

Report to the Future Melbourne (Planning) Committee

Agenda item 6.2

**Ministerial Planning Referral: TPMR-2016-23/A
681-693 Collins Street, Docklands
Melbourne Quarter Tower (Stage C2)**

16 April 2019

Presenter: Jane Birmingham, Practice Leader Land Use and Development

Purpose and background

1. The purpose of this report is to advise the Future Melbourne Committee of a Ministerial Planning Application seeking to amend an existing planning permit for the land at 681-693 Collins Street, Docklands (refer to Attachment 2). The existing Ministerial Permit PA1600147 allows for use of the land for retail and child care and the staged construction of a mixed use building comprising office, retail, child care, public realm areas, laneways and associated works in accordance with the endorsed plans. The development is known as Melbourne Quarter Tower (Stage C2 of the Commercial Precinct of the Batman's Hill Development Plan).
2. This application seeks approval to make changes to the design of the development by increasing the overall height of the tower by five levels, altering the materiality and presentation of the tower and podium and revising the shape of the tower floorplate to be curvilinear. Other amendments include removing the child care use, various changes to the surrounding ground plane and lower levels and the ownership arrangements for the North-South Lane. As a result of these changes, amendments to the existing permit preamble and conditions are also necessary.
3. The applicant is Lendlease C/- Contour Consultants, the owner of the land is Development Victoria and the architect is Woods Bagot.
4. The land is located within the Docklands Zone Schedule 3 and is affected by Design and Development Overlay Schedule 12 (Noise attenuation), Development Plan Overlay Schedule 4 (Batman's Hill Precinct) and Parking Overlay Schedule 7 (Docklands – Batman's Hill).

Key issues

5. The key issues for consideration are compliance with the approved development plan, built form, wind and shadow impacts, and engineering and ESD considerations.
6. The amended development remains generally in accordance with the relevant Development Plan's building envelopes and heights, land use table and the public realm including Melbourne Square, Market Place Lane East, North-South Lane and East-West Connection.
7. The revisions to the tower design enhance the overall appearance of the building while also breaking up its mass, particularly when viewed from Spencer Street.
8. The changes to the podium are supported as they add to the variety of architectural elements and visual interest to the lower levels resulting in more engaging retail shopfronts and surrounding ground plane.
9. The overshadowing is compliant with the requirements of the development plan. Equally, wind impacts are considered to be appropriate and consistent with the development plan.
10. A number of permit conditions have been recommended to ensure the tower is appropriately articulated and that the pedestrian environment around the development is improved.

Recommendation from management

11. That the Future Melbourne Committee resolves to advise the Department of Environment, Land, Water and Planning (DELWP) that the Melbourne City Council does not object to the application subject to conditions outlined in the delegate report (refer to Attachment 4).

Attachments:

1. Supporting Attachment (Page 2 of 53)
2. Locality Plan (Page 3 of 53)
3. Selected Plans (Page 4 of 53)
4. Delegate Report (Page 30 OF 53)

Supporting Attachment

Legal

1. The Minister for Planning is the Responsible Authority for determining this application. Council is a recommending referral authority under Section 55 of the Planning and Environment Act 1987.

Finance

2. There are no direct financial issues arising from the recommendations contained within this report.

Conflict of interest

3. No member of Council staff, or other person engaged under a contract, involved in advising on or preparing this report has declared a direct or indirect interest in relation to the matter of the report.

Health and Safety

4. Relevant planning considerations such as traffic and waste management and potential amenity impacts that could impact on health and safety have been considered within the planning permit application and assessment process.

Stakeholder consultation

5. Council officers have not undertaken public notice of the application or referred this to any other referral authorities. This is the responsibility of the Department of Environment, Land, Water and Planning acting on behalf of the Minister for Planning.

Relation to Council policy

6. Relevant Council policies are discussed in the attached delegate report (refer to Attachment 4).

Environmental sustainability

7. The Environmentally Sustainable Design (ESD) Report submitted with the application demonstrates that the development will achieve the ESD performance requirements of Clause 22.19 (Energy, Water and Waste Efficiency) and Clause 22.23 (Stormwater Management).
8. Permit conditions requiring implementation of the ESD initiatives are recommended.

Locality Plan

Attachment 2
Agenda item 6.2
Future Melbourne Committee
16 April 2019

2-42 Aurora Lane & 681-693 Collins Street, Docklands (Melbourne Quarter)





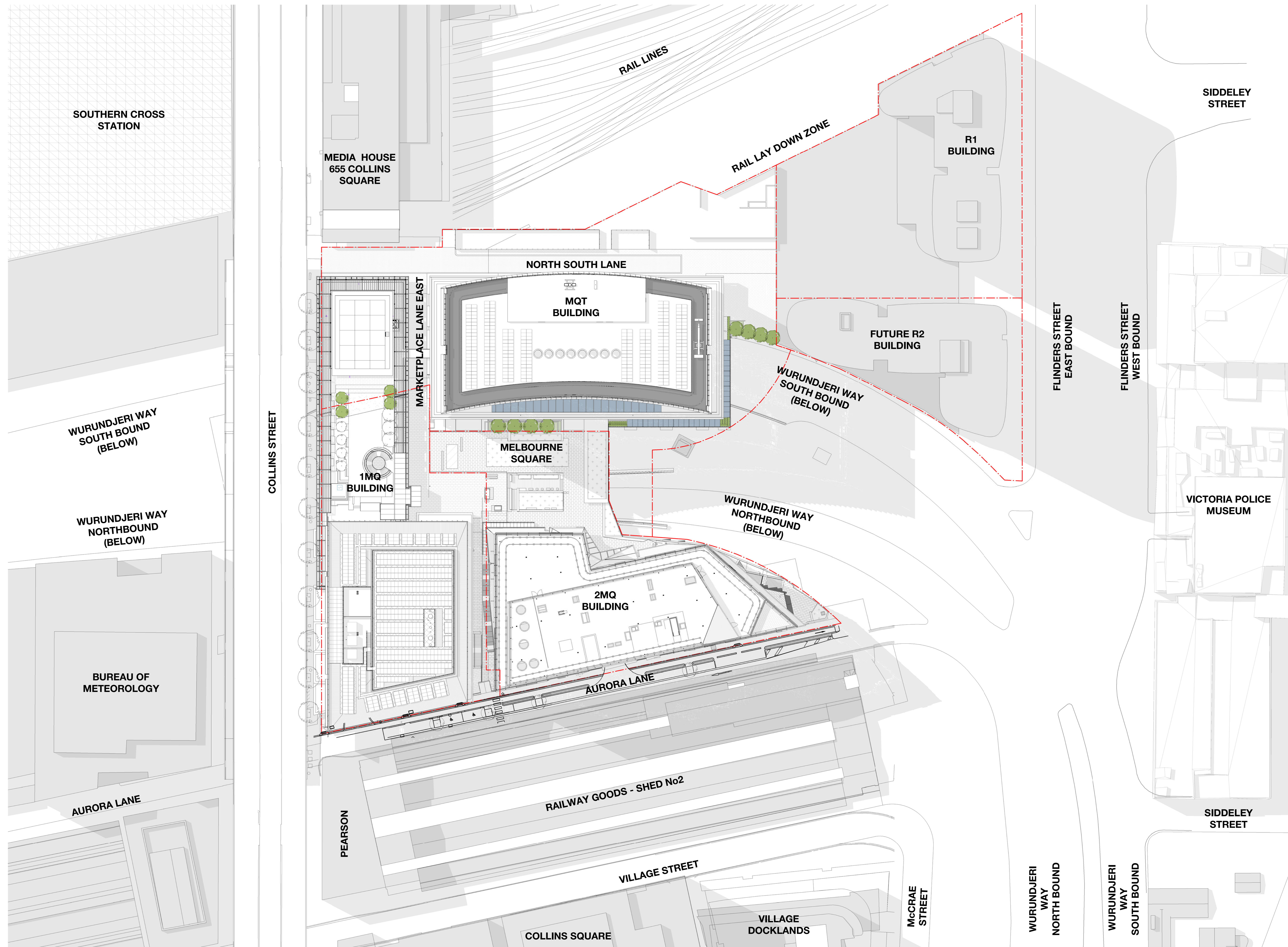
MELBOURNE QUARTER TOWER

DRAWING LIST - Planning

| Drawing Number | Sheet Title | |
|------------------|---------------------|--|
| MQT_AD_PS_00000 | Cover sheet | Cover Sheet |
| MQT_AD_PS_00010 | Site Context | Context Plan - Aerial |
| MQT_AD_PS_000120 | Site Context | Context Plan - Collins Street |
| MQT_AD_PS_000150 | Shadow Diagrams | Winter Solstice & Spring Equinox Shadow Diagrams |
| MQT_AD_PS_000401 | Site Context | North Elevation - Collins Street |
| MQT_AD_PS_000402 | Site Context | East Elevation |
| MQT_AD_PS_000403 | Site Context | South Elevation |
| MQT_AD_PS_000404 | Site Context | West Elevation |
| MQT_AD_PS_000405 | Site Context | Market Place Lane East Elevation |
| MQT_AD_PS_000511 | Site Context | Longitudinal Section - Sheet 1 |
| MQT_AD_PS_000512 | Site Context | Longitudinal Section - Sheet 2 |
| MQT_AD_PS_000521 | Site Context | Cross Sections - Sheet 1 |
| MQT_AD_PS_000522 | Site Context | Cross Sections - Sheet 2 |
| MQT_AD_PS_102000 | Basement Floor Plan | Level B2 - L&R Pit |
| MQT_AD_PS_103000 | Basement Floor Plan | Level B2 |
| MQT_AD_PS_104000 | Basement Floor Plan | Level B1 |
| MQT_AD_PS_200000 | Podium Floor Plan | Level 01 - Ground Floor |
| MQT_AD_PS_201000 | Podium Floor Plan | Level 01 |
| MQT_AD_PS_202000 | Podium Floor Plan | Level 02 |
| MQT_AD_PS_203000 | Podium Floor Plan | Level 03 |
| MQT_AD_PS_204000 | Podium Floor Plan | Level 04 - Lower Plant |
| MQT_AD_PS_205000 | Tower Floor Plan | Level 05 - Low Rise |
| MQT_AD_PS_306000 | Tower Floor Plan | Level 06 - Low Rise |
| MQT_AD_PS_307000 | Tower Floor Plan | Level 07 - Low Rise |
| MQT_AD_PS_308000 | Tower Floor Plan | Level 08 - Low Rise |
| MQT_AD_PS_309000 | Tower Floor Plan | Level 09 - Low Rise |
| MQT_AD_PS_310000 | Tower Floor Plan | Level 10 - Low Rise |
| MQT_AD_PS_311000 | Tower Floor Plan | Level 11 - Low Rise |
| MQT_AD_PS_312000 | Tower Floor Plan | Level 12 - Low Rise |
| MQT_AD_PS_313000 | Tower Floor Plan | Level 13 - Low Rise |
| MQT_AD_PS_314000 | Tower Floor Plan | Level 14 - Low Rise |
| MQT_AD_PS_315000 | Tower Floor Plan | Level 15 - Low Rise |
| MQT_AD_PS_316000 | Tower Floor Plan | Level 16 - Low Rise |
| MQT_AD_PS_317000 | Tower Floor Plan | Level 17 - Low Rise |
| MQT_AD_PS_318000 | Tower Floor Plan | Level 18 - Transfer |
| MQT_AD_PS_319000 | Tower Floor Plan | Level 19 - LCR |
| MQT_AD_PS_320000 | Tower Floor Plan | Level 20 - LMR |
| MQT_AD_PS_321000 | Tower Floor Plan | Level 21 - High Rise |
| MQT_AD_PS_322000 | Tower Floor Plan | Level 22 - High Rise |
| MQT_AD_PS_323000 | Tower Floor Plan | Level 23 - High Rise |
| MQT_AD_PS_324000 | Tower Floor Plan | Level 24 - High Rise |
| MQT_AD_PS_325000 | Tower Floor Plan | Level 25 - High Rise |
| MQT_AD_PS_326000 | Tower Floor Plan | Level 26 - High Rise |
| MQT_AD_PS_327000 | Tower Floor Plan | Level 27 - High Rise |
| MQT_AD_PS_328000 | Tower Floor Plan | Level 28 - High Rise |
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| MQT_AD_PS_331000 | Tower Floor Plan | Level 31 - High Rise |
| MQT_AD_PS_332000 | Tower Floor Plan | Level 32 - Upper Plant |
| MQT_AD_PS_333000 | Tower Floor Plan | Level 33 - Upper Plant |
| MQT_AD_PS_334000 | Tower Floor Plan | Level 34 - Roof Plan |

| Revision | Description | Date | Notes & Legend |
|----------|---------------------|----------|--|
| 1 | Planning Submission | 19/12/18 | Coordinator must verify all dimensions on site before commencing work or preparing shop drawings. Do not scale drawings. |

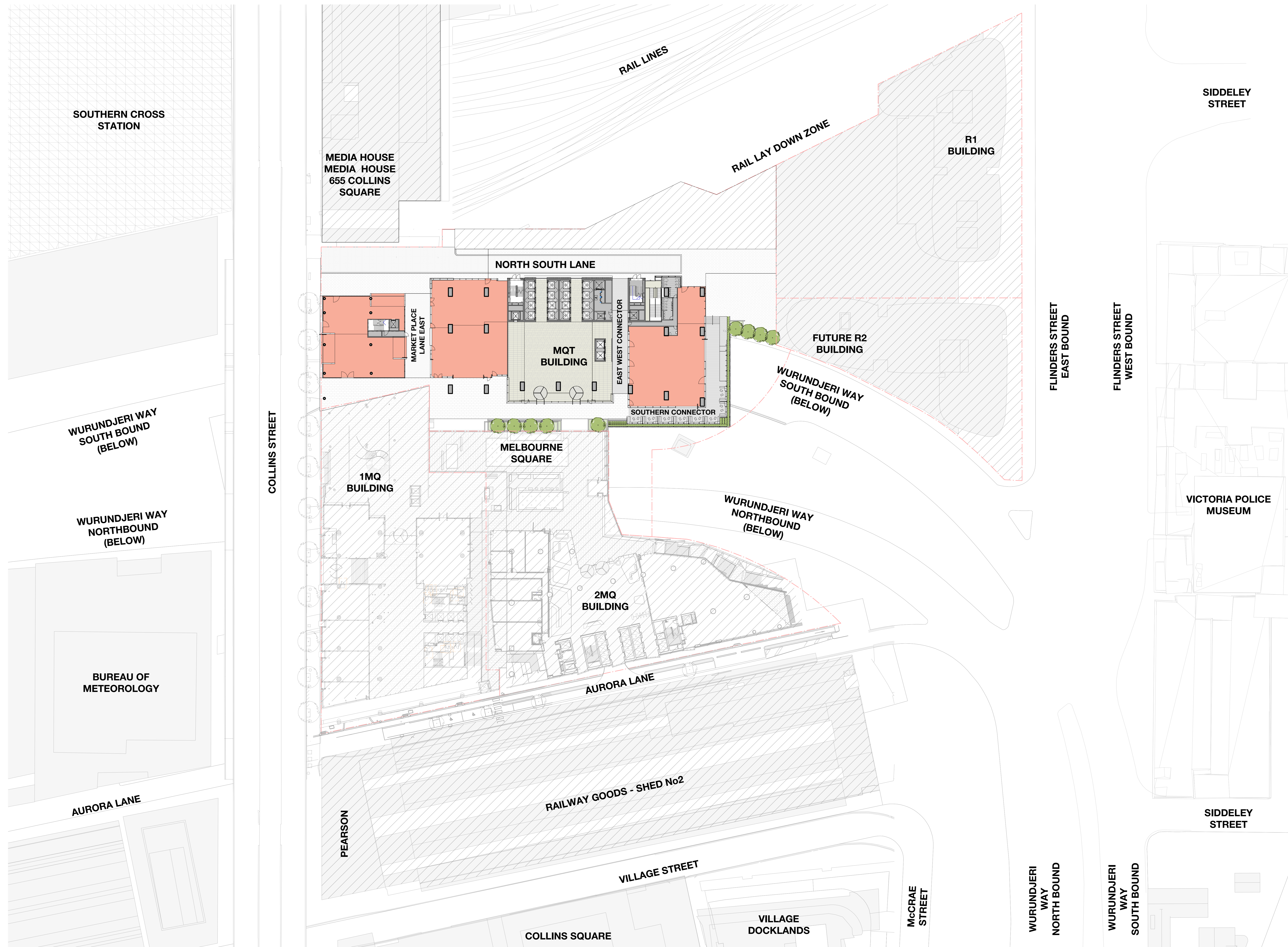
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| Structure Aecon Structure Mechanical & Electrical LCI Consultants Fire Protection & Hydraulics Warren Smith & Partners Landscape Aspect Oculus | Project Melbourne Quarter Tower Client | Sheet title Cover sheet Cover Sheet Sheet number MQT_AD_PS_000000 1 Status PLANNING SUBMISSION |
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| Revision | Description | Date | Notes & Legend |
|----------|---------------------|----------|---|
| 1 | Planning Submission | 19/12/18 | Consultant must verify all dimensions on site before commencing work or preparing shop drawings. Do not scale drawings. |

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| | | | | | |
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| <p>Structure Arcon Structure</p> <p>Mechanical & Electrical LCI Consultants</p> <p>Fire Protection & Hydraulics Warren Smith & Partners</p> <p>Landscape Aspect Oculus</p> | <p>Client </p> | <p>Project Melbourne Quarter Tower</p> | <p>Drawn by WOODS BAGOT</p> <p>Project number 130568</p> <p>Checked by AD</p> <p>Approved by AD</p> | <p>Scale check 25mm</p> <p>Sheet size 1:400</p> | <p>Sheet title Site Context Context Plan - Aerial</p> <p>Sheet number MQT_AD_PS_000110</p> <p>Revision 1</p> <p>Status PLANNING SUBMISSION</p> |
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|----------|---------------------|----------|--|
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Structure
Arcon Structure
 Mechanical & Electrical
LCI Consultants
 Fire Protection & Hydraulics
Warren Smith & Partners
 Landscape
Aspect Oculus

Client

Project
Melbourne Quarter Tower

Client

Project number
130568

Checked
 Checker

Approved
 Approver

AD

Scale
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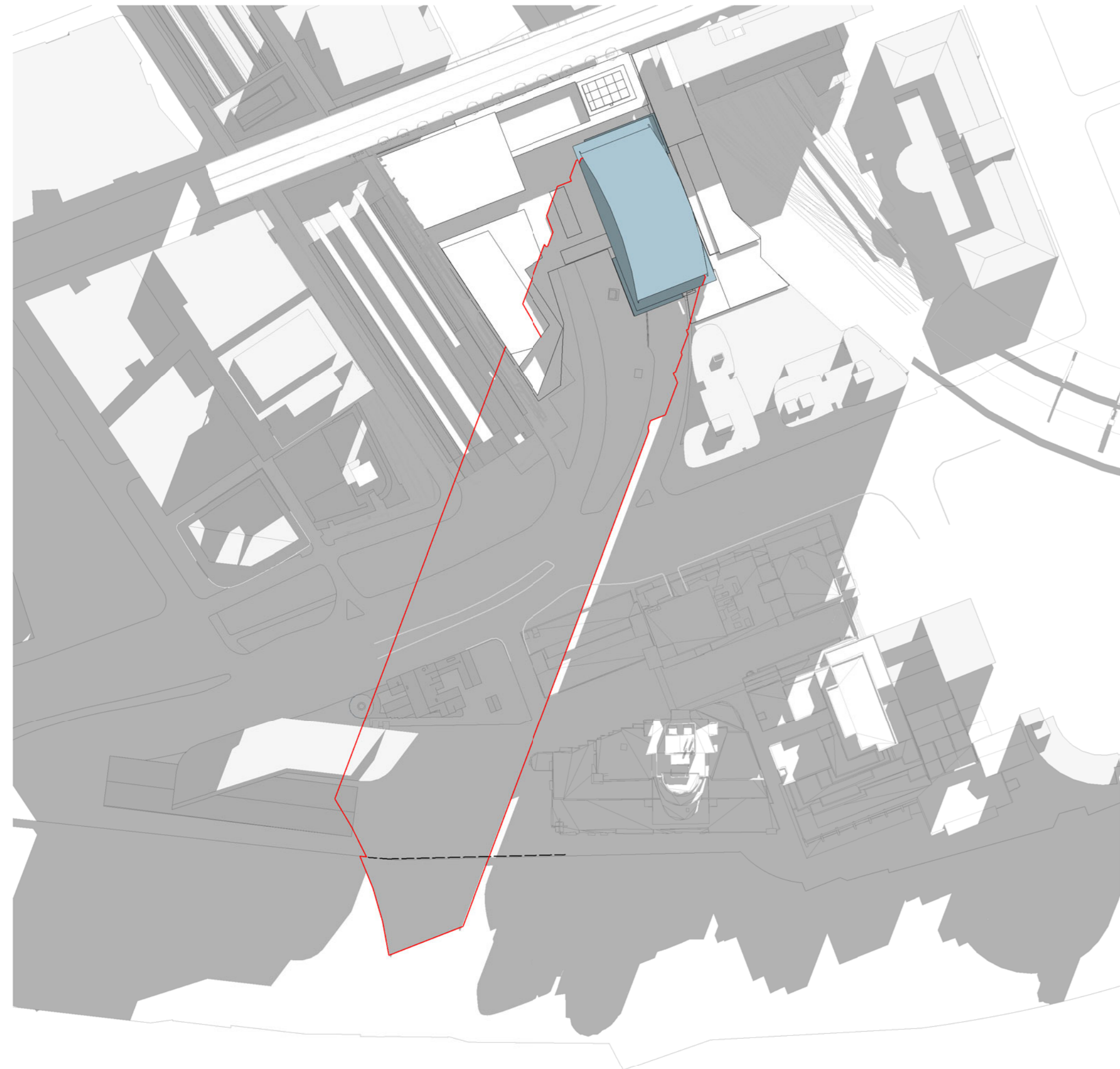
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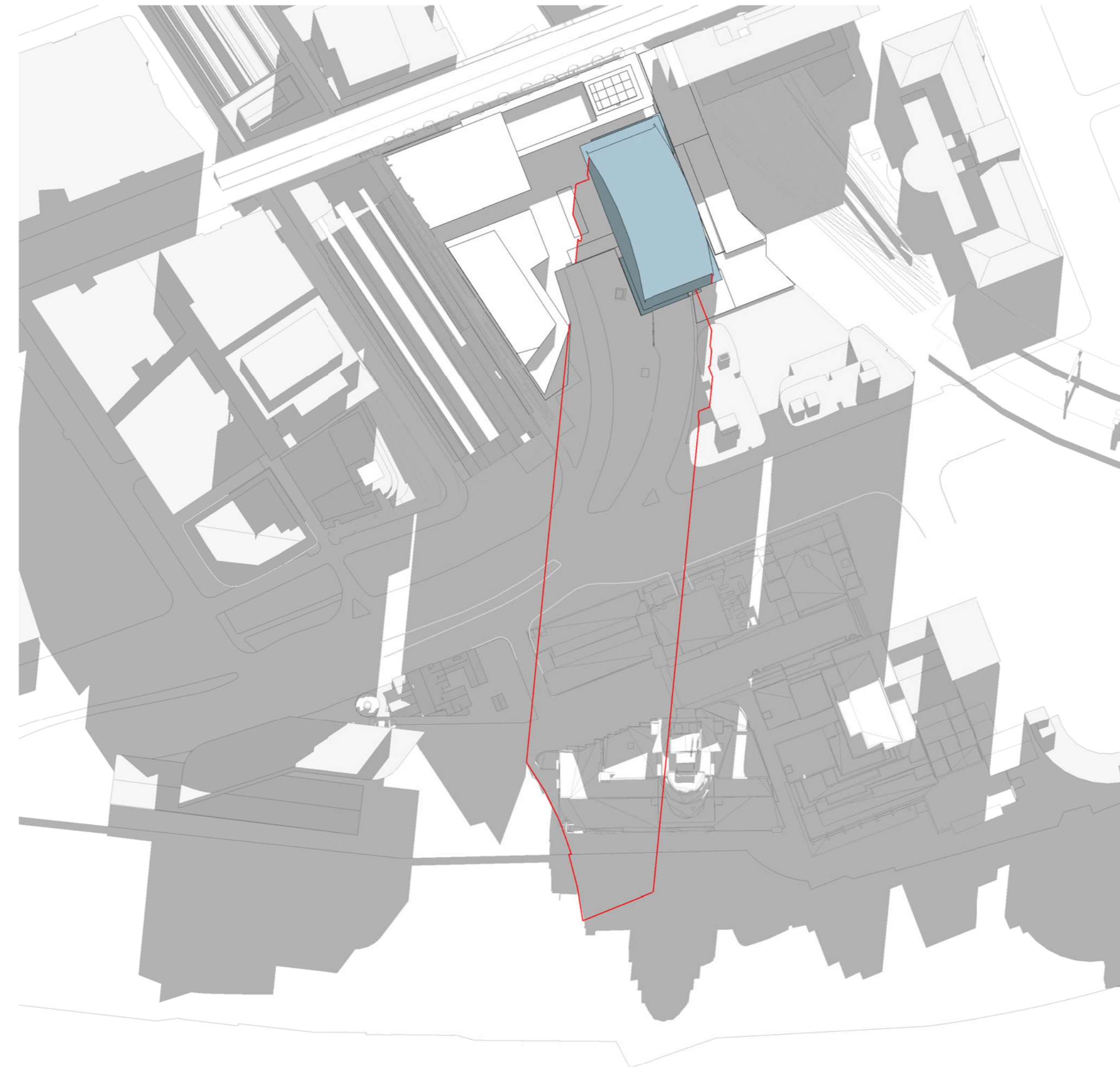
Revision
1

