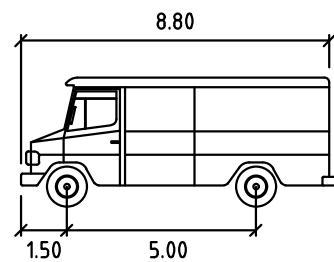
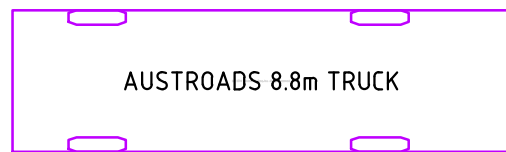
INGRESS

EGRESS



VEHICLE LEGEND

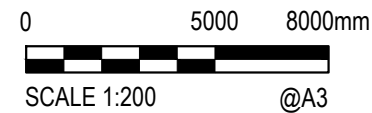
- 8.8m TRUCK 600mm CLEARANCE
- 8.8m TRUCK OVERHANG
- 8.8m TRUCK CENTRELINE



SERVICE VEHICLE	metres
Width	: 8.80
Track	: 1.50
Lock to Lock Time	: 5.00
Steering Angle	: 38.70

18450T SK002a

8.8M MRV
 SWEEP PATH MANOEUVRE
 C.A. 13.02.2019





Property Services
GPO Box 2476
Melbourne VIC 3001
Australia
Tel. + 61 3 9925 2290
www.rmit.edu.au

13 February 2019

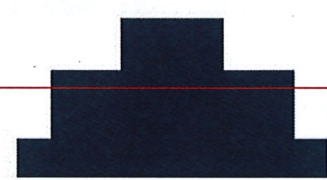
Manager Governance and Legal
Melbourne City Council
GPO Box 1603
MELBOURNE VIC 3001
Via email: com.meetings@melbourne.vic.gov.au

Dear Sir/Madam

Re: Proposed Discontinuance and Sale of Various Lanes and Land to RMIT

RMIT University is a major landholder in South Carlton with the precinct a key component of RMIT's tertiary education offer.

All of the laneways subject to discontinuance and sale are located within South Carlton and enjoy immediate adjacencies to properties owned by RMIT (refer image below). The laneways all have a direct association with RMIT and are generally used for either vehicular or pedestrian access, primarily by persons associated with the University.



As RMIT do rely on these laneways, having full control over them will remove any uncertainty regarding longer term access. Further, we are excited at the possibilities that the laneway acquisition project will create in terms of creating enhanced connectivity and potential land consolidation to enable future development in support of the Melbourne Innovation District (MID) and the development of RMIT's social innovation precinct.

We are aware that one submission will be made by the owners of 100 Victoria Street (former Dracula's site) which is located to the immediate south of Council Lane 1514. This site has frontages to Victoria Street, Cardigan Street and CL1514.

Whilst we recognise that this site has traditionally utilised the eastern most portion of CL1514 for loading and waste management, we believe that these functions can continue to occur even with the sale of the laneway to RMIT.

RMIT have been in discussions with that landowner and have put to them the potential for a 'loading area' to be provided as an easement on title. This will allow the full laneway to be purchased by RMIT but to also allow for the adjoining property to continue their loading and emergency access functions. This is not to say that that component of the laneway would be exclusively available to the occupiers of the 100 Victoria Street property, but rather they will have the ability to use it for loading as per the current situation.

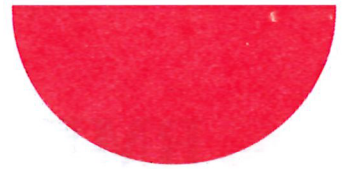


In the alternative, City of Melbourne could continue with the sale of the majority of the laneway and only retain that portion immediately adjacent to 100 Victoria Street (that is the 4m width illustrated below) at the appropriately adjusted purchase price. It is RMIT's expectation that the loading zone on the land would not be exclusively for 100 Victoria Street and that the City of Melbourne would continue to manage it appropriately.



The acquisition of these titles is a critical component of the development of the Melbourne Innovation District (MID). The MID project is a commitment made by RMIT University, Melbourne University and City of Melbourne which focuses on co-investment, co-develop and co-design of the CBD north to develop it as a focus for innovation and experimentation for the future of the whole city. Through this laneway acquisition RMIT will be better able to contribute to the City of Melbourne's Urban Realm Action Plan for CBD North.

MID will provide more opportunities for Melbourne's knowledge workers, researchers, students, business and community organisations to connect and collaborate, creating innovative ideas essential for the city to continue to thrive and prosper



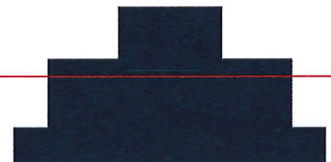
These laneways will help us to develop the kind of high-quality liveability and public realm improvements that connect RMIT to the city and contribute the development of a global smart city, driving investment into education and shaping the city's future.

We would be happy to discuss this submission with Council and look forward to putting our position at the meeting of the Committee on 7 March 2019.

In the interim, please do not hesitate to contact Ian Hancock on 9925 2290.