Status
PLANNING SUBMISSION

WINTER SOLSTICE SHADOW DIAGRAMS



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3 JUNE 21 12hs

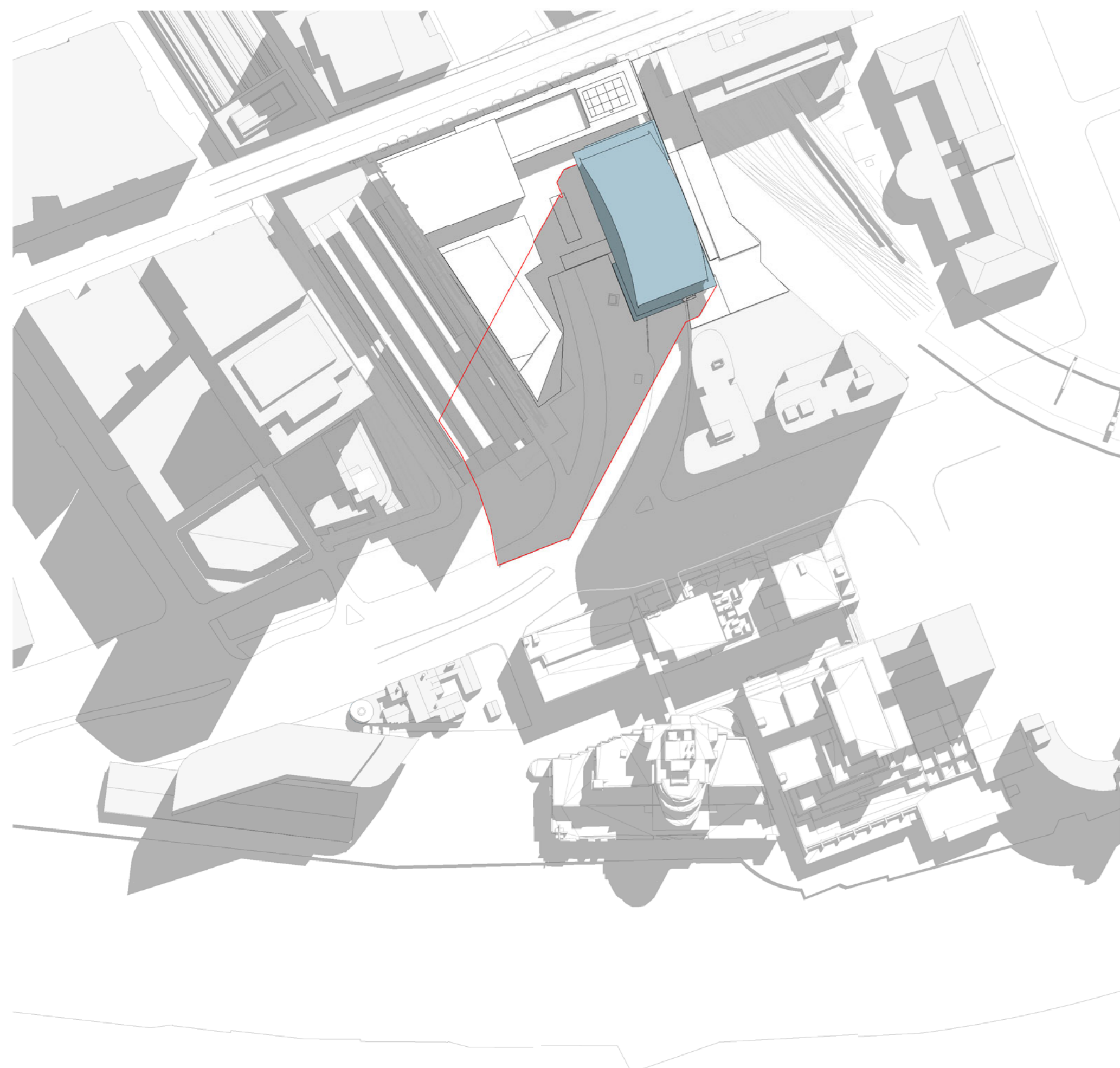


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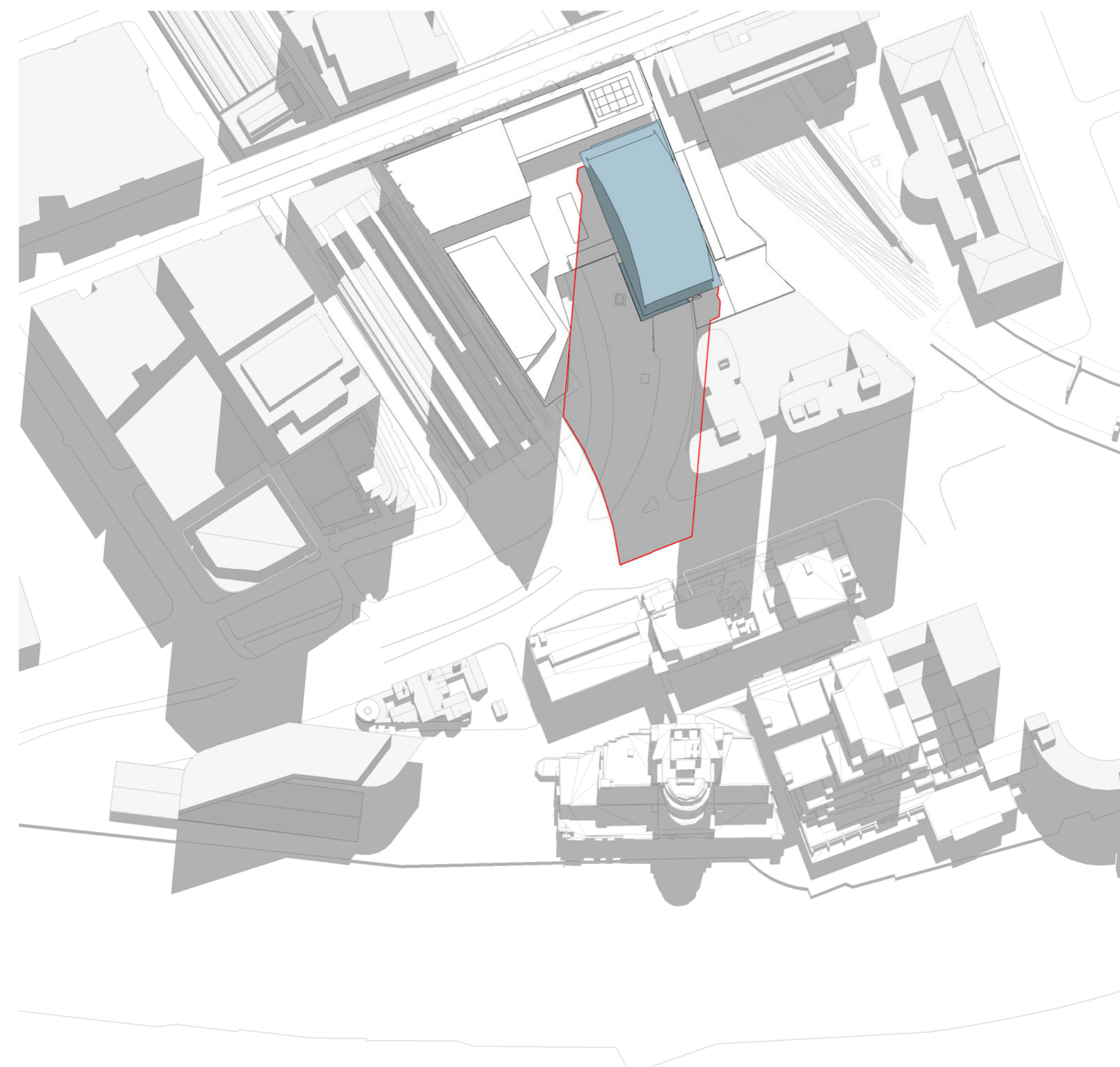


10 JUNE 21 14hs

SPRING EQUINOX SHADOW DIAGRAMS



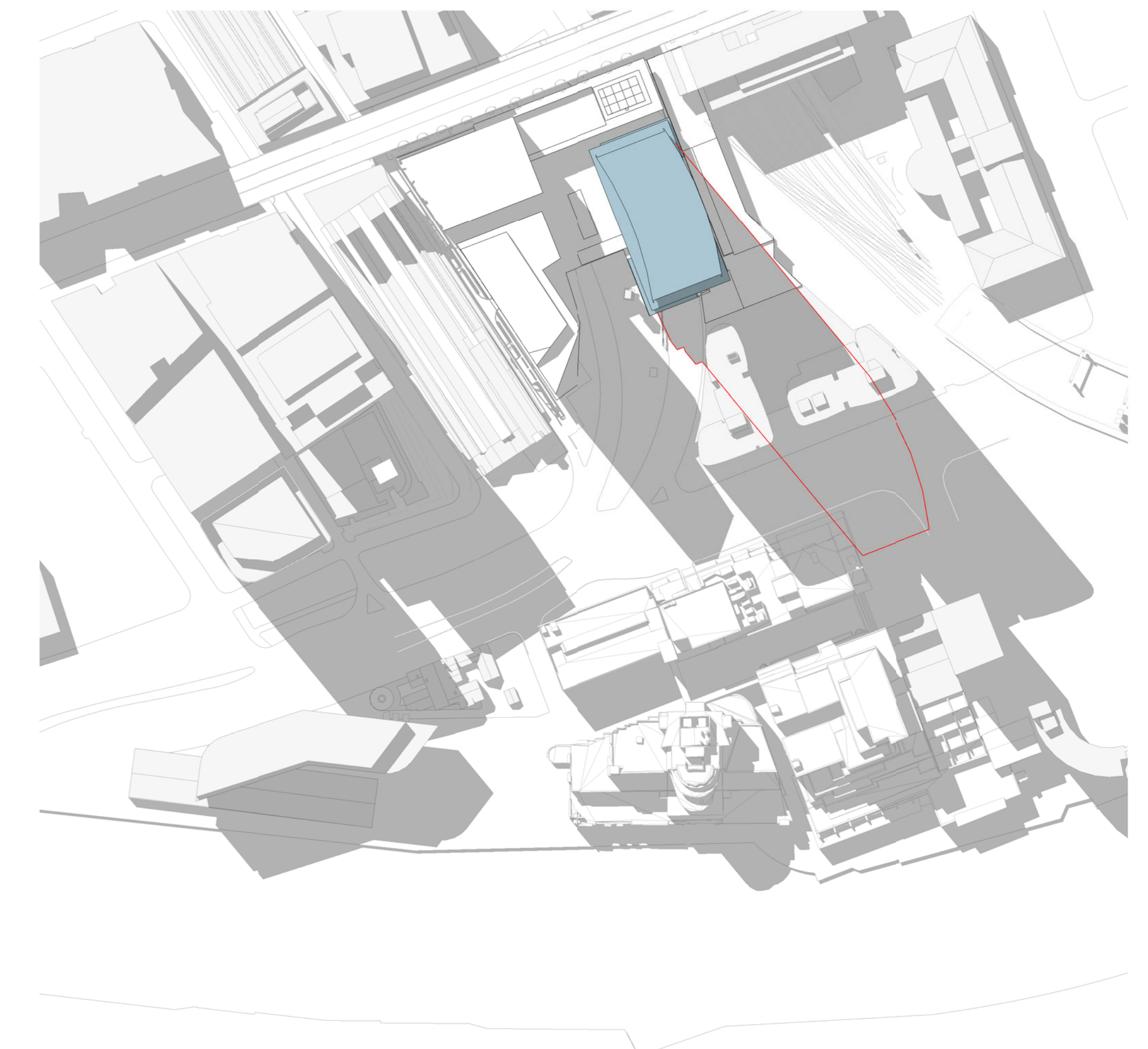
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5 SEP 22 12hs



6 SEP 22 13hs



7 SEP 22 14hs

| Revision | Description | Date | Notes & Legend |
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Structure
Aecom Structure
 Mechanical & Electrical
LCI Consultants
 Fire Protection & Hydraulics
Warren Smith & Partners
 Landscape
Aspect Oculus

Client

Project
Melbourne Quarter Tower

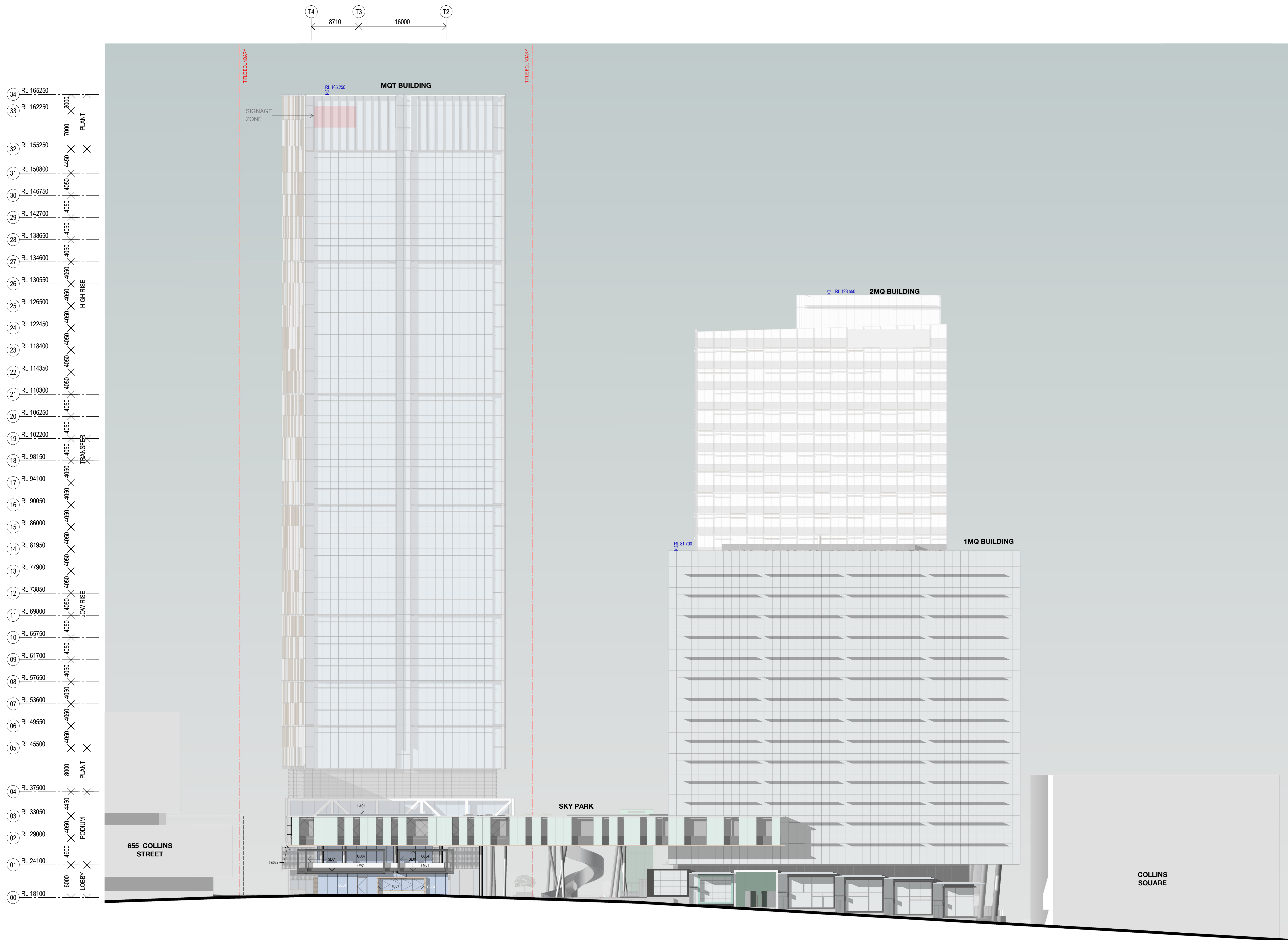
© Woods Bagot
 Project number
130568
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 Checker
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 AD

Size check
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 Scale
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Sheet title
**Shadow Diagrams
 Winter Solstice & Spring Equinox
 Shadow Diagrams**

Sheet number
MQT_AD_PS_000150
 Status
PLANNING SUBMISSION

Revision
1



FACADE & FINISHES LEGEND

01 PODIUM FINISHES

01.01 SUPER RETAIL

- GL04 Frameless Glass 2200mm wide, Laminated Glazed Strongbacks
- SE01 PA08 Exposed Structural Framing System - Painted Black
- TE01 Timber Entry Feature
- CD02 PA Column Cladding colour to match PA
- CD03 PA External Soffit
- FM01 PA08 Balustrade Black Metal Finish
- LA01 Grass Roof

01.02 SKYGARDEN

- (Typically to match existing Built Envelope & Finishes)
- TE02x Timber Soffit to match existing Timber Soffit
- Skygarden Facade to match existing adjacent Facade

01.03 RETAIL TENANCIES (MARKET PLACE LANE EAST)

- FM02 PA08 Black Steel Framed Shop front glazing with large format bifold - multi panel glazed door system.
- GL12 Vision Panel
- ST01 Bluestone Tiles
- ST02 Fluted Bluestone (Retail Upstand/Hob)
- TE05 Timber Glazed Doors
- TE03/GL05/CD04 Timber/Glazed/Black Metal Entablature
- CD05-PA08 Black Steel/Soffit
- CD06-PA09 White Metal
- CD02-PA08 a/b Column Cladding

01.04 FOYER ENTRY

- SE03 GL06 PA10 a/b Structurally glazed cassette system fixed to fabricated steel strong backs & transoms. PC White & Metallic Silver.
- SE04 GL07 PA10 a/b Skylight to match steel strongbacks

01.05 SOUTHERN CONNECTOR FACADE

- SE05 TE04 PA10 Exposed steel framing system (Metallic silver) with clear coated timber fins.
- LV06 Glazed frameless operable louvres with cast aluminium operators.
- GL08 Glazed skylight
- MW01 Aluminium webforge shading device
- Shop front glazing with large format bifold - multi panel glazed door system
- LA02 Planterbox (white concrete) with MW02 Ronstan X-Tend Mesh

01.06 OFFICE

- FM03 Operable Stainless Steel Scissor Screen mounted on Black Steel Frame (PA08)
- CU07 PA08 Stick system - 2200mm typical (painted Black) mullion setout.
- FM04 PA10a White Metal Finish Surround - framing Z7.
- GL09 PA12 Cassette Glazed System 600mm typical mullion system.

01.07 EASTERN PODIUM

- GL10 "Open Stair" Large Format Glazing
- GL11 Feature Frosted Fluted Glazing
- CD07 PA05a Podium Architectural Blades White Metallic Cladding

01.08 PODIUM BRIDGE

- SE04 PA11 PA10a Exposed Structural Steel with Intumescent Paint / White Metallic Finish
- CU07 PA08 Stick System - 2200mm typical (painted Black) mullion setout.
- CD07 High level external soffit stainless steel highly reflective finish
- CU09 Skylight Glazing on cassette system

01.09 BRIDGE - TOWER - SKYPARK

- GL09 PA12 Cassette Glazed System 600mm typical mullion system.

01.10 TOWER - CURTAIN WALLS

- 01.11 Common Architectural Tower Elements**
- Unitised Curtain Wall (North, South, East (including Winter Garden), West)
- Thermally broken Unitised Curtain wall system - Floor to Floor Vision Panel (unbroken) with;
- GL01 Vision Panel (typically 1500mm wide)
- PA01 PC Frame (mullion, stack joint, transom)
- GL02-PA02 a/b Concealed shadow box two tone back pan. (mid grey & silver)
- LV01-PA03 Architectural Aluminium Vertical Fins - PC White
- LV02-PA03 Architectural Aluminium Horizontal Fins - PC White

01.12 CU01 (North) -

- LV03-PA05a Vertical aluminium fins (metallised silver) - x2 depths
- LV04-PA04 Horizontal glazed fin with dual white frit - opaque & translucent. x2 depths.
- CD01-PA05a Back pan to end panel

01.13 CU02 (East) -

- LV05a/b-PA05 a/b Vertical aluminium fins (metallised silver & anodised aluminium bronze)
- LV04-PA04 Horizontal glazed fin with dual white frit - opaque & translucent

01.14 CU03 (Upper East) Winter Gardens - Facade steel to match curtain wall frame.

- GL03 Operable vision panels
- LV04-PA04 Horizontal glazed fin with dual white frit - opaque & translucent.

01.15 CU04 (South)

- LV03-PA05a Vertical aluminium fins (metallised silver)
- CD01-PA05a Back pan to end panel

01.16 CU05 (West) -

- LV03-PA05a Vertical aluminium fins (metallised silver)
- LV04-PA04 Horizontal glazed fin with dual white frit - opaque & translucent.
- CD01-PA05a Back pan to end panel

01.17 CU06 (Plantroom) Level 04 Facade steel to match PC Aluminium Screen.

- LV06-PA07 Dark Grey PC Aluminium Visual Screen & Vermin Mesh (51% flow)

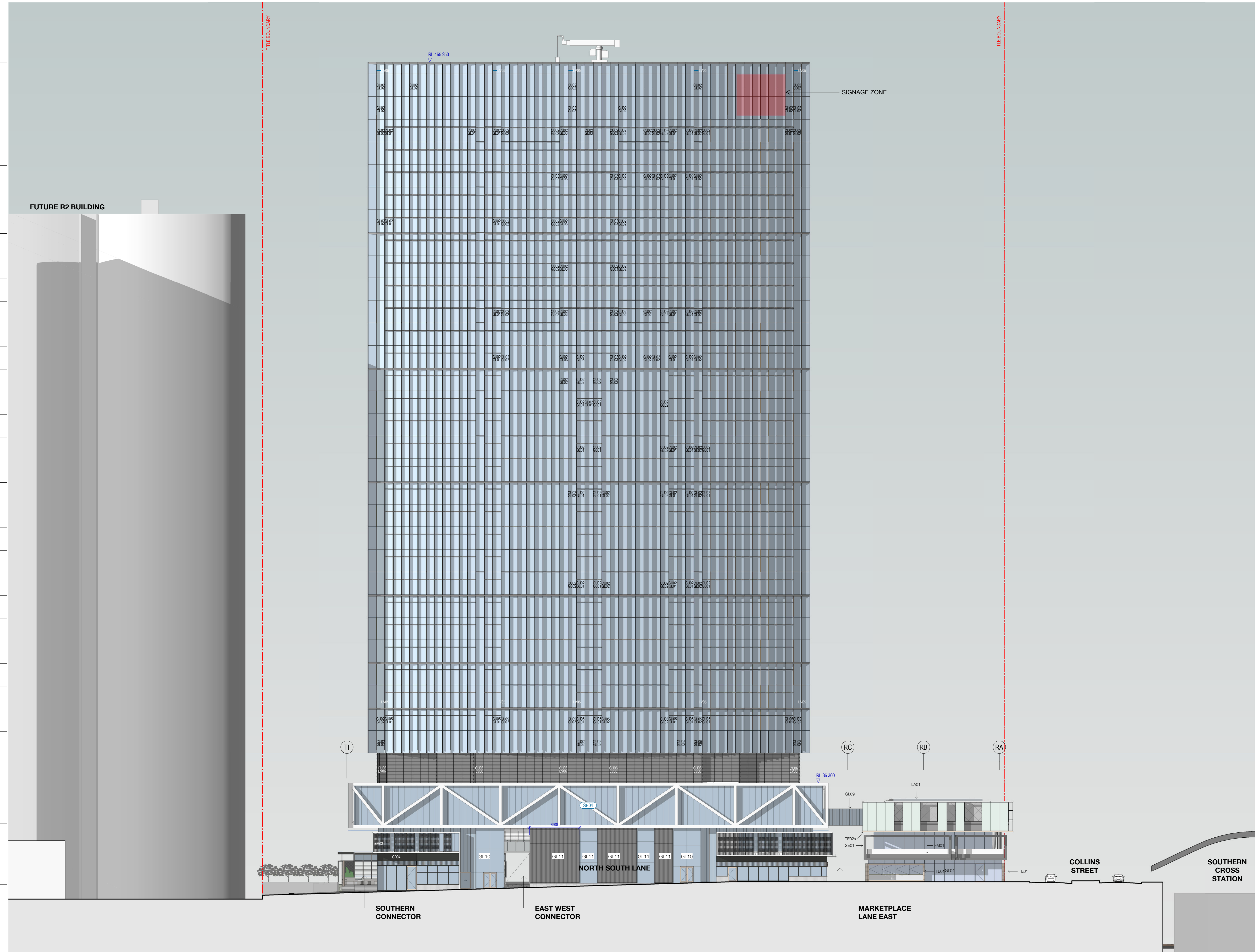
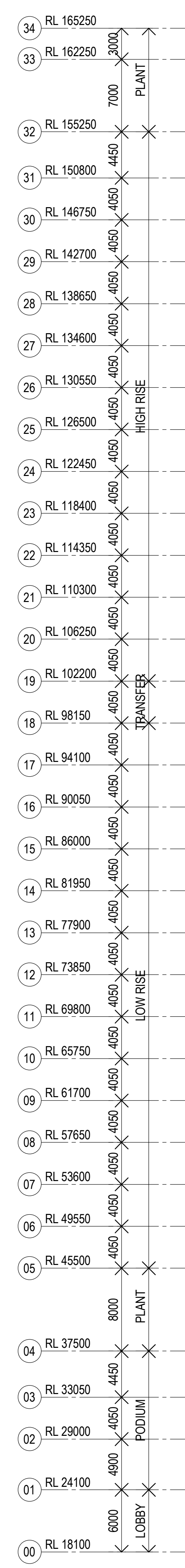
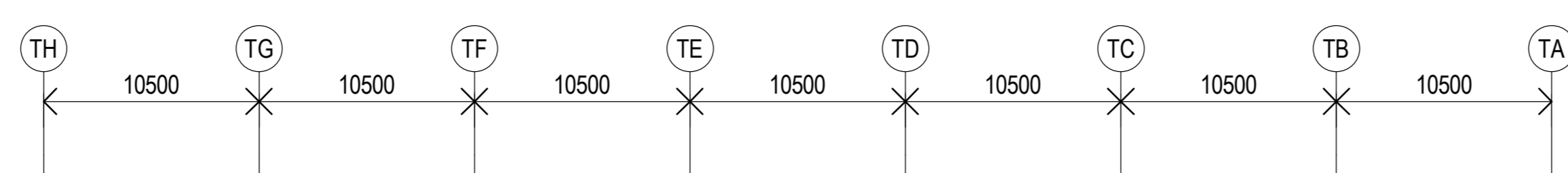
| Revision | Description | Date | Notes & Legend |
|----------|---------------------|----------|--|
| 1 | Planning Submission | 19/12/18 | Coordinator must verify all dimensions on site before commencing work or preparing shop drawings. Do not scale drawings. |

Structure
Accon Structure
Mechanical & Electrical
LCI Consultants
Fire Protection & Hydraulics
Warren Smith & Partners
Landscape
Aspect Oculus

Client
Melbourne Quarter Tower

Project
WOODS BAGOT
Project number
130568
Checked
Checker
Approved
Approver
AD
Scale
1:250

Sheet
MQT_AD_PS_000401
Revision
1
Status
PLANNING SUBMISSION



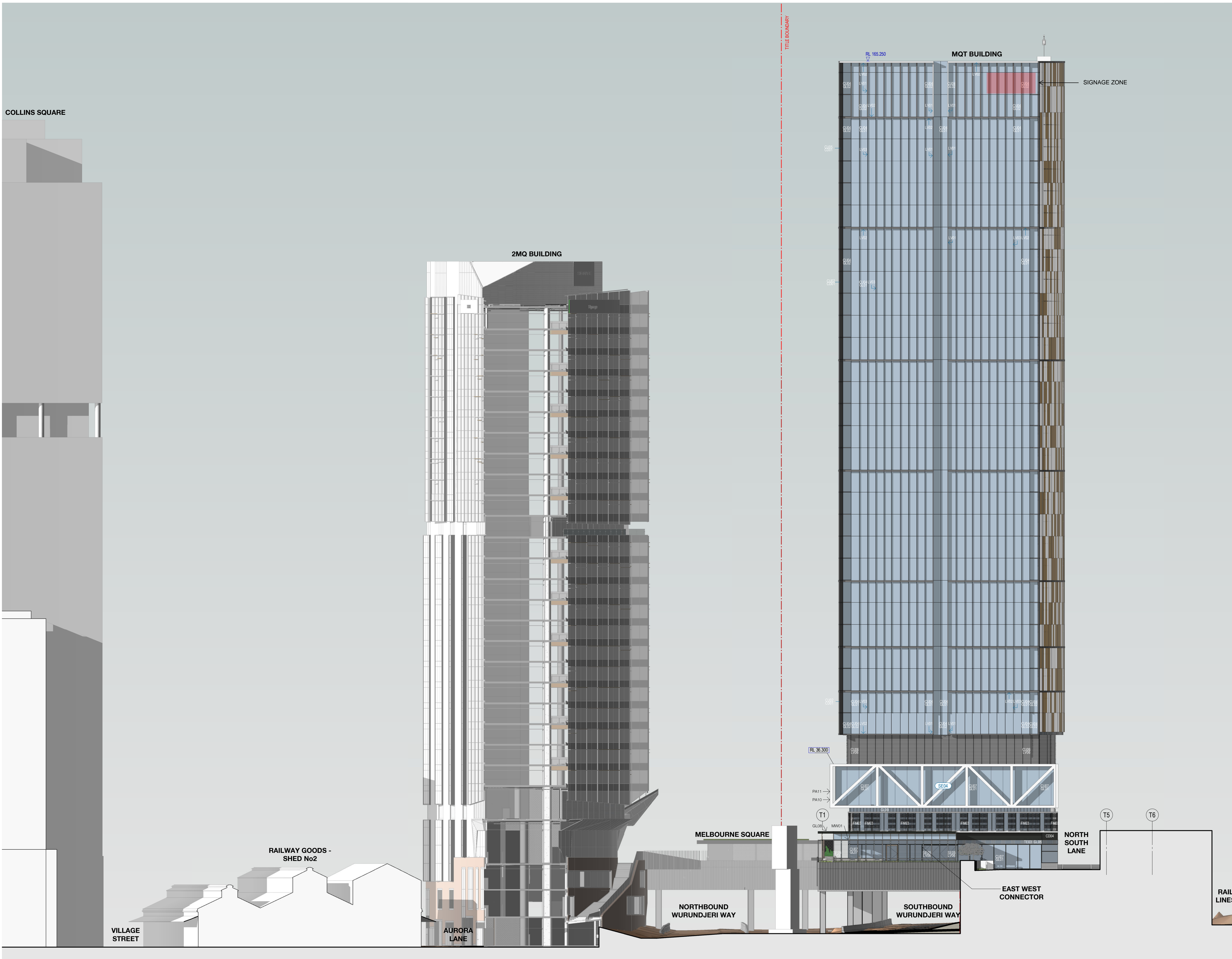
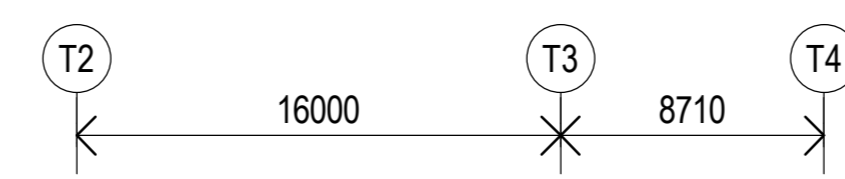
FAÇADE & FINISHES LEGEND

- 01 PODIUM FINISHES**
 - 01.01 SUPER RETAIL**
 - GL04 Frameless Glass 2200mm wide, Laminated Glazed Strongbacks
 - SE01 PA08 Exposed Structural Framing System - Painted Black
 - TE01 Timber Entry Feature
 - CD02 PA Column Cladding colour to match PA
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 - 01.02 SKYGARDEN**
 - (Typically to match existing Bull Envelope & Finishes)
 - TE02x Timber Soffit to match existing Timber Soffit
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 - 01.03 RETAIL TENANCIES (MARKET PLACE LANE EAST)**
 - FM02 PA08 Black Steel Framed Shop front glazing with large format bifold - multi panel glazed door system.
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 - CD05-PA08 Black Steel /Soffit
 - CD06-PA09 White Metal
 - CD02-PA08 a/b Column Cladding
 - 01.04 FOYER ENTRY**
 - SE03 GL06 PA10 a/b Structurally glazed cassette system fixed to fabricated steel strong backs & transoms, PC White & Metallic Silver
 - SE04 GL07 PA10 a/b Skylight to match steel strongbacks
 - 01.05 SOUTHERN CONNECTOR FAÇADE**
 - SE05 TE04 PA10 Exposed steel framing system (Metallic silver) with clear coated timber fins.
 - LV06 Glazed frameless operable louvres with cast aluminium operators.
 - GL08 Glazed skylight
 - MW01 Aluminium webtorge shading device
 - Shop front glazing with large format bifold - multi panel glazed door system
 - LA02 Planterbox (white concrete) with MW02 Ronstan X-Tend Mesh
 - 01.06 OFFICE**
 - FM03 Operable Stainless Steel Scissor Screen mounted on Black Steel Frame (PA08)
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 - GL10 "Open Stair" Large Format Glazing
 - GL11 Feature Frosted Fluted Glazing
 - CD07 PA05a Podium Architectural Blades White Metallic Cladding
 - 01.08 PODIUM BRIDGE**
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 - LV06-PA07 Dark Grey PC Aluminium Visual Screen & Vermin Mesh (51% flow)

| Revision | Issue | Description | Date |
|----------|-------|---------------------|----------|
| 1 | 1 | Planning Submission | 19/12/18 |

Notes & Legend
 Contractor must verify all dimensions on site before commencing work or preparing shop drawings. Do not scale drawings.

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| Structure Accon Structure Mechanical & Electrical LCI Consultants Fire Protection & Hydraulics Warren Smith & Partners Landscape Aspect Oculus | Project Melbourne Quarter Tower | Client | Designer WOODS BAGOT Project number 130568 Checked Checker Approved Approver AD | Sheet title Site Context East Elevation Sheet number MQT_AD_PS_000402 Revision 1 Status PLANNING SUBMISSION |
|---|---|------------|---|--|



FACADE & FINISHES LEGEND

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- FM04 PA10a White Metal Finish Surround - framing 27.
- GL09 PA12 Cassette Glazed System 600mm typical mullion system.

01.07 EASTERN PODIUM

- GL10 "Open Stair" Large Format Glazing
- GL11 Feature Frosted Fluted Glazing
- CD07 PA05a Podium Architectural Blades White Metallic Cladding

01.08 PODIUM BRIDGE

- SED4 PA11 PA10a Exposed Structural Steel with Intumescent Paint / White Metallic Finish
- CU07 PA08 Stick System - 2200mm typical (painted Black) mullion setout.
- CD07 High level external soffit stainless steel highly reflective finish
- CU08 Skylight Glazing on cassette system

01.09 BRIDGE - TOWER - SKYPARK

- GL09 PA12 Cassette Glazed System 600mm typical mullion system.

01.10 TOWER - CURTAIN WALLS

01.11 Common Architectural Tower Elements

- Utilised Curtain Wall (North, South, East (including Winter Garden), West)
- Thermally broken Utilised Curtain wall system - Floor to Floor Vision Panel (unbroken) with:
- GL01 Vision Panel (typically 1500mm wide)
- PA01 PC Frame (mullion, stack joint, transom)
- GL02-PA02 a/b Concealed shadow box two tone back pan. (mid grey & silver)
- LV01-PA03 Architectural Aluminium Vertical Fins - PC White
- LV02-PA03 Architectural Aluminium Horizontal Fins - PC White

01.12 CU01 (North) -

- LV03-PA05a Vertical aluminium fins (metallised silver) - x2 depths
- LV04-PA04 Horizontal glazed fin with dual white frit - opaque & translucent. x2 depths.
- CD01-PA05a Back pan to end panel

01.13 CU02 (East) -

- LV05a/b-PA05 a/b Vertical aluminium fins (metallised silver & anodised aluminium bronze)
- LV04-PA04 Horizontal glazed fin with dual white frit - opaque & translucent

01.14 CU03 (Upper East) Winter Gardens - Facade steel to match curtain wall frame.

- GL03 Operable vision panels
- LV04-PA04 Horizontal glazed fin with dual white frit - opaque & translucent.

01.15 CU04 (South)

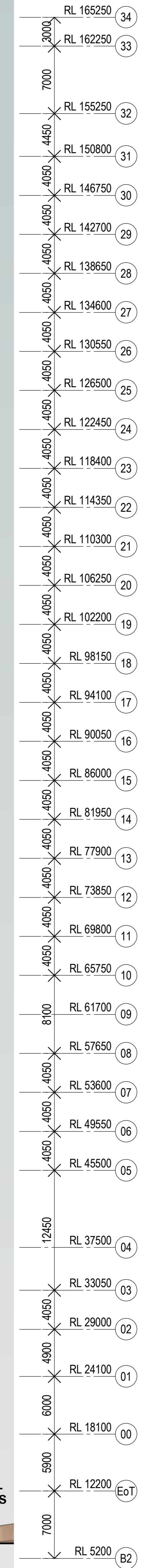
- LV03-PA05a Vertical aluminium fins (metallised silver)
- CD01-PA05a Back pan to end panel

01.16 CU05 (West) -

- LV03-PA05a Vertical aluminium fins (metallised silver)
- LV04-PA04 Horizontal glazed fin with dual white frit - opaque & translucent.
- CD01-PA05a Back pan to end panel

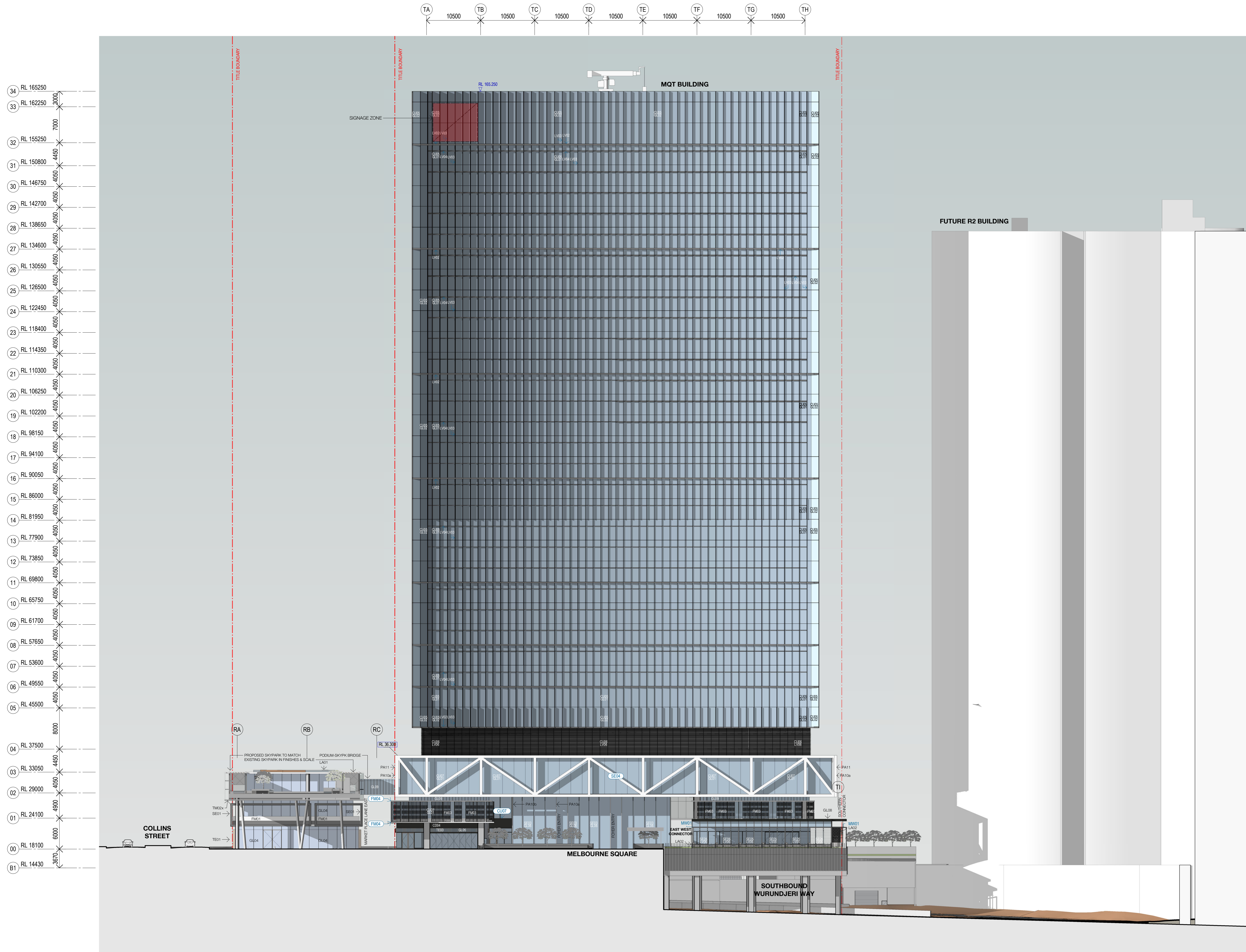
01.17 CU06 (Plantroom) Level 04 Facade steel to match PC Aluminium Screen.

- LV06-PA07 Dark Grey PC Aluminium Visual Screen & Vermin Mesh (51% flow)



| Revision | Description | Date | Notes & Legend |
|----------|---------------------|----------|--|
| 1 | Planning Submission | 19/12/18 | Coordinator must verify all dimensions on site before commencing work or preparing shop drawings. Do not scale drawings. |

| | | | |
|--|---|---|---|
| Structure Acon Structure Mechanical & Electrical LCI Consultants Fire Protection & Hydraulics Warren Smith & Partners Landscape Aspect Oculus | Project Melbourne Quarter Tower Client | Issued WOODS BAGOT Project number 130568 Checked Checker Approved Approver AD | Sheet title Site Context South Elevation Sheet number MQT_AD_PS_000403 Revision 1 Status PLANNING SUBMISSION |
|--|---|---|---|



FAÇADE & FINISHES LEGEND

- 01 PODIUM FINISHES**
- 01.01 SUPER RETAIL**
 - GL04 Frameless Glass 2200mm wide, Laminated Glazed Strongbacks
 - SE01 PA08 Exposed Structural Framing System - Painted Black
 - TE01 Timber Entry Feature
 - CD02 PA Column Cladding colour to match PA
 - CD03 PA External Soffit
 - FM01 PA08 Balustrade Black Metal Finish
 - LA01 Grass Roof
- 01.02 SKYGARDEN**
 - (Typically to match existing Built Envelope & Finishes)
 - TE02x Timber Soffit to match existing Timber Soffit
 - Skylight to match existing adjacent Facade
- 01.03 RETAIL TENANCIES (MARKET PLACE LANE EAST)**
 - FM02 PA08 Black Steel Framed Shop front glazing with large format bifold - multi panel glazed door system.
 - GL12 Vision Panel
 - ST01 Bluestone Tiles
 - ST02 Fluted Bluestone (Retail Upstand/Hob)
 - TE05 Timber Glazed Doors
 - TE03/GL05/CD04 Timber/Glazed/Black Metal Entablature
 - CD05-PA08 Black Steel /Soffit
 - CD06-PA09 White Metal
 - CD02-PA08 a/b Column Cladding
- 01.04 FOYER ENTRY**
 - SE03 GL06 PA10 a/b Structurally glazed cassette system fixed to fabricated steel strong backs & transoms. PC White & Metallic Silver
 - SE04 GL07 PA10 a/b Skylight to match steel strongbacks
- 01.05 SOUTHERN CONNECTOR FAÇADE**
 - SE05 TE04 PA10 Exposed steel framing system (Metallic silver) with clear coated timber fins.
 - LV06 Glazed frameless operable louvres with cast aluminium operators.
 - GL08 Glazed skylight
 - MW01 Aluminium webforge shading device
 - Shop front glazing with large format bifold - multi panel glazed door system
 - LA02 Planterbox (white concrete) with MW02 Ronstan X-Tend Mesh
- 01.06 OFFICE**
 - FM03 Operable Stainless Steel Scissor Screen mounted on Black Steel Frame (PA08)
 - CU07 PA08 Stick system - 2200mm typical (painted Black) mullion setout.
 - FM04 PA10a White Metal Finish Surround - framing 27.
 - GL09 PA12 Cassette Glazed System 600mm typical mullion system.
- 01.07 EASTERN PODIUM**
 - GL10 "Open Stair" Large Format Glazing
 - GL11 Feature Frosted Fluted Glazing
 - CD07 PA05a Podium Architectural Blades White Metallic Cladding
- 01.08 PODIUM BRIDGE**
 - SE04 PA11 PA10a Exposed Structural Steel with Intumescent Paint / White Metallic Finish
 - CU07 PA08 Stick System - 2200mm typical (painted Black) mullion setout.
 - CD07 High level external soffit stainless steel highly reflective finish
 - CU08 Skylight Glazing on cassette system
- 01.09 BRIDGE - TOWER - SKYPARK**
 - GL09 PA12 Cassette Glazed System 600mm typical mullion system.
- 01.10 TOWER - CURTAIN WALLS**
- 01.11 Common Architectural Tower Elements**
 - Unitised Curtain Wall (North, South, East (including Winter Garden), West)
 - Thermally broken Unitised Curtain wall system - Floor to Floor Vision Panel (unbroken) with:
 - GL01 Vision Panel (typically 1500mm wide)
 - PA01 PC Frame (mullion, stack joint, transom)
 - GL02-PA02 a/b Condensed shadow box two tone back pan. (mid grey & silver)
 - LV01-PA03 Architectural Aluminium Vertical Fins - PC White
 - LV02-PA03 Architectural Aluminium Horizontal Fins - PC White
- 01.12 CU01 (North) -**
 - LV03-PA05a Vertical aluminium fins (metallised silver) - x2 depths
 - LV04-PA04 Horizontal glazed fin with dual white frit - opaque & translucent. x2 depths.
 - CD01-PA05a Back pan to end panel
- 01.13 CU02 (East) -**
 - LV05a/b-PA05 a/b Vertical aluminium fins (metallised silver & anodised aluminium bronze)
 - LV04-PA04 Horizontal glazed fin with dual white frit - opaque & translucent
- 01.14 CU03 (Upper East) Winter Gardens - Facade steel to match curtain wall frame**
 - GL03 Operable vision panels
 - LV04-PA04 Horizontal glazed fin with dual white frit - opaque & translucent.
- 01.15 CU04 (South)**
 - LV03-PA05a Vertical aluminium fins (metallised silver)
 - CD01-PA05a Back pan to end panel
- 01.16 CU05 (West) -**
 - LV03-PA05a Vertical aluminium fins (metallised silver)
 - LV04-PA04 Horizontal glazed fin with dual white frit - opaque & translucent.
 - CD01-PA05a Back pan to end panel
- 01.17 CU06 (Plantroom) Level 04 Facade steel to match PC Aluminium Screen.**
 - LV06-PA07 Dark Grey PC Aluminium Visual Screen & Vermin Mesh (51% flow)

| Revision | Issue | Description | Date |
|----------|-------|---------------------|----------|
| 1 | Issue | Planning Submission | 19/12/18 |

Notes & Legend
 Contractor must verify all dimensions on site before commencing work or preparing shop drawings. Do not scale drawings.

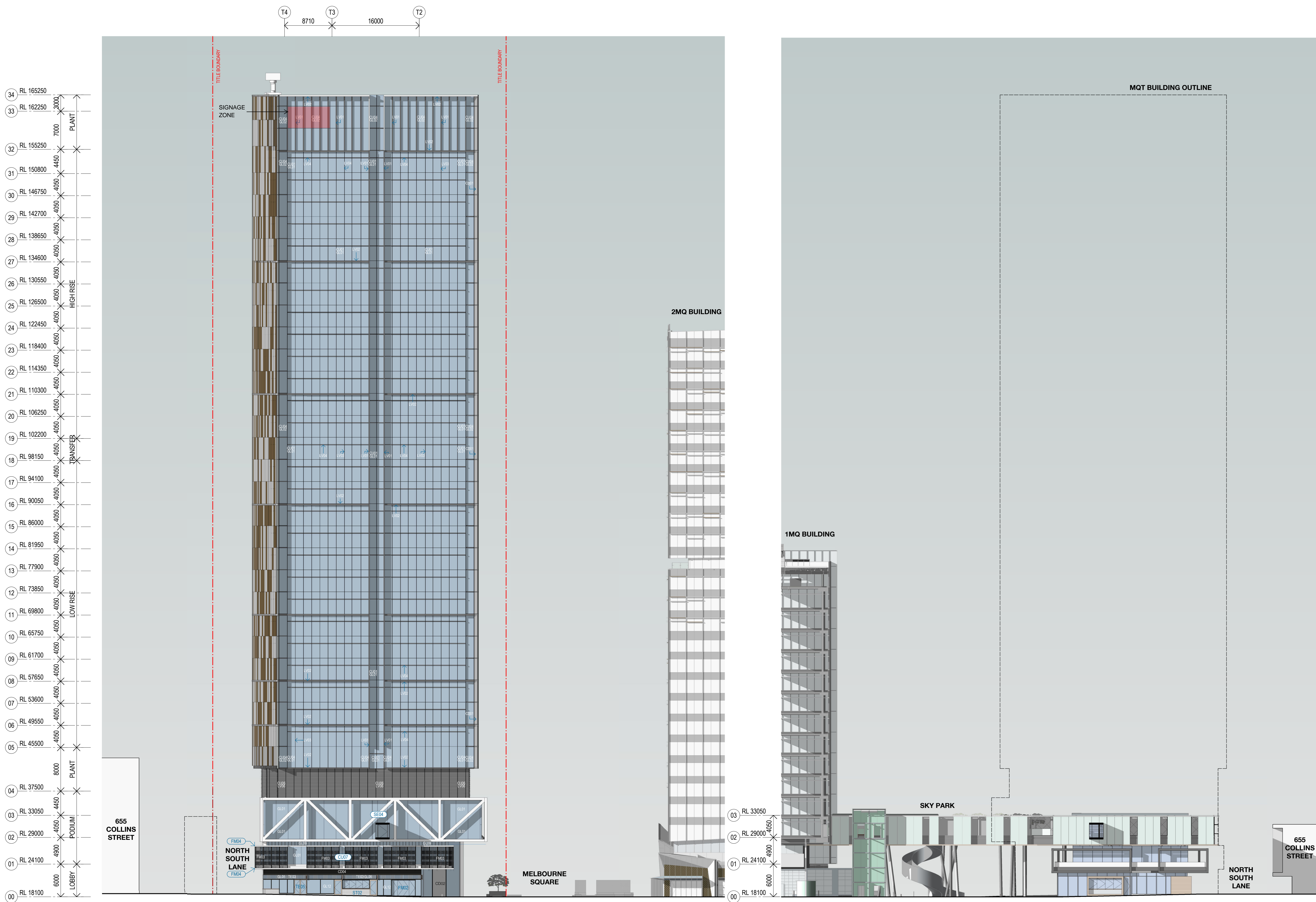
Structure
Acon Structure
 Mechanical & Electrical
LCI Consultants
 Fire Protection & Hydraulics
Warren Smith & Partners
 Landscape
Aspect Oculus

Project
Melbourne Quarter Tower

Client

Sheet
WOODS BAGOT
 Project number
130568
 Checked
 Approved
 Scale
 1:250

Sheet
 Site Context
 West Elevation
 Sheet number
MQT_AD_PS_000404
 Revision
1
 Status
PLANNING SUBMISSION



FACADE & FINISHES LEGEND

- 01.PODIUM FINISHES**
- 01.01 SUPER RETAIL**
 GL04 Frameless Glass 2200mm wide, Laminated Glazed Strongbacks
 SE01 PA08 Exposed Structural Framing System - Painted Black
 TE01 Timber Entry Feature
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 CD03 PA External Soffit
 FM01 PA08 Balustrade Black Metal Finish
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- 01.02 SKYGARDEN**
 (Typically to match existing Built Envelope & Finishes)
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- 01.03 RETAIL TENANCIES (MARKET PLACE LANE EAST)**
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 ST01 Bluestone Tiles
 ST02 Fluted Bluestone (Retail Upstand/Hob)
 TE05 Timber Glazed Doors
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 CD05-PA08 Black Steel /Soffit
 CD06-PA09 White Metal
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- 01.04 FOYER ENTRY**
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- 01.05 SOUTHERN CONNECTOR FACADE**
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 GL09 PA12 Cassette Glazed System 600mm typical mullion system.
- 01.07 EASTERN PODIUM**
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 CD07 PA05a Podium Architectural Blades White Metallic Cladding
- 01.08 PODIUM BRIDGE**
 SE04 PA11 PA10a Exposed Structural Steel with Intumescent Paint / White Metallic Finish
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- 01.09 BRIDGE - TOWER - SKYPARK**
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 CD01-PA05a Back pan to end panel
- 01.13 CU02 (East) -**
 LV03a/b-PA05 a/b Vertical aluminium fins (metallised silver & anodised aluminium bronze)
 LV04-PA04 Horizontal glazed fin with dual white frit - opaque & translucent
- 01.14 CU03 (Upper East) Winter Gardens - Facade steel to match curtain wall frame.**
 GL03 Operable vision panels
 LV04-PA04 Horizontal glazed fin with dual white frit - opaque & translucent.
- 01.15 CU04 (South) -**
 LV03-PA05a Vertical aluminium fins (metallised silver)
 CD01-PA05a Back pan to end panel
- 01.16 CU05 (West) -**
 LV03-PA05a Vertical aluminium fins (metallised silver)
 LV04-PA04 Horizontal glazed fin with dual white frit - opaque & translucent.
 CD01-PA05a Back pan to end panel
- 01.17 CU06 (Plantroom) Level 04 Facade steel to match PC Aluminium Screen.**
 LV06-PA07 Dark Grey PC Aluminium Visual Screen & Vermin Mesh (51% flow)

1 North Elevation - Market Place Lane East

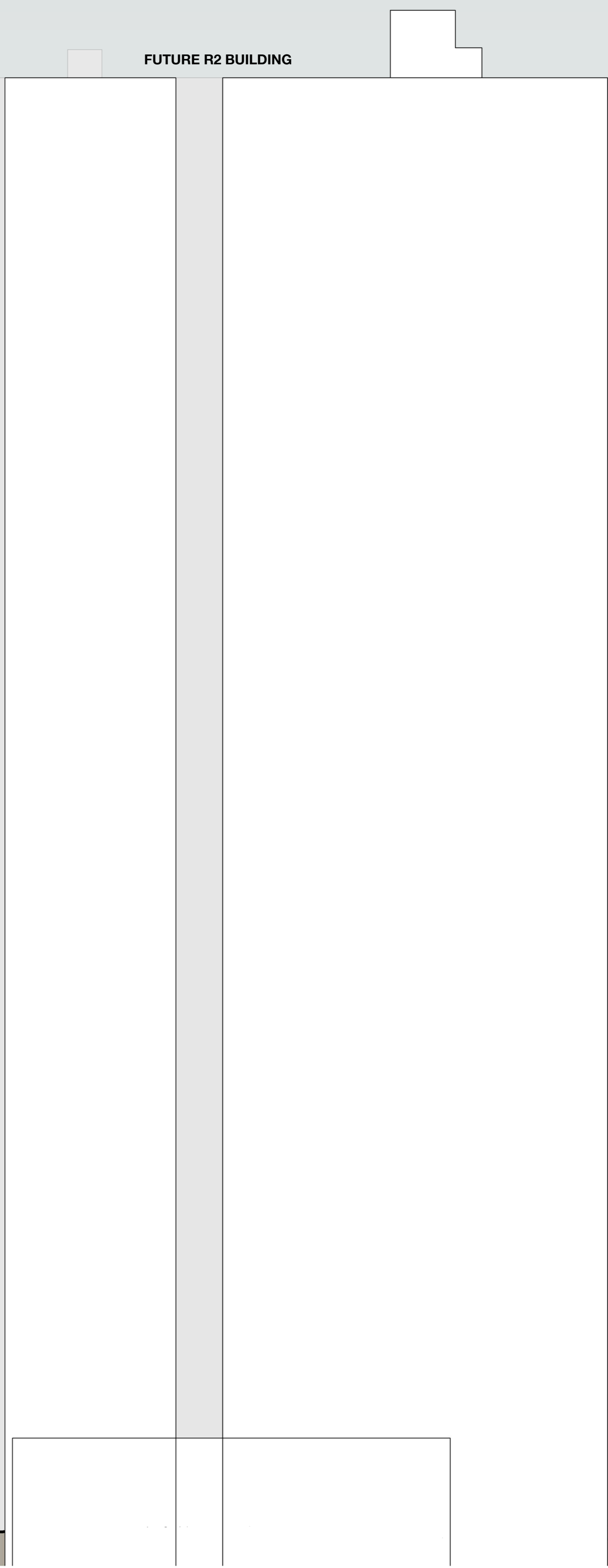
2 South Elevation - Market Place Lane East

| Revision | Description | Date | Notes & Legend |
|----------|---------------------|----------|--|
| 1 | Planning Submission | 19/12/16 | Coordinator must verify all dimensions on site before commencing work or preparing shop drawings. Do not scale drawings. |

| | | | | |
|--|-----------------------------------|---|--|--|
| <p>Structure Aecom Structure</p> <p>Mechanical & Electrical LCI Consultants</p> <p>Fire Protection & Hydraulics Warren Smith & Partners</p> <p>Landscape Aspect Oculus</p> | <p>Client Landesse</p> | <p>Project Melbourne Quarter Tower</p> | <p>Sheet WOODS BAGOT</p> <p>Project number 130568</p> <p>Checked [Signature]</p> <p>Checker [Signature]</p> <p>Approved [Signature]</p> <p>Approver [Signature]</p> <p>Scale 1:250</p> | <p>Sheet title Market Place Lane East Elevation</p> <p>Sheet number MQT_AD_PS_000405</p> <p>Revision 1</p> <p>Status PLANNING SUBMISSION</p> |
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 B2 RL 5200



| Revision | Description | Date |
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| 1 | Planning Submission | 19/12/18 |

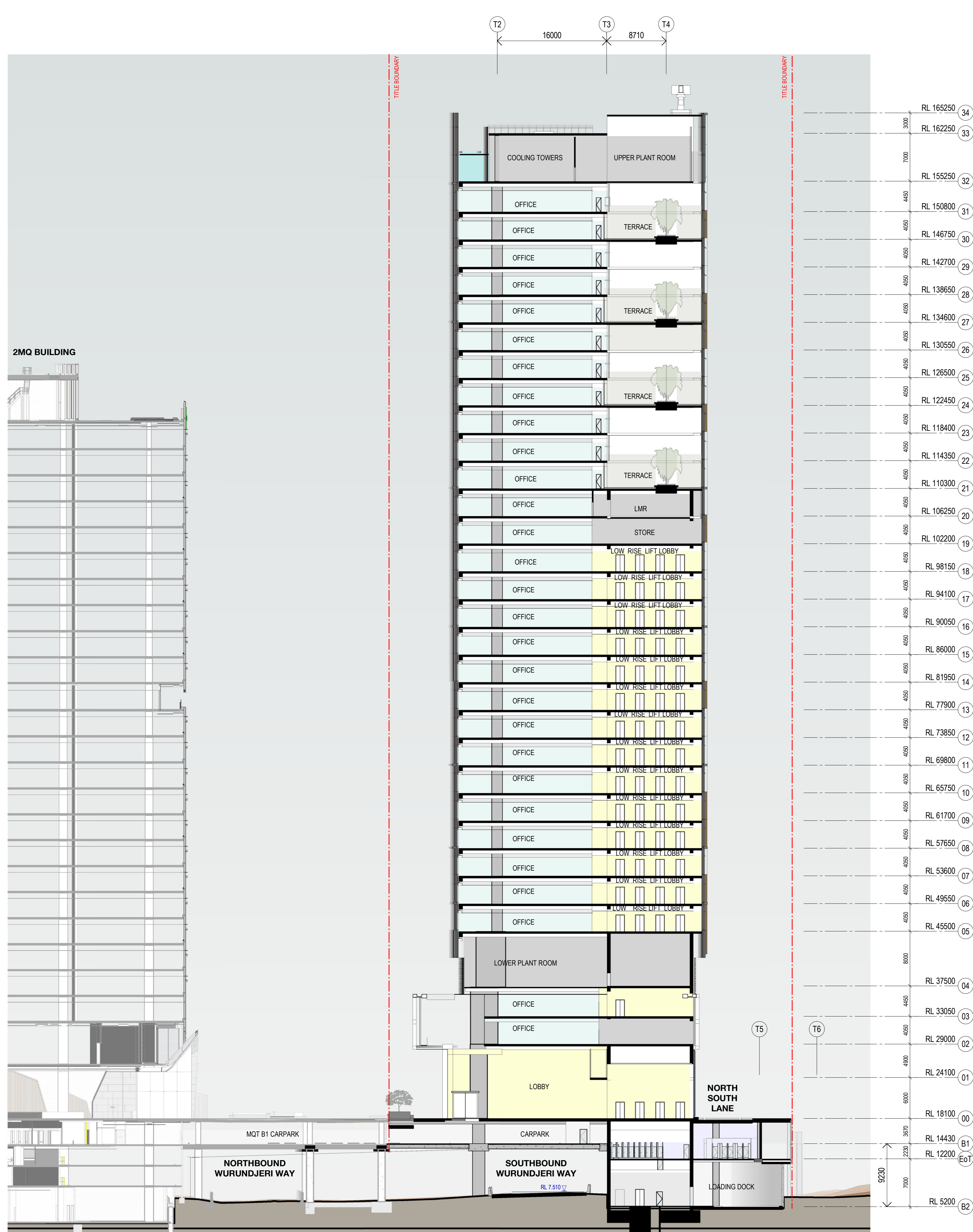
Notes & Legend
 Contractor must verify all dimensions on site before commencing work or preparing shop drawings. Do not scale drawings.

Structure
Aecom Structure
 Mechanical & Electrical
 LCI Consultants
 Fire Protection & Hydraulics
 Warren Smith & Partners
 Landscape
 Aspect Oculus

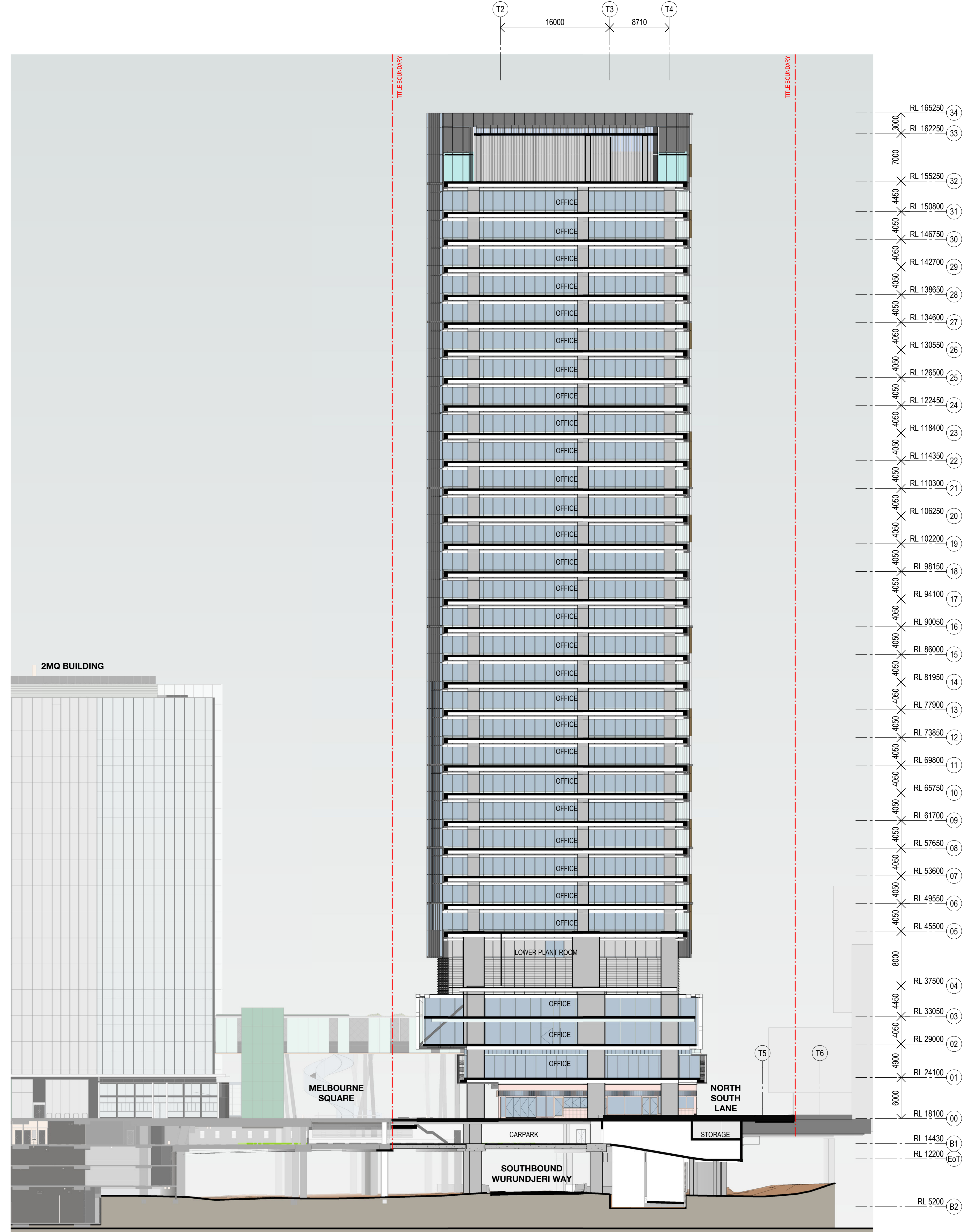
Project
Melbourne Quarter Tower
 Client

Woods Bagot
 Project number
130568
 Checked
 Checker
 Approved
 Approver
 AD

Sheet title
**Site Context
 Longitudinal Section - Sheet 1**
 Sheet number
MQT_AD_PS_000511
 Status
PLANNING SUBMISSION



1 Cross Section Tower 2

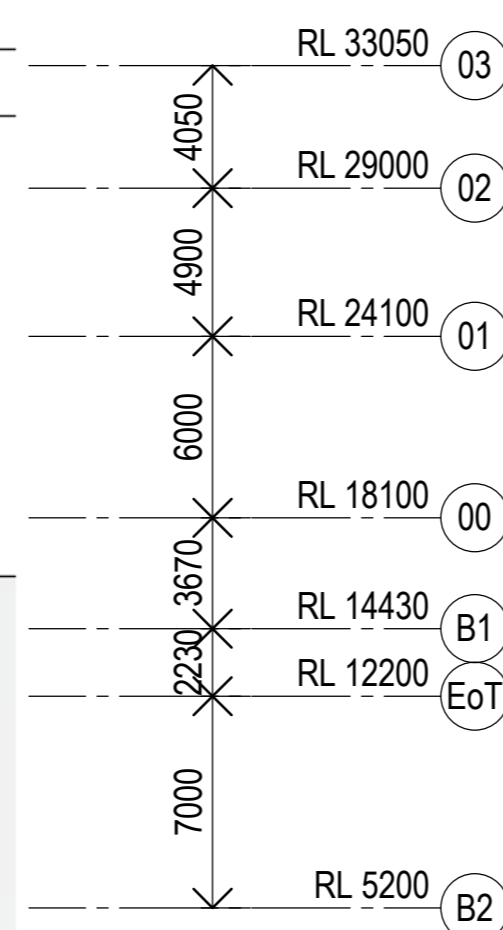
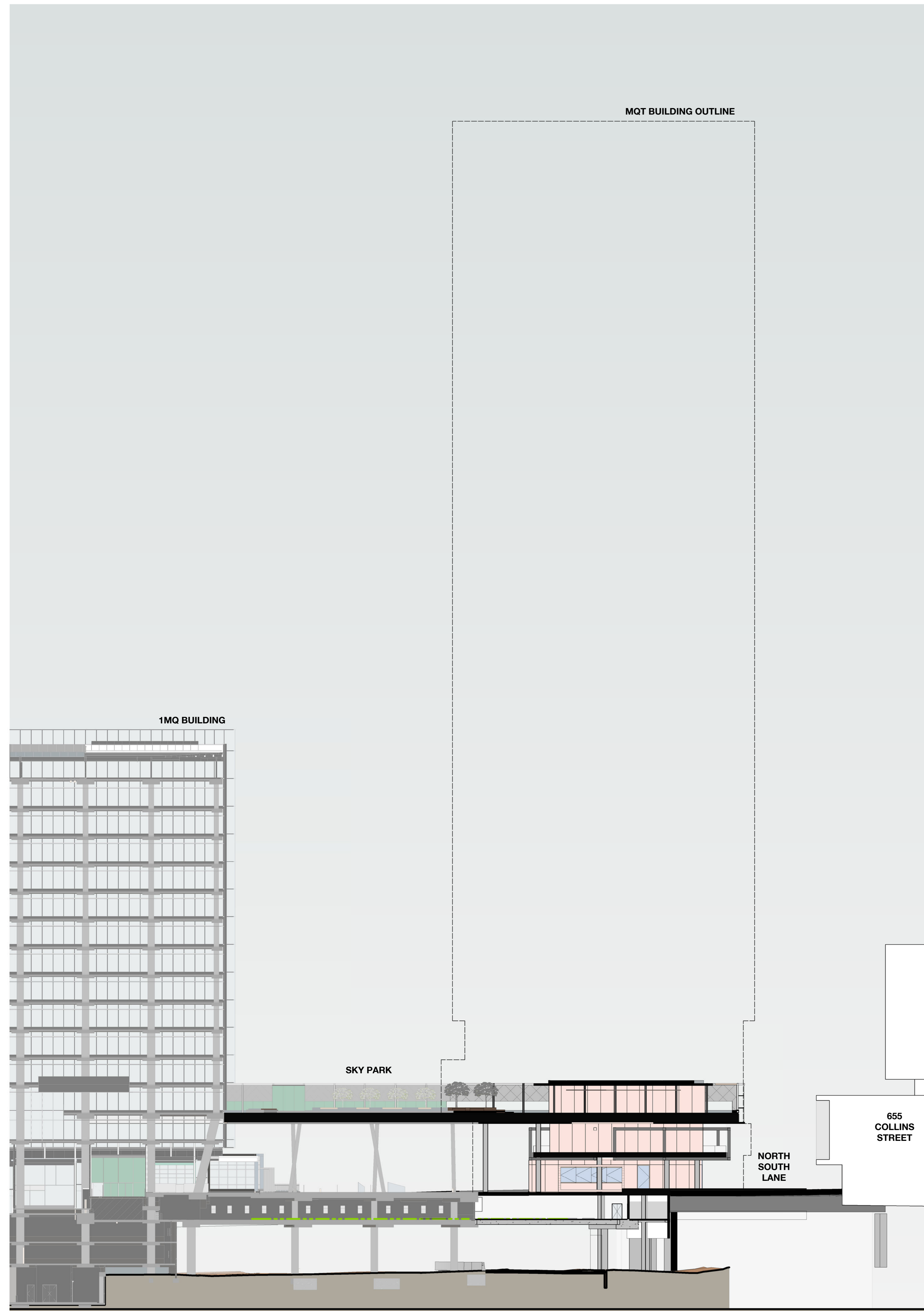


2 Cross Section Tower 1


| Revision | Description | Date | Notes & Legend |
|----------|---------------------|----------|--|
| 1 | Planning Submission | 19/12/18 | Coordinator must verify all dimensions on site before commencing work or preparing shop drawings. Do not scale drawings. |

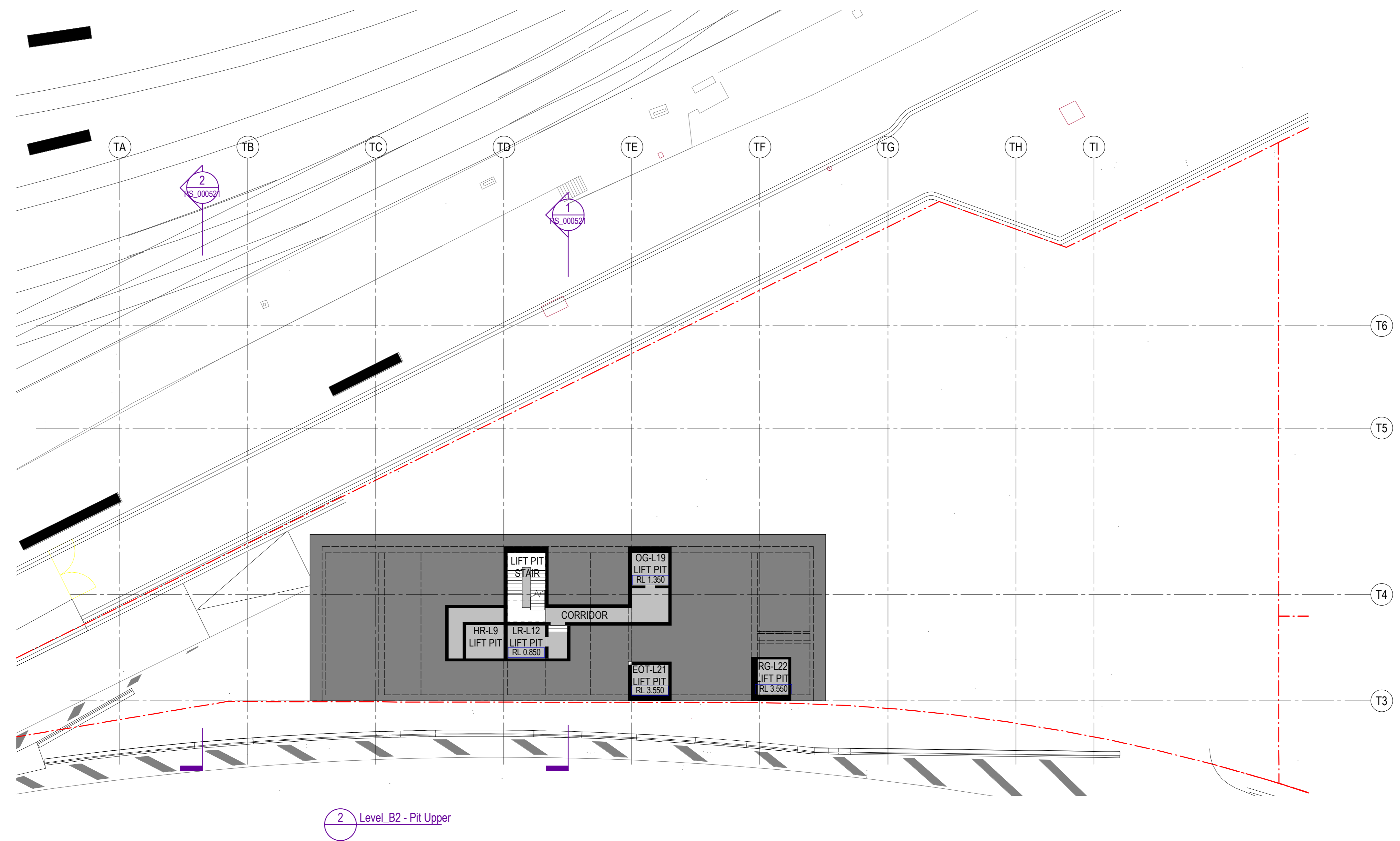
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|--|------------|---|---|--|
| Structure Accon Structure Mechanical & Electrical LCI Consultants Fire Protection & Hydraulics Warren Smith & Partners Landscape Aspect Oculus | Client | Project Melbourne Quarter Tower | Designer WOODS BAGOT Project number 130568 Checked AD Approved AD Scale 1:250 | Sheet title Site Context Cross Sections - Sheet 1 Sheet number MQT_AD_PS_000521 Revision 1 Status PLANNING SUBMISSION |
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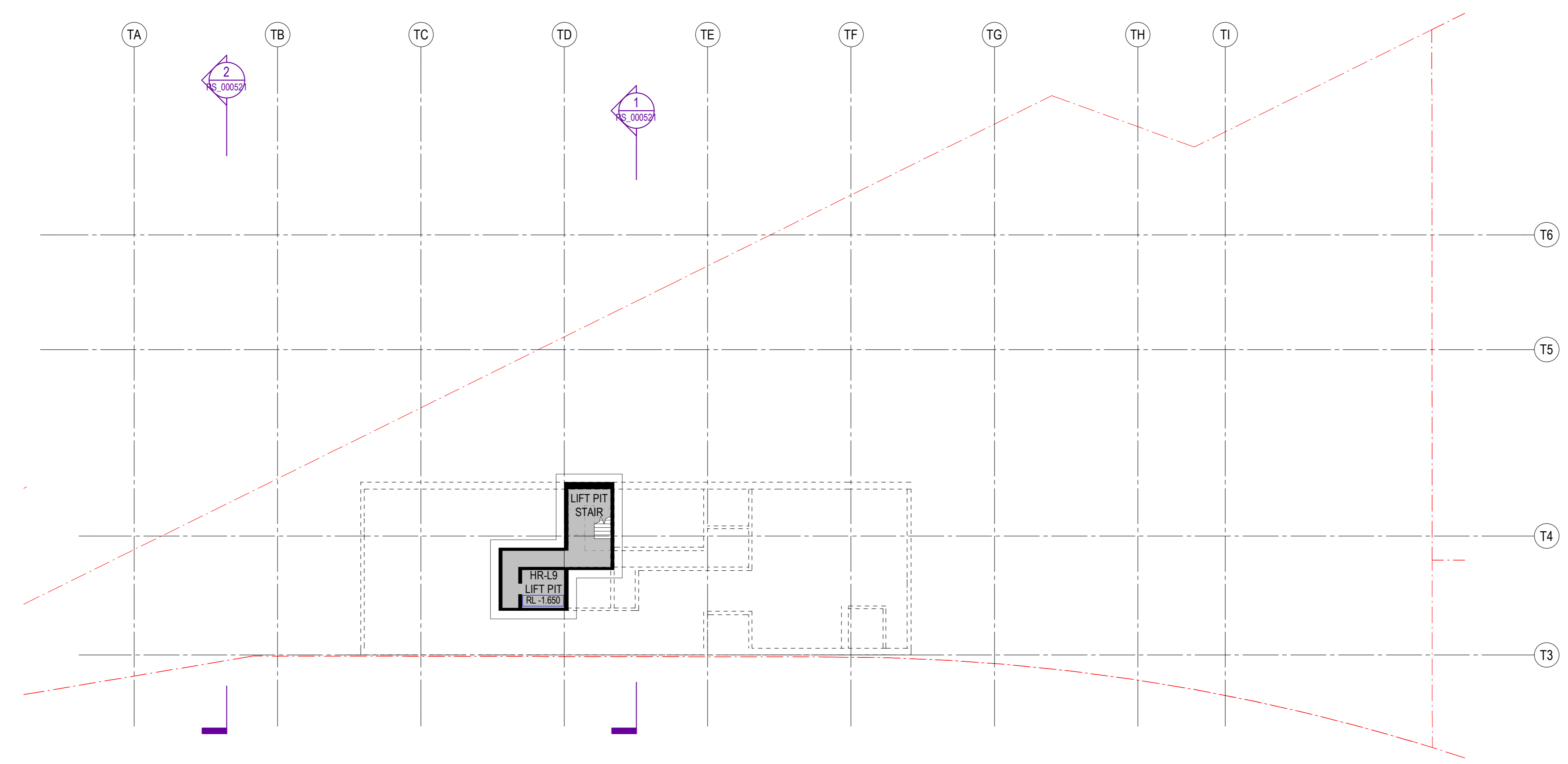


| Revision | Description | Date | Notes & Legend |
|----------|---------------------|----------|--|
| 1 | Planning Submission | 18/11/18 | Controler must verify all dimensions on site before commencing work or preparing shop drawings. Do not scale drawings. |

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|--|---|--|---|
| <p>Structure Arcom Structure</p> <p>Mechanical & Electrical LCI Consultants</p> <p>Fire Protection & Hydraulics Warren Smith & Partners</p> <p>Landscape Aspect Oculus</p> | <p>Project Melbourne Quarter Tower</p>  | <p>Client WOODS BAGOT</p> <p>Project number 130568</p> <p>Checked Checker</p> <p>Approved Approver</p> <p>AD</p> <p>Size check 25mm</p> <p>Scale 1:250</p> | <p>Sheet title Site Context Cross Sections - Sheet 2</p> <p>Sheet number MQT_AD_PS_000522</p> <p>Revision 1</p> <p>Status PLANNING SUBMISSION</p> |
|--|---|--|---|



2 Level_B2 - Pit Upper



1 Level_B2 - Lift Pit Lower

| Revision | Description | Date | Notes & Legend |
|----------|---------------------|----------|---|
| 1 | Planning Submission | 19/12/18 | Consultant must verify all dimensions on site before commencing work or preparing shop drawings. Do not scale drawings. |

Structure
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LCI Consultants
 Fire Protection & Hydraulics
Warren Smith & Partners
 Landscape
Aspect Oculus

Project
Melbourne Quarter Tower
 Client

Woods Bagot
 Project number
130568
 Checked
 Checker
 Approved
 Approver
 AD
 Size check
 25mm
 Scale
 1:200

Sheet title
**Basement Floor Plan
 Level B2 - Lift Pit**
 Sheet number
MQT_AD_PS_102000
 Revision
1
 Status
PLANNING SUBMISSION



| Revision | Description | Date | Notes & Legend |
|----------|---------------------|----------|--|
| 1 | Planning Submission | 19/12/18 | Consultor must verify all dimensions on site before commencing work or preparing shop drawings. Do not scale drawings. |

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Structure
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LCI Consultants
 Fire Protection & Hydraulics
Warren Smith & Partners
 Landscape
Aspect Oculus

Project
Melbourne Quarter Tower

Client

Issue
WOODS BAGOT
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 Project number
130568
 Checked
 Approved
 AD

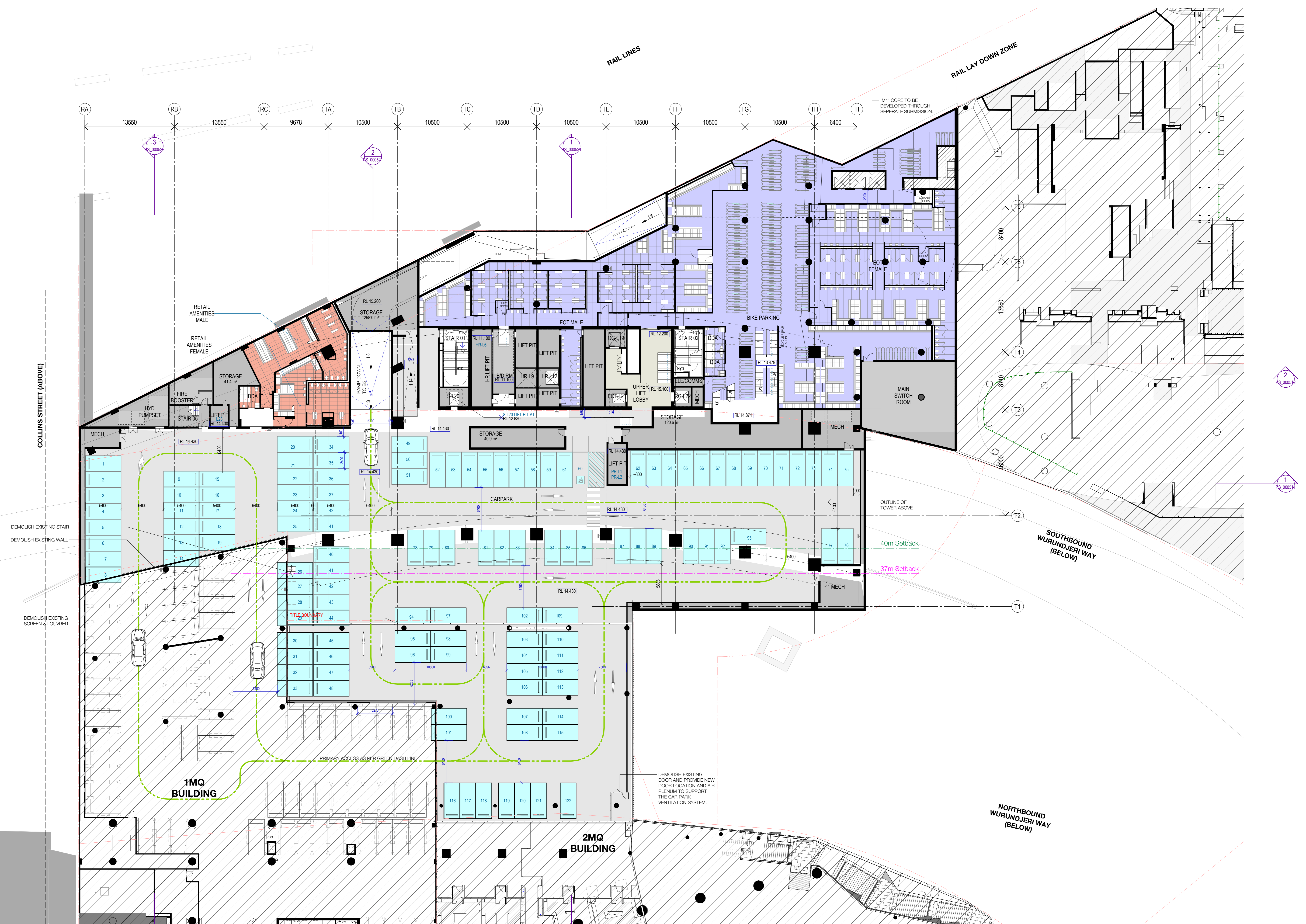
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Sheet number
MQT_AD_PS_103000

Revision
1

Status
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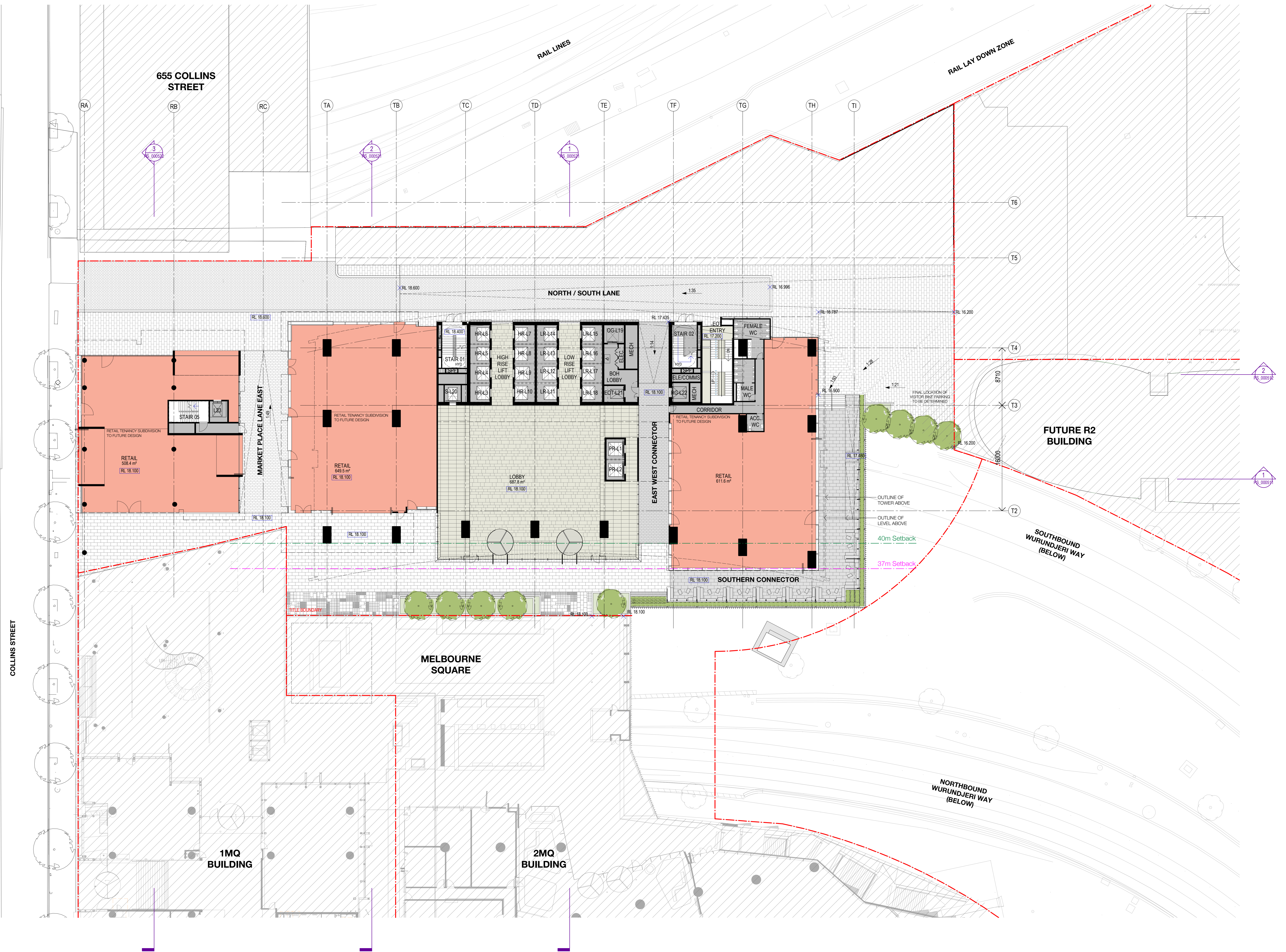
| Revision | Description | Date | Notes & Legend |
|----------|---------------------|----------|--|
| 1 | Planning Submission | 19/12/18 | Consultor must verify all dimensions on site before commencing work or preparing shop drawings. Do not scale drawings. |

Structure
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 Fire Protection & Hydraulics
 Warren Smith & Partners
 Landscape
 Aspect Oculus

Client

Project
 Melbourne Quarter Tower
 © Woods Bagot
 Project number
 130568
 Checked
 Approved
 AD

Sheet title
 Basement Floor Plan
 Level B1
 Sheet number
 MQT_AD_PS_104000
 1
 Status
 PLANNING SUBMISSION



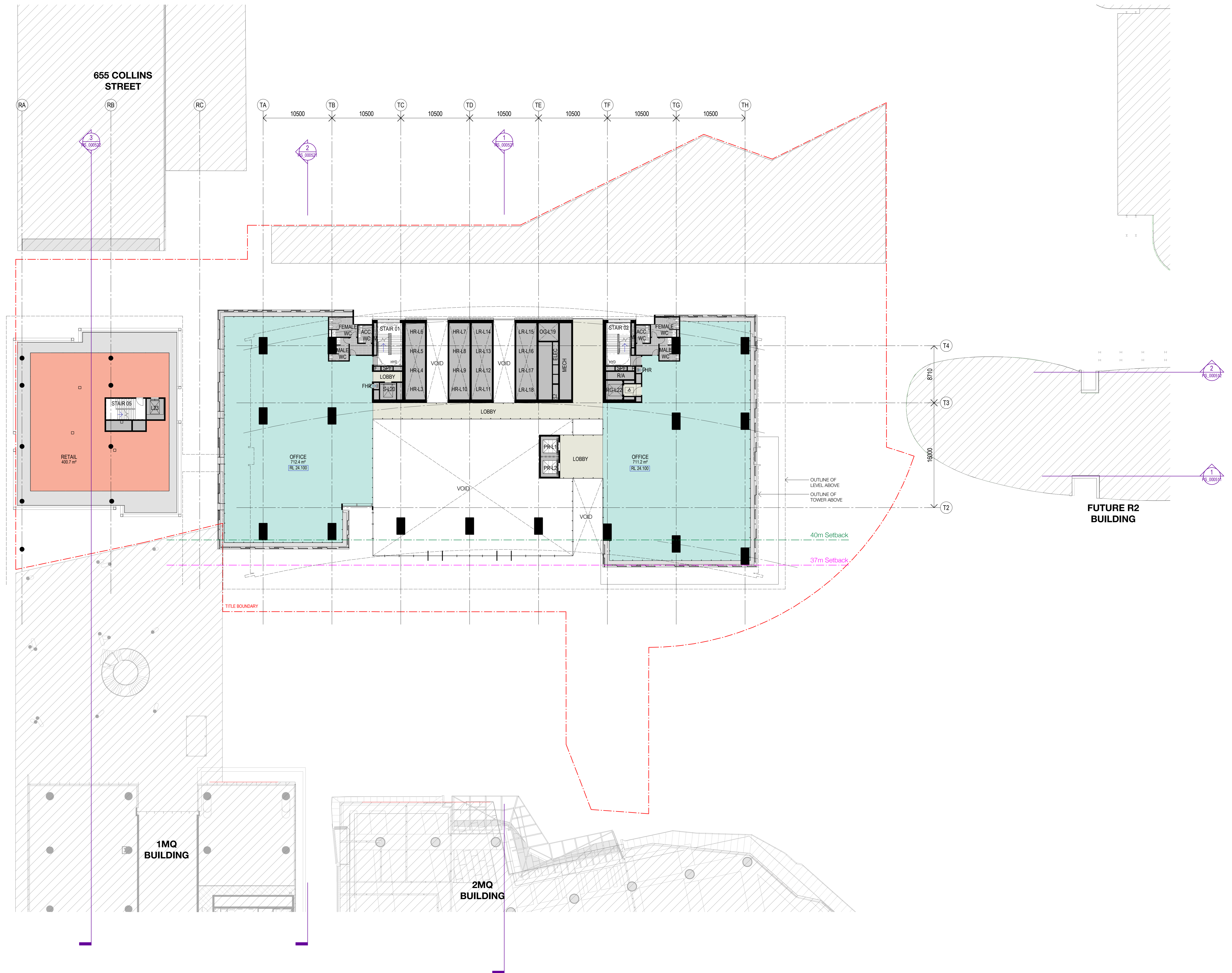
| Revision | Description | Date | Notes & Legend |
|----------|---------------------|----------|--|
| 1 | Planning Submission | 19/12/18 | Consultor must verify all dimensions on site before commencing work or preparing shop drawings. Do not scale drawings. |

Structure
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 Landscape
 Aspect Oculus

Project
 Melbourne Quarter Tower
 Client

Woods Bagot
 Project number
 130568
 Checked
 Approved
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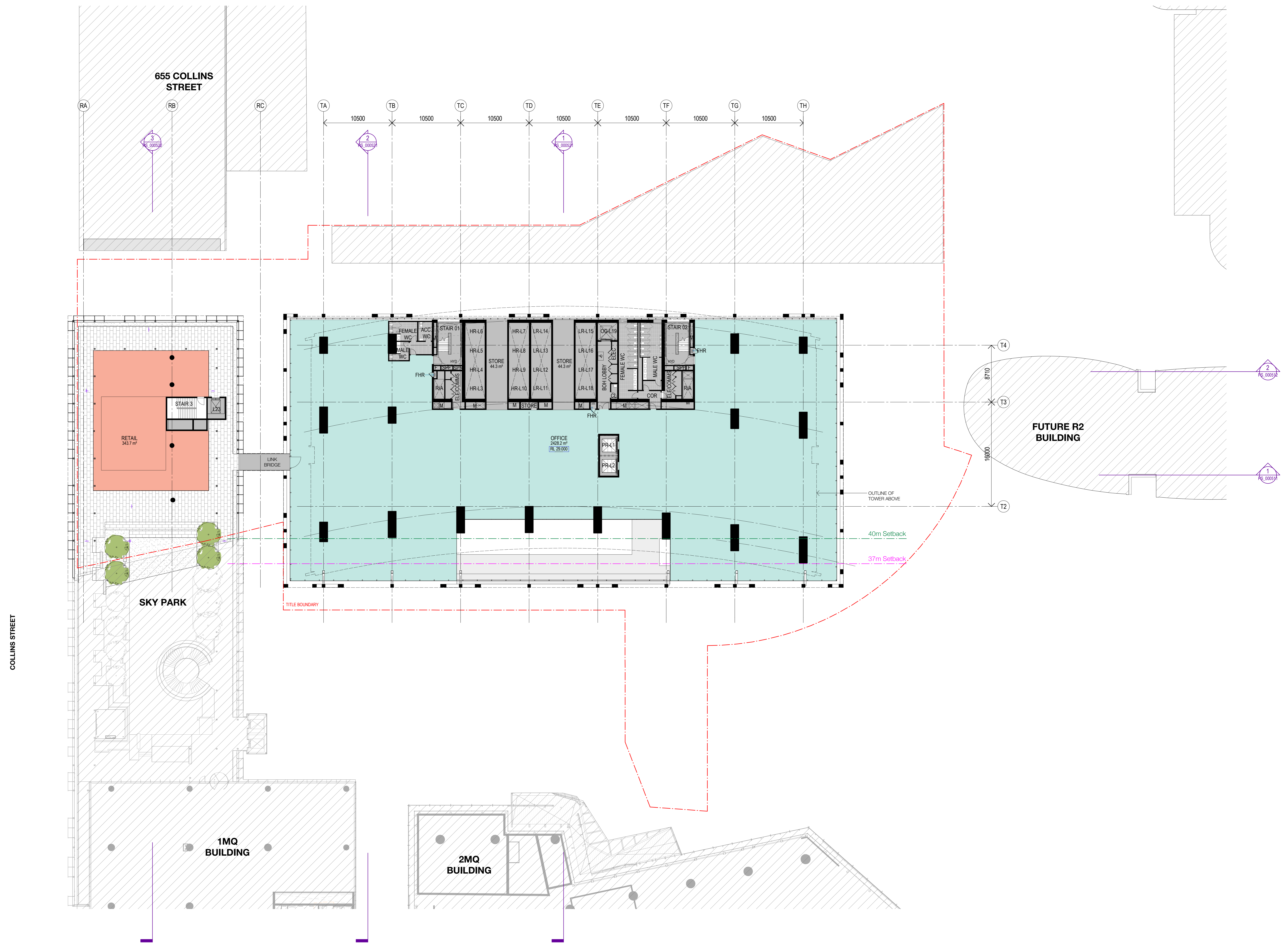
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 Podium Floor Plan
 Level 00 - Ground Floor
 Sheet number
 MQT_AD_PS_200000
 Status
 PLANNING SUBMISSION



| Revision | Description | Date | Notes & Legend |
|----------|---------------------|----------|--|
| 1 | Planning Submission | 19/12/18 | Consultor must verify all dimensions on site before commencing work or preparing shop drawings. Do not scale drawings. |

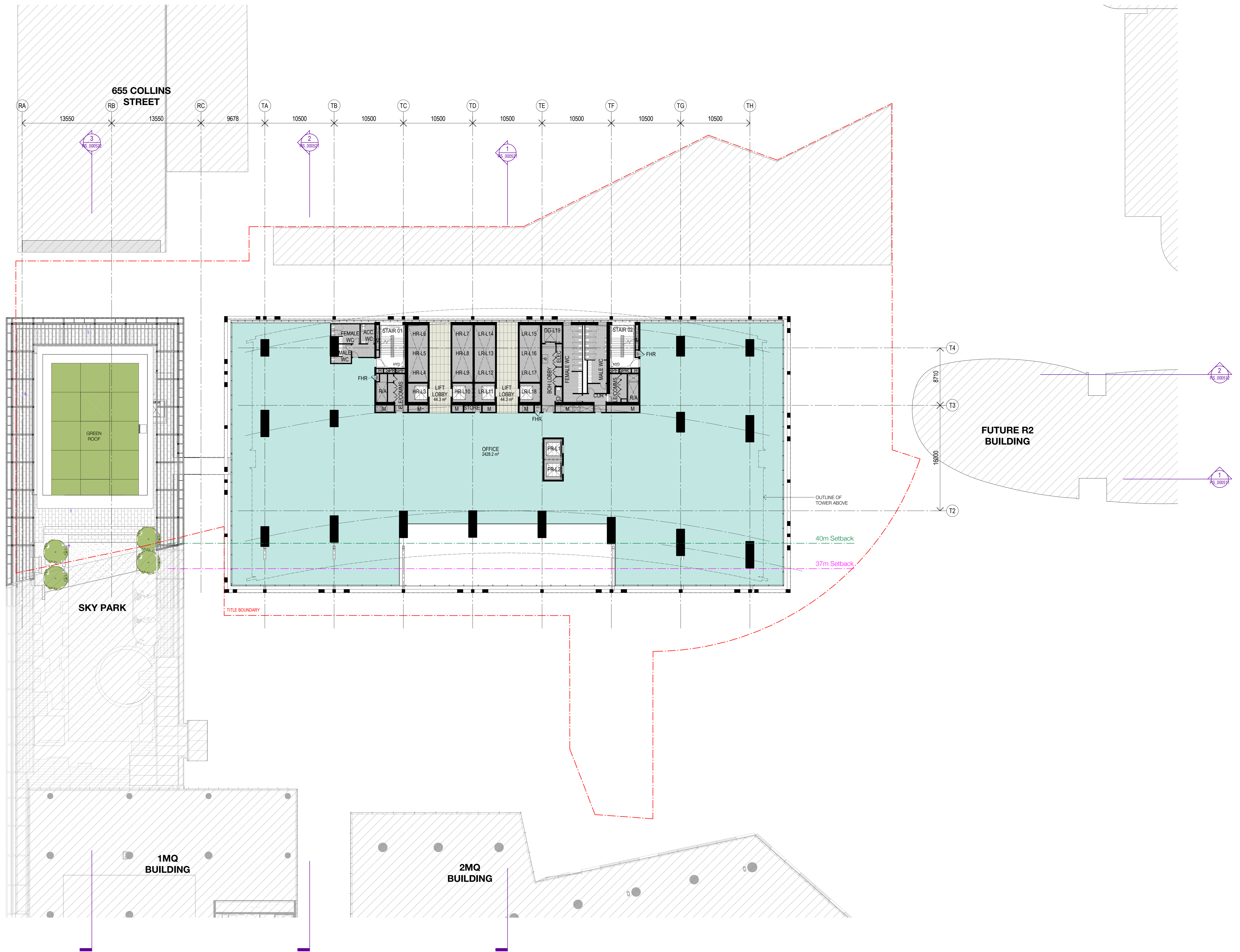
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|--|--|---|--|
| <p>Structure Arcon Structure</p> <p>Mechanical & Electrical LCI Consultants</p> <p>Fire Protection & Hydraulics Warren Smith & Partners</p> <p>Landscape Aspect Oculus</p> | <p>Project Melbourne Quarter Tower</p> <p>Client </p> | <p>Issue WOODS BAGOT</p> <p>Project number 130568</p> <p>Checked Approver</p> <p>Size check 25mm</p> <p>Scale 1:200</p> | <p>Sheet title Podium Floor Plan Level 01</p> <p>Sheet number MQT_AD_PS_201000</p> <p>Revision 1</p> <p>Status WORK IN PROGRESSION</p> |
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| Revision | Description | Date | Notes & Legend |
|----------|---------------------|----------|--|
| 1 | Planning Submission | 19/12/18 | Consultor must verify all dimensions on site before commencing work or preparing shop drawings. Do not scale drawings. |

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| <p>Structure Arcon Structure</p> <p>Mechanical & Electrical LCI Consultants</p> <p>Fire Protection & Hydraulics Warren Smith & Partners</p> <p>Landscape Aspect Oculus</p> | <p>Client Landresse</p> | <p>Project Melbourne Quarter Tower</p> | <p>Issue WOODS BAGOT</p> <p>Project number 130568</p> <p>Checked AD</p> <p>Approved AD</p> <p>Size check 25mm</p> <p>Scale 1:200</p> | <p>Sheet title Podium Floor Plan Level 02</p> <p>Sheet number MQT_AD_PS_202000</p> <p>Revision 1</p> <p>Status PLANNING SUBMISSION</p> |
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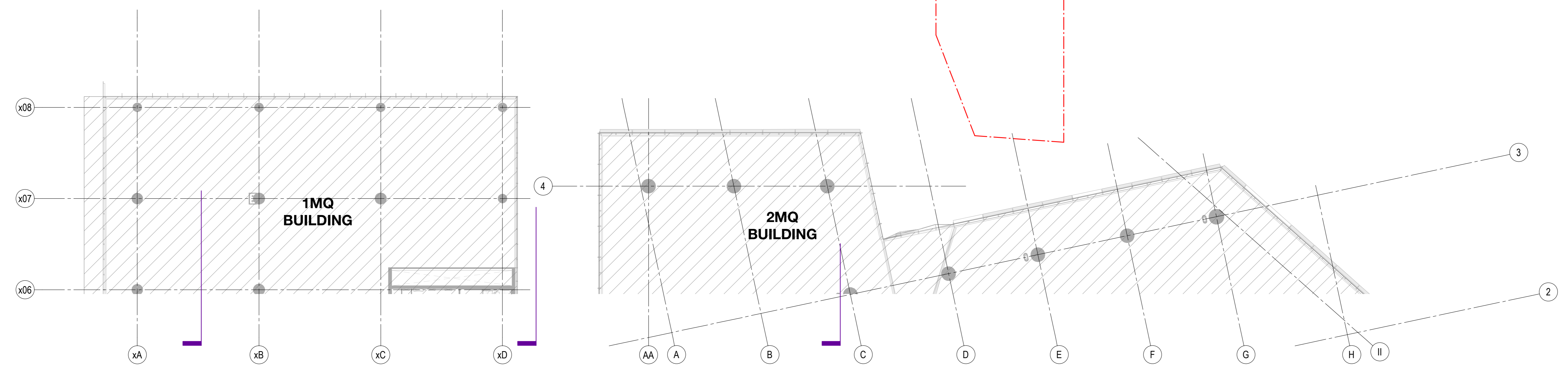
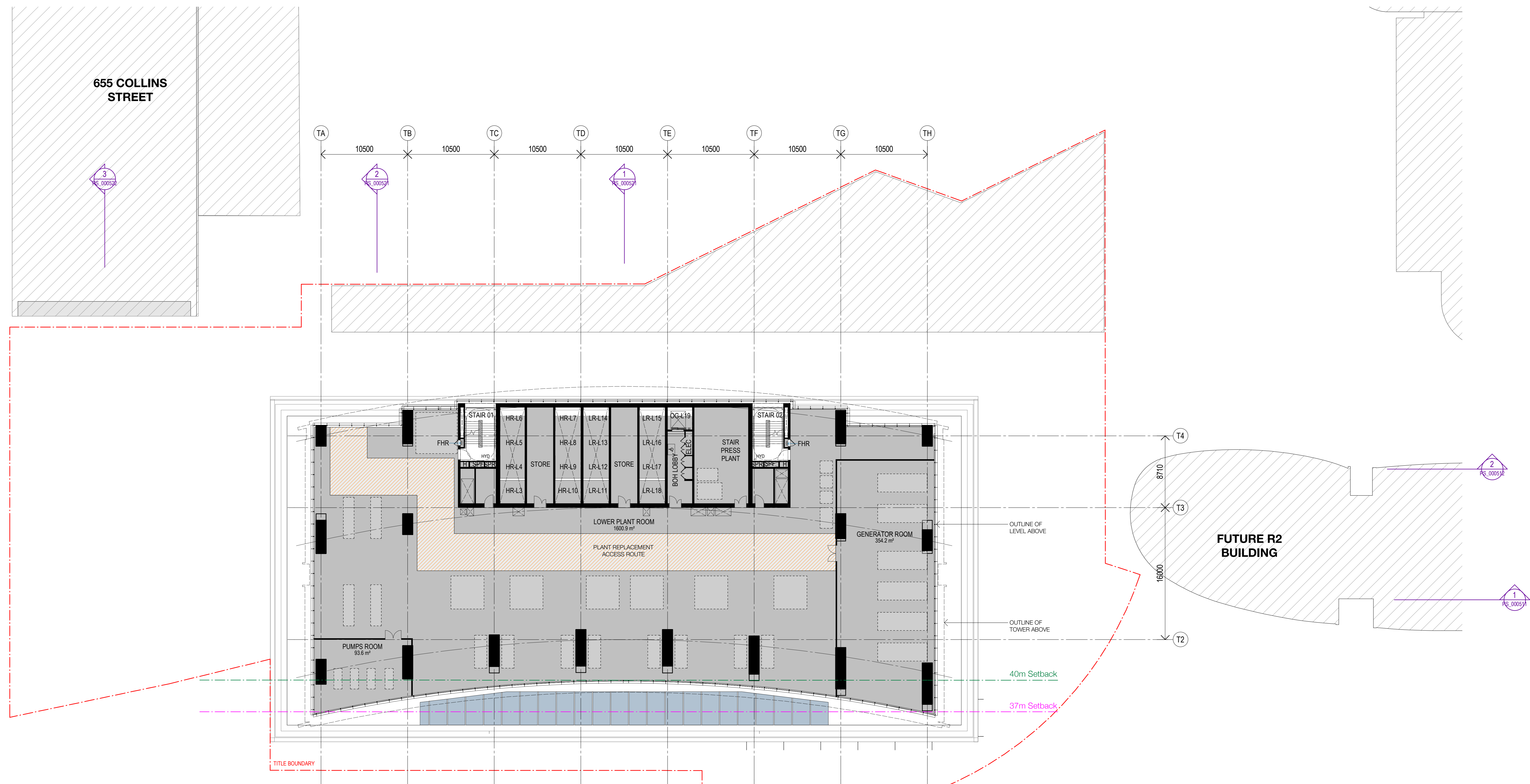
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Warren Smith & Partners
 Landscape
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Project
Melbourne Quarter Tower
 Client

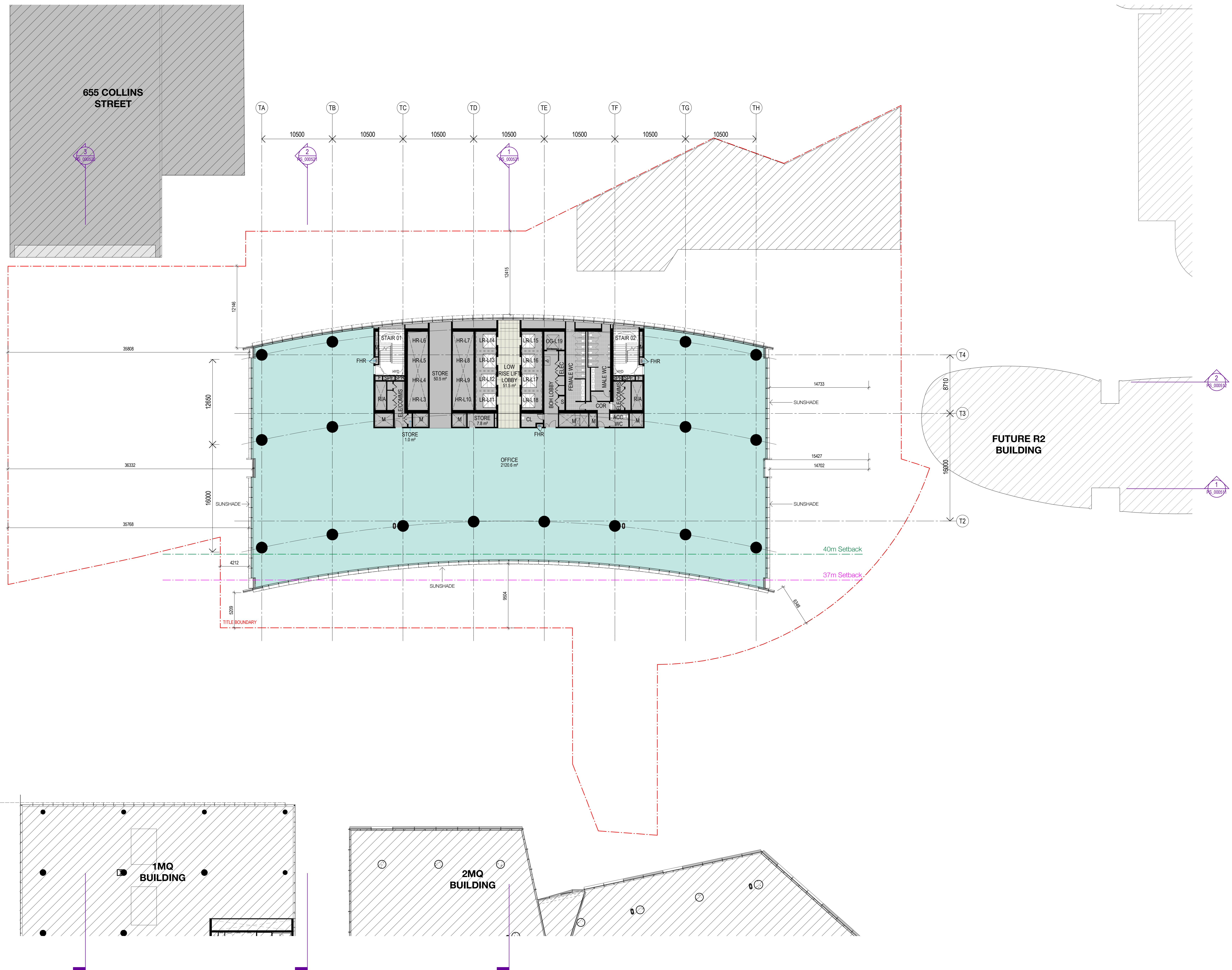
Woods Bagot
 Project number
130568
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 Size check
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Sheet title
Podium Floor Plan Level 03
 Sheet number
MQT_AD_PS_203000
 Revision
1
 Status
PLANNING SUBMISSION



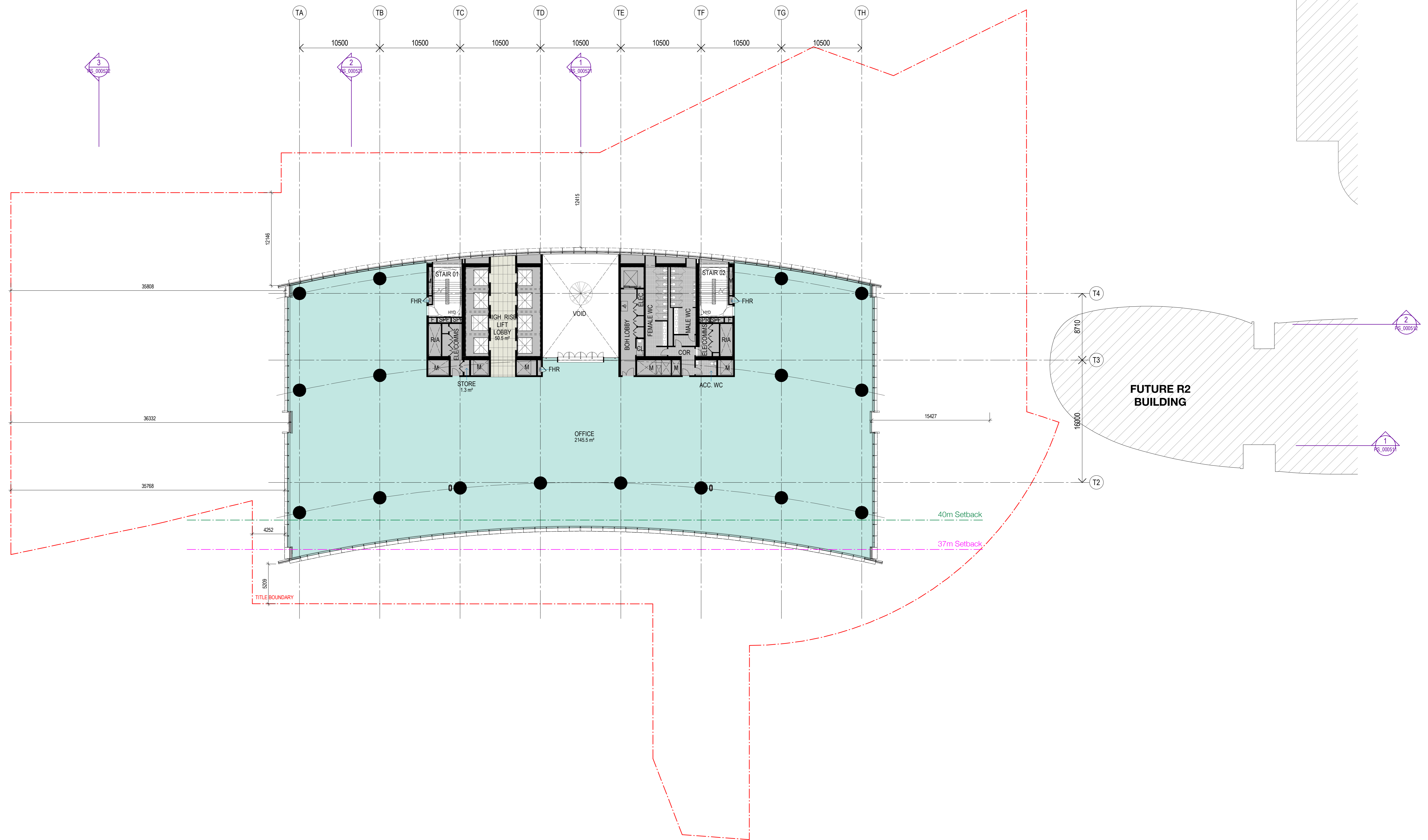
| Revision | Description | Date | Notes & Legend |
|----------|---------------------|----------|--|
| 1 | Planning Submission | 19/12/18 | Consultor must verify all dimensions on site before commencing work or preparing shop drawings. Do not scale drawings. |

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|--|---|---|--------------------------------------|---|
| Structure Accon Structure Mechanical & Electrical LCI Consultants Fire Protection & Hydraulics Warren Smith & Partners Landscape Aspect Oculus | Project Melbourne Quarter Tower Client | Project number 130568 Checked Checker Approved Approver AD | Size check 25mm Scale 1:200 | Sheet title Podium Floor Plan Level 04 - Lower Plant Sheet number MQT_AD_PS_204000 Revision 1 Status PLANNING SUBMISSION |
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| Revision | Description | Date | Notes & Legend |
|----------|---------------------|----------|--|
| 1 | Planning Submission | 19/12/18 | Consultor must verify all dimensions on site before commencing work or preparing shop drawings. Do not scale drawings. |

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| <p>Structure Arcon Structure</p> <p>Mechanical & Electrical LCI Consultants</p> <p>Fire Protection & Hydraulics Warren Smith & Partners</p> <p>Landscape Aspect Oculus</p> | <p>Project Melbourne Quarter Tower</p> <p>Client </p> | <p>Issue WOODS BAGOT</p> <p>Project number 130568</p> <p>Checked Approver AD</p> <p>Size check 25mm Scale 1:200</p> | <p>Sheet title Tower Floor Plan Level 05 - Low Rise</p> <p>Sheet number MQT_AD_PS_205000</p> <p>Revision 1</p> <p>Status PLANNING SUBMISSION</p> |
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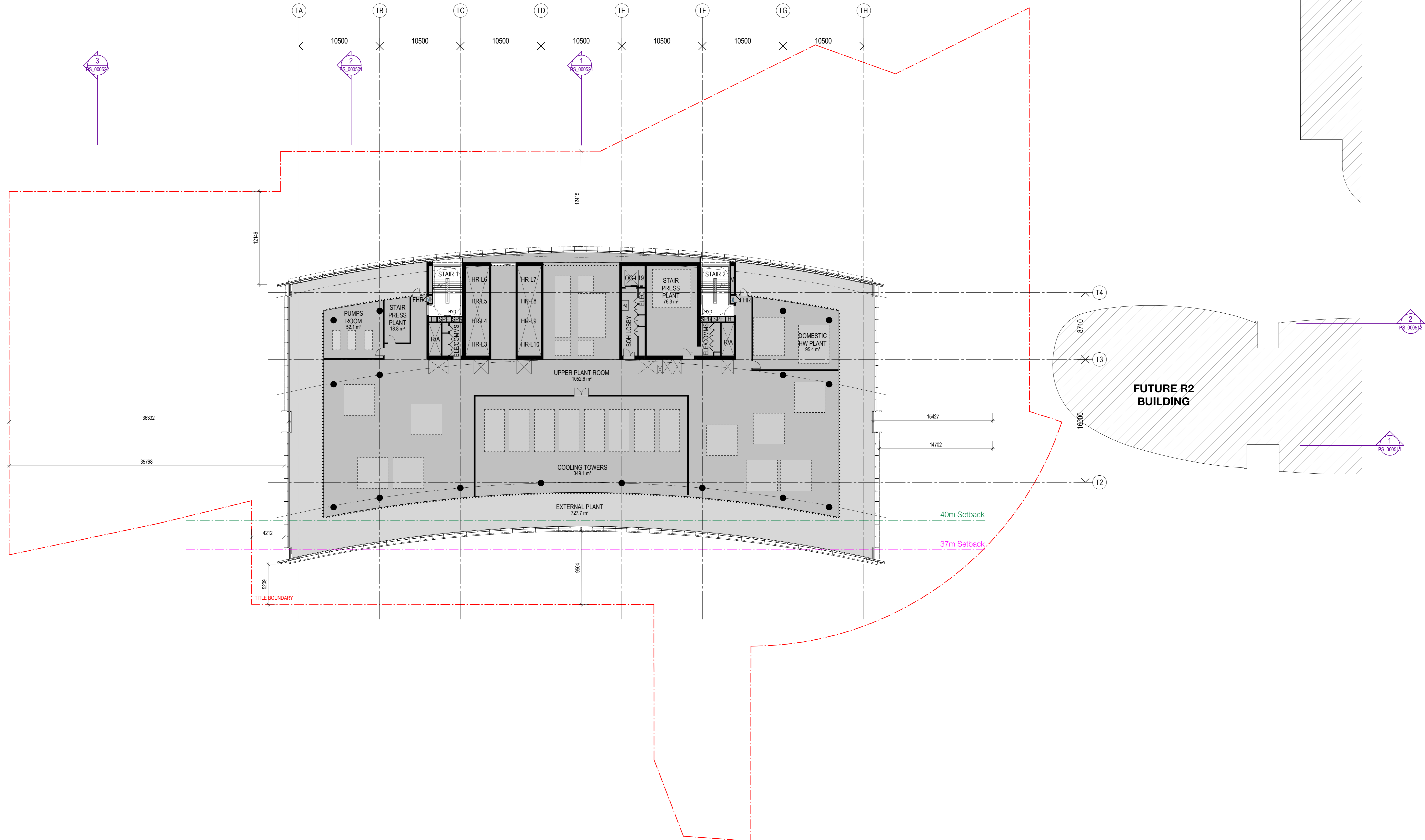
| Rev | Issue | Description | Date | Notes & Legend |
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| 1 | Submit | Planning Submission | 19/12/18 | Consultor must verify all dimensions on site before commencing work or preparing shop drawings. Do not scale drawings. |

Structure
Arcon Structure
 Mechanical & Electrical
 LCI Consultants
 Fire Protection & Hydraulics
 Warren Smith & Partners
 Landscape
 Aspect Oculus

Project
Melbourne Quarter Tower
 Client

Issue
WOODS BAGOT
 Project number
 130568
 Checked
 Checker
 Approved
 Approver
 AD
 Size check
 25mm
 Sheet size
 A4
 Scale
 1:200

Sheet title
**Tower Floor Plan
 Level 31 - High Rise**
 Sheet number
MQT_AD_PS_331000
 Revision
 1
 Status
 PLANNING SUBMISSION



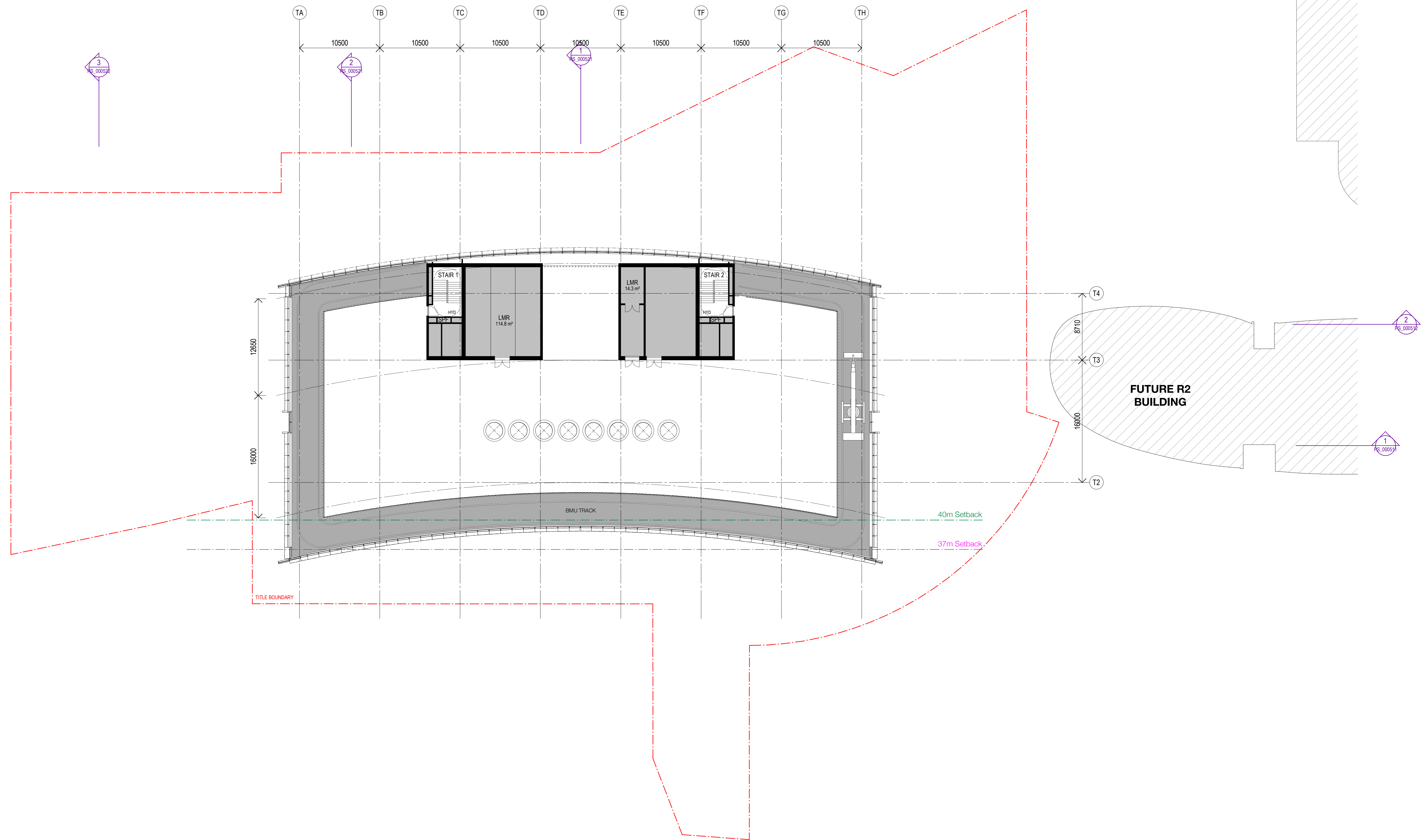
| Revision | Description | Date | Notes & Legend |
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| 1 | Planning Submission | 19/12/18 | Consultant must verify all dimensions on site before commencing work or preparing shop drawings. Do not scale drawings. |

Structure
Accon Structure
 Mechanical & Electrical
 LCI Consultants
 Fire Protection & Hydraulics
 Warren Smith & Partners
 Landscape
 Aspect Oculus

Project
Melbourne Quarter Tower
 Client

Woods Bagot
 Project number
130568
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 Size check
 25mm
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Sheet title
Tower Floor Plan Level 32 - Upper Plant
 Sheet number
MQT_AD_PS_332000
 Revision
1
 Status
PLANNING SUBMISSION



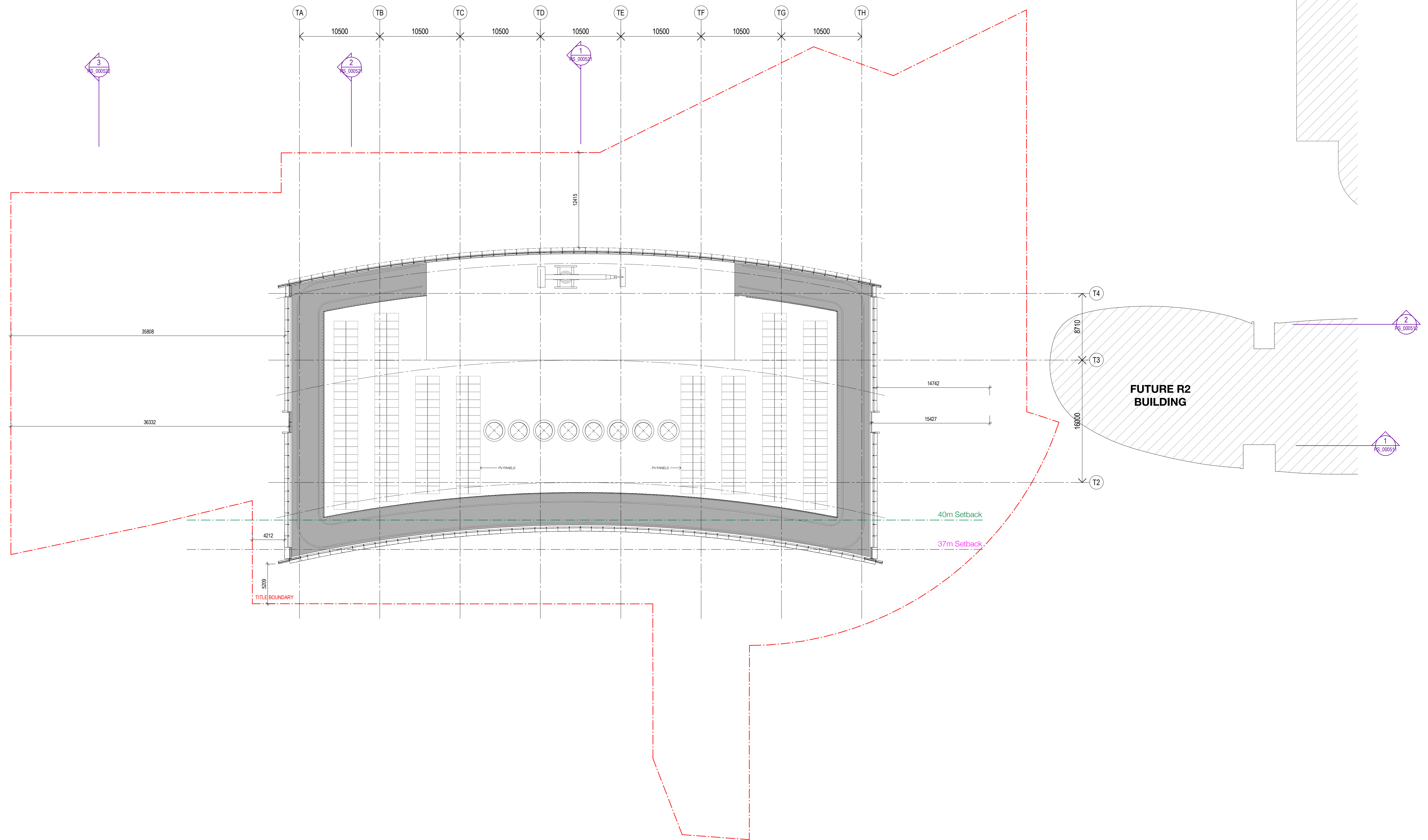
| Revision | Description | Date | Notes & Legend |
|----------|---------------------|----------|---|
| 1 | Planning Submission | 19/12/18 | Consultant must verify all dimensions on site before commencing work or preparing shop drawings. Do not scale drawings. |

Structure
Arcon Structure
 Mechanical & Electrical
 LCI Consultants
 Fire Protection & Hydraulics
 Warren Smith & Partners
 Landscape
 Aspect Oculus

Project
Melbourne Quarter Tower
 Client

Woods Bagot
 Project number
130568
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 Checker
 Approved
 Approver
 AD
 Size check
 25mm
 Scale
 1:200

Sheet title
**Tower Floor Plan
 Level 33 - Upper Plant**
 Sheet number
MQT_AD_PS_333000
 Revision
1
 Status
PLANNING SUBMISSION



| Revision | Description | Date | Notes & Legend |
|----------|---------------------|----------|--|
| 1 | Planning Submission | 19/12/18 | Consultor must verify all dimensions on site before commencing work or preparing shop drawings. Do not scale drawings. |

Structure
Arcon Structure
 Mechanical & Electrical
LCI Consultants
 Fire Protection & Hydraulics
Warren Smith & Partners
 Landscape
Aspect Oculus

Project
Melbourne Quarter Tower
 Client

Woods Bagot
 Project number
130568
 Checked
 Checker
 Approved
 Approver
 AD
 Size check
 25mm
 Scale
 1:200

Sheet title
Tower Floor Plan Level 34 - Roof Plan
 Sheet number
MQT_AD_PS_334000
 Revision
1
 Status
PLANNING SUBMISSION

PLANNING REPORT

MINISTERIAL REFERRAL

| | |
|--|---|
| Application number: | TPMR-2016-23/A |
| DELWP Application number: | PA1600147-1 |
| Applicant / Owner / Architect: | Contour Consultants c/o Lend Lease / Victorian Urban Development Authority / Woods Bagot |
| Address: | 681-693 Collins Street, Docklands VIC 3008 |
| Proposal: | Proposal to amend Planning Permit PA1600147 and associated plans in relation to a revised Melbourne Quarter Tower (Stage C2) development proposal. |
| Cost of works: | \$380,000,000 |
| Date received by City of Melbourne: | 31 December 2018 |
| Responsible officer: | Julian Larkins |
| Report Date: | 18 March 2019 |
| (DM# 12358697) | |

1. SUBJECT SITE AND SURROUNDS

1.1. The site

The subject site forms part of the approved Batman Hill Development Plan (now known as Melbourne Quarter) located on the south side of Collins Street between Media House to the east and Aurora Lane to the west. Wurundjeri Way extends north-south through the site, with floor plates being built above its airspace as part of the development of the subject site and the other commercial stages (One Melbourne Quarter and Two Melbourne Quarter) of the precinct.

The wider Melbourne Quarter site comprises five land parcels which are divided by Wurundjeri Way (north and south bound arterial roads) extending between Collins Street and Flinders Street, with a total site area of approximately 24,150m². The subject site (Stage C2 or Melbourne Quarter Tower) makes up 8,686m² of the total Melbourne Quarter site area.

Melbourne Quarter consists of three residential stages fronting Flinders Street (R1, R2 and R3), three commercial stages fronting Collins Street (C1, C2 and C3) as well as the S1 Stage in the middle of the precinct south of the commercial buildings. All stages except for the low-rise S1 Office Building have planning permits in accordance with the approved development. Stage C1 is complete and stages C2 and C3 are either under construction or being utilised for parking or construction purposes. The table and Figure 1 below further demonstrate the status of each part of Melbourne Quarter.

Other notable features include the relocated 25 metre high eagle sculpture known as Bunjil located within the median strip of Wurundjeri Way and the red brick Heritage Victoria wall along the southern boundary fronting Flinders Street.

The first stage of the commercial precinct, One Melbourne Quarter (C1), a 12 storey office building fronting Collins Street along with ground plane and the spiral access stairs to the first portion of the Skypark is complete and occupied.

FIGURE 1: MELBOURNE QUARTER SITE MAP INCLUDING COMMERCIAL STAGES (Source: Page 20 of approved Development Plan Amendment, prepared by Contour Consultants)

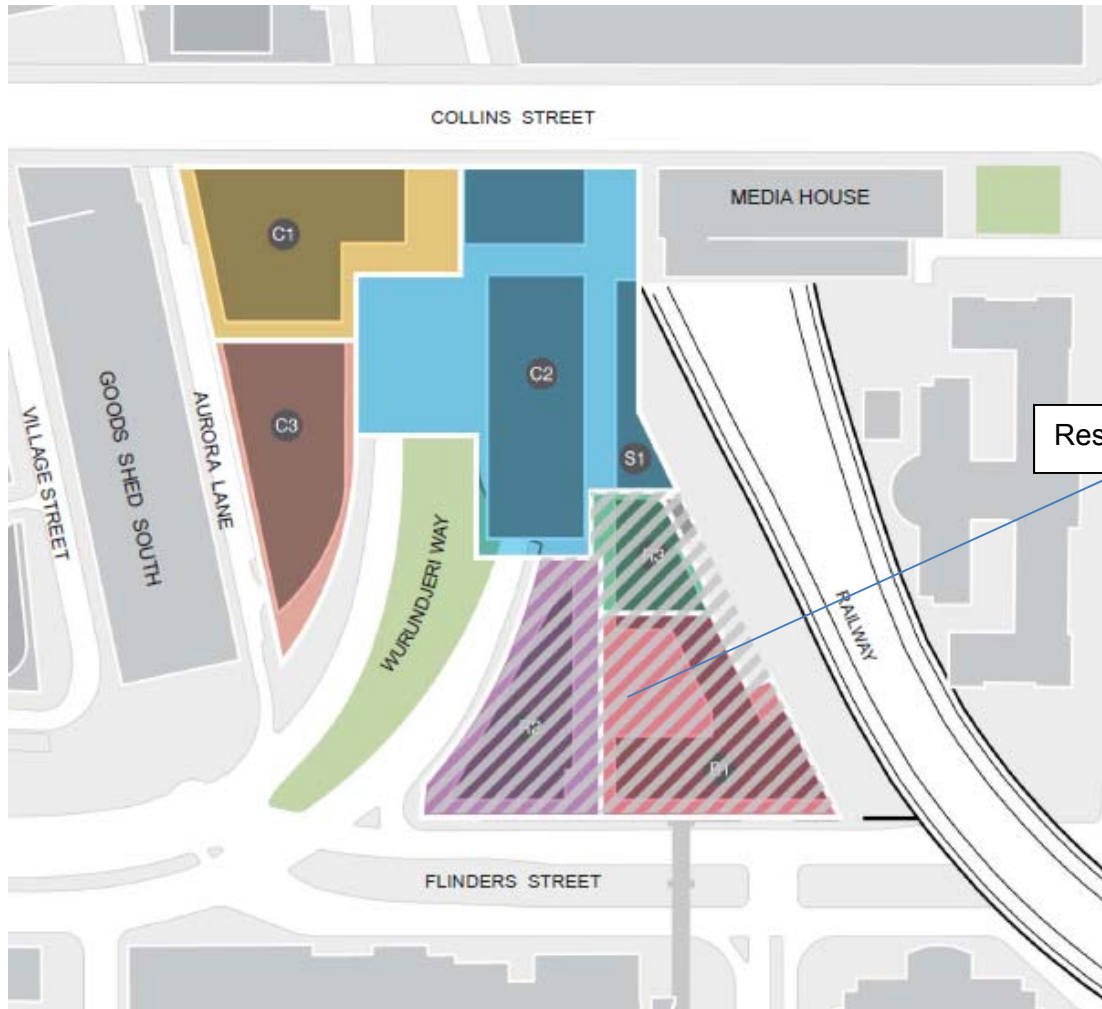
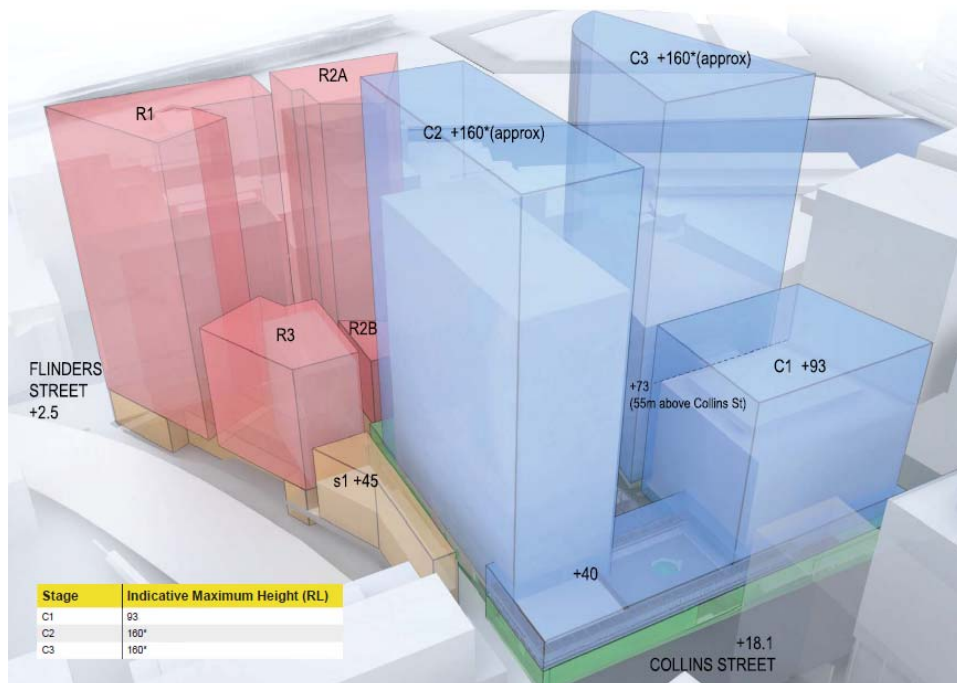


Table showing status of each Stage of Melbourne Quarter

| Stage | Development Plan indicative height | Planning status | Construction status |
|---|---|--|-------------------------------|
| C1 (One Melbourne Quarter) | 73 RL to 93 RL | DELWP Permit 2015/31541 issued 1 March 2015 allows for a 55 metre commercial building (73 RL) | Complete and occupied |
| C2 (Melbourne Quarter Tower) | 160 RL* *Note: The RL'S of C2, C3, R1 and R2 will be limited in height so as to not overshadow the South bank of the Yarra river during the winter solstice. Maximum RL allowed utilising | DELWP Permit PA1600147 issued 12 December 2017 currently allows for RL 137.7 metre building (119.7 metres high to parapet) Subject application is to amend this permit to a height of 165.25 RL (including plant) | Land cleared for construction |

| | | | |
|---------------------------------------|---|---|-------------------------------|
| | the above test is approximately RL 176.1m | | |
| C3 (Two Melbourne Quarter) | 160 RL* *Note: The RL'S of C2, C3, R1 and R2 will be limited in height so as to not overshadow the South bank of the Yarra river during the winter solstice. | DELWP Permit PA1700248 issued on 17 December 2017 allows for a building that does not overshadow the north bank of the Yarra River (within 11 metres of the river bank) 128.55 RL (approxiamtely 125 metres above Aurora Lane) | Under construction |
| R1 | 137 RL (134.5m above Flinders Street) | DELWP Permit 2015/35668 issued 21 August 2016 allows for a 135.5m residential building | Under construction |
| R2 | 137 RL (134.5m above Flinders Street) | DELWP Permit 2015/35668 issued 21 August 2016 allows for a 135.5m residential building | Land cleared for construction |
| R3 | 73 RL | DELWP Permit 2015/35668 issued 21 August 2016 allows for a 58.1m residential building. | Land cleared for construction |
| S1 | 45 RL | No planning approval | N/A |

FIGURE 2: MELBOURNE QUARTER MAXIMUM BUILDING ENVELOPES (Source: Page 11 of approved Development Plan Amendment, prepared by Contour Consultants)



*Note: The RL'S of C2, C3, R1 and R2 will be limited in height so as to not overshadow the South bank of the Yarra river during the winter solstice.

As stated, this application relates to the C2 (Melbourne Quarter Tower) stage of Melbourne Quarter which is located at the north-east corner of the site bounded by C1 stage (One Melbourne Quarter) and C3 (Two Melbourne Quarter) stage to the

west, the North-South link and S1 stage to the east and R1 to R3 stage (Melbourne Quarter Residential Precinct) to the south.

The subject site is currently occupied by temporary buildings for the purposes of construction. The applicant has declared that there are no encumbrances such as easements or restrictive covenants that affect the application.

1.2. Surrounds

The immediately adjoining sites are developed as follows:

- East – Media House and the proposed commercial S1 stage of Melbourne Quarter (not yet built) separated from the subject site by the proposed North South Lane.
- West – C1 stage of Melbourne Quarter known as One Melbourne Quarter comprising a 12 storey commercial building with ground floor retail and the proposed C3 stage (Two Melbourne Quarter) of Melbourne Quarter.
- South – proposed R1 to R3 stages of Melbourne Quarter known as the Melbourne Quarter Residential Precinct.
- North – elevated Collins Street over Wurundjeri Way with a central tram line, traffic lanes, bicycle lanes and parallel parking. Further north over Collins Street is the Southern Cross Station, Wurundjeri Way and 700 Collins Street

2. THE PROPOSAL

The proposal relates to stage C2 of Melbourne Quarter to be known as the Melbourne Quarter Tower and seeks approval to amend the existing permit and endorsed plans under a Department of Environment, Land, Water and Planning (DELWP) Permit PA1600147 (issued by the Minister on 12 March 2017). The approved C2 development includes:

- Construction of a commercial office tower (Melbourne Quarter Tower) to a height of 119.7 meters to parapet and associated retail uses.
- Construction of the easterly extension of the Skypark that accommodates ground level retail uses as well as a retail tenancy to the Skypark.
- Construction of the public realm areas generally in accordance with the approved development plan and supporting information.
- Construction of ancillary car parking.

The amendments are sought via Section 72 of the *Planning and Environment Act*. Some of the key features of the approved Melbourne Quarter Tower that are remaining the same include the location of ground level retail and pedestrian lobby areas, the construction of a retail pod adjacent to Collins Street and below the eastern portion of the Skypark and the construction of the public realm areas. The key amendments proposed are as follows:

- The overall height increased by five storeys from 137 RL to 165.25 RL, with associated increase in GFA from 92,086sqm to 101,998sqm
- The majority of the Melbourne Square at grade publicly accessible open space in the middle of the Commercial Precinct will no longer be delivered as part of Stage C2. This has been approved and is currently under construction as part of 2MQ (Stage C3).
- Removal of the child care centre.

- The floorplate of the tower is being altered from a regular rectangle to include a convex curve to the eastern façade and concave curve to the western façade.
- The materials of the tower have changed from a simplistic glass façade to more varied and detailed.
- The materials and design of the lower levels have altered, in particular to the east facing façade.
- The Sky Room on the north elevation has been removed.
- The eastern façade of the tower now overhangs the North-South Lane reducing its width to 7.5 metres (currently 10 metres).
- Various other changes including, but not limited to, deletion of retail pods within Melbourne Square, reconfiguration of the retail tenancies within the retail building at the northern part of the site adjacent to Collins Street, relocation of the main pedestrian lobby to the tower such that it is now accessed from Melbourne Square and enclosure of the southern connection to prevent wind impacts.
- The above changes will require associated changes to the permit preamble and conditions as follows:
 - The preamble will need to remove reference to the child care centre.
 - All conditions that include 'prior to development' requirements are proposed to exclude site preparation works, demolition, temporary sheds or structures for construction purposes, bulk excavation, site preparation and retention works, soil remediation, piling, footings, ground beams and ground slabs. This is to allow the project to continue while the applicant closes out various conditions in the same manner to 2MQ permit.
 - Conditions 12, 13 and 30 in regard to North South Lane being a Public Highway are no longer applicable now that Council has agreed to the North South Lane being owned by the applicant. Also, Condition 34 in regard to street furniture is to no longer include reference to North South Lane.
 - Section 173 condition (Condition 16) for publicly assessable access must now also include the North South Lane.
 - Condition 22 referencing the architect is to be updated to Woods Bagot.
 - Waste, ESD, Stormwater and wind conditions to be updated.
 - VicRoads and PTV conditions to be updated.
 - Condition 61 (timeframe) to be updated to be from amended permit.
 - Various conditions will require renumbering as a result of these changes.

Further details of the changes will be discussed in detail below.

FIGURE 3: DESIGN COMPARISON AS VIEWED FROM SOUTHERN CROSS STATION ON COLLINS STREET

Proposed



Endorsed



The key changes between the endorsed and proposed schemes are noted in the comparison table below:

| | Development Plan | Proposal | Endorsed |
|--------------------------------------|---|--|--|
| Gross Floor Area (GFA) | 76,923 – 105,538 square metres | 101,998 square metres | 92,086 square metres |
| Office NLA | 50,500 – 66,600 square metres | 64,000 square metres | 55,538 square metres |
| Retail | 5076 square metres | 2,800 square metres | 2,499 square metres |
| Community | N/A | 497 square metres | N/A |
| Building height | Indicative RL160* but up to RL176.1m (based on overshadowing test) | RL165.250m (32 storeys above Collins Street ground level) | RL 137.7m (27 storeys above Collins Street ground level) |
| Skypark height | RL40 (22m above Collins) | RL36.3m (18.3m above Collins Street) | RL33.05 (15.05m above Collins Street) |
| Front, side and rear setbacks | <p><i>Tower – front</i></p> <p>Ground – 31m</p> <p>Podium – 31m</p> <p>Tower - 25m</p> <p>West</p> <p>- 20m at ground to C1</p> <p>- 40m between towers</p> <p>East – 10m separation with S1</p> <p>South – not specified</p> | <p><i>Tower – front</i></p> <p>Ground – 31m</p> <p>Podium - 31m</p> <p>Tower – 36m</p> <p>West – 20 metres at ground and minimum 40 metres above</p> <p>East – 7.5 metres to S1</p> <p>South – 23 metres to R2</p> | <p><i>Tower – front</i></p> <p>Ground – Not specified</p> <p>Podium – Not specified</p> <p>Tower – Not specified</p> <p>West – 20 metres at ground and minimum 35 metres for tower to C1 stage and 40 metres at ground and minimum 37 metres for tower to C3 stage</p> <p>East – 10 metres to S1 stage</p> <p>South – 23 metres to R2 stage.</p> |
| Plot Ratio | Not specified | 11.7:1 | 10.6:1 |
| Car parking spaces | 170 (indicative) | 122 | 121 |
| Bicycle facilities and spaces | Not specified | 686 | 335 at basement level B1 |
| Loading/unloading | Not specified | Four loading bays (2x van bays and 2 x 8.8m long bays) | Loading facility at basement level B4 |
| Vehicle access | Not specified | Car park access/exit via | Car park accessed |

| | | | |
|--|--|--|--|
| | | Aurora Lane and also another exit via Wurundjeri Way | via the southbound carriageway of Wurundjeri Way and exiting via Aurora Lane |
|--|--|--|--|

The original plans and application documents referred by DELWP to the City of Melbourne for comment were included in a document titled *Melbourne Quarter Tower – Planning Amendment Submission* and dated December 2018. In response to a further information request, revised plans and application documents were submitted to DELWP in January 2019 and referred to the City of Melbourne for comment in a letter dated 18 January 2019.

3. BACKGROUND

3.1. Development plans history

Lendlease was awarded the right to develop the Melbourne Quarter precinct (Parcels 5B, 6 & 6A, Batman's Hill) by Development Victoria on 31 July 2013.

The *Batman's Hill Development Plan 21 February 2014* was approved by the Minister for Planning in October 2014.

The Minister for Planning also approved the relevant *Melbourne Quarter Development Plan - Commercial Neighbourhood Amendment 12 February 2016* on 1 March 2016. This amendment is to be read in conjunction with the *Batman's Hill Development Plan 21 February 2014*. Both the original development plan and the subsequent amendment (the addendum) were supported by Council at Future Melbourne Committee meetings.

Several planning permits have since been issued for various stages of the development plan as per below.

3.2. Site history

The following planning permits issued for this site and surrounding sites within Melbourne Quarter are considered relevant to this application:

| TP number | Description of Proposal | Decision & Date of Decision |
|--|---|--|
| TPMR-2016-23 (DELWP reference PA1600147) | Construction of commercial office building and associated retail uses; construction of easterly extension of the Skypark that accommodates ground retail uses; construction of ancillary car parking; and construction of the public realm areas all generally in accordance with the approved development plan | Permit issued 12 December 2017. Supported by FMC on 13 December 2016. |
| TPM-2017-13 (DELWP Reference PA1700248) | Construction of a commercial office building with above ground car parking and associated retail, child care centre and community uses and construction of publicly accessible open space generally in accordance with the approved development plan and supporting information. | Permit for Stage C3 (Two Melbourne Quarter) issued 17 December 2017. Supported at FMC on 17 October 2017. |
| TPM-2015-20 (DELWP reference 2015/35660) (R1, R2 and R3) | Staged development of Sites R1, R2 and R3 within the Batman's Hill Development Plan residential Precinct for a mixed use development including dwellings, retail premises and a common facility including | Permit 21 August 2016 Supported by FMC on |

| | | |
|---|---|--|
| stages) | associated car parking and public realm works and a reduction in the statutory loading and unloading requirement | 5 April 2016 |
| TPM-2015-16 (DELWP reference 2015/31541) (C1 stage) | Building and Works with the construction of Melbourne Quarter Site C1 for office and retail premises and associated car parking and public realm works | Permit 1 March 2016 |
| TP-2014-9/A | The Amended Development Plan, which was supported by Council following a FMC resolution on 1 December 2015. TPM-2014-9/A showing the Sky Park in place of a regular medium rise building was considered concurrently along with the above C1 by the Minister and also approved on 1 March 2016. | Approved amended development plan 1 March 2016 The amendment enabled the Commercial Precinct of Melbourne Quarter to include the Sky Park |
| TPM-2014-9 | Original Development Plan that was subsequently amended to remove the easternmost medium rise commercial building fronting Collins Street with the Sky Park. | Supported by FMC on 3 June 2014. |

4. PLANNING SCHEME PROVISIONS

The following provisions of the Melbourne Planning Scheme apply:

| | |
|-------------------------|--|
| State Planning Policies | <ul style="list-style-type: none"> • Clause 11.01-1R Settlement – Metropolitan Melbourne • Clause 11.02, Managing Growth • Clause 11.02-1S, Supply of Urban Land • Clause 11.03, Planning for Places • Clause 11.03-1R, Activity Centres – Metropolitan Melbourne • Clause 12.03, Water bodies and wetlands • Clause 12.03-1S, River corridors, waterways, lakes and wetlands • Clause 12.03-1R, Yarra River protection • Clause 12.05-1S, Environmentally sensitive areas • Clause 13.05, Noise • Clause 13.06, Air quality • Clause 13.07, Amenity and safety • Clause 15.01-1R, Urban design – Metropolitan Melbourne • Clause 15.01-