Yours sincerely

Chris Hewison
Executive Director, Property Services and
Chief Procurement Officer





Property Services

GPO Box 2476
Melbourne VIC 3001
Australia

Tel. + 61 3 9925 2290

www.rmit.edu.au

6 February 2019

Mr David Zhou
Director – National Sales Manager
Electra Cables (Australia) Pty Ltd
21-23 Pavesi Street,
Guilford NSW 2161

Via email: david.zhou@electracables.com.au

Dear Mr. Zhou

Re: Proposed Discontinuance and Sale of CL1514 (rear of 100 Victoria Street, Carlton)

Thank you for taking the time to meet and discuss with us our future plans for Council Laneway 1514 which adjoins your property at 100 Victoria Street, Carlton with University owned parcels.

We understand your concerns and as discussed, recognise the current use of a small portion of the laneway for loading and waste management adjacent to your property.

Your concerns raised with us were:

- Loading bay
- Fire escape

To accommodate this, we propose for an easement on our to be acquired property be included in the consolidated title as part of the discontinuance and acquisition process.

Our traffic engineers have confirmed that a four (4) metre easement should address your requirements. We have attached drawing of what this looks like for your reference.

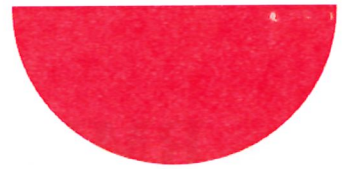
Can you please review and confirm by Monday 11 February that the proposed easement is satisfactory to your needs by signing and returning this document to our office.

If you have any further queries or concerns, I am available to discuss these with you.

Yours sincerely

Chris Hewison
Executive Director, Property Services and
Chief Procurement Officer

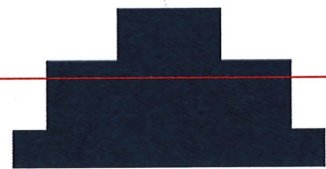




I confirm that the proposed easement has been reviewed and is satisfactory to requirements.

Name: David Zhou

Date:



11 February 2019

Chris Hewison
Executive Director, Property Services
and Chief Procurement Officer, RMIT
GPO Box 2476
Melbourne VIC 3001

Dear Mr. Hewison,

Proposed Discontinuance and Sale of Laneway CL1514

We act on behalf of Excellion Investments Pty Ltd (Client), the registered proprietor of the property located at 96-100 Victoria Street, Carlton, and we refer to your letter to our Client dated 6 February 2019.

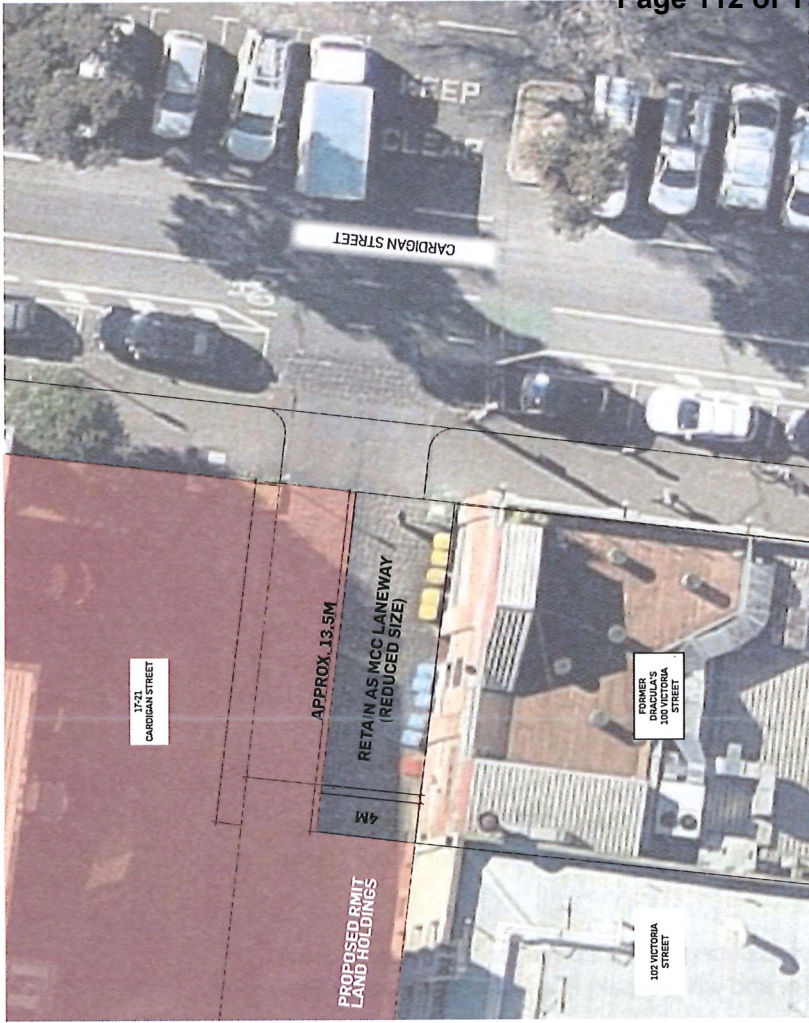
We can confirm that our Client is currently considering its position regarding the proposed discontinuance and sale of Laneway CL1514, and will be making a formal submission to Council in due course.

Yours faithfully,

James Lofting
Partner
HWL Ebsworth Lawyers

+61 3 8644 3414
jlofting@hwle.com.au

Adelaide
Brisbane
Canberra
Darwin
Hobart
Melbourne
Norwest
Perth
Sydney



OPTION 2:



OPTION 1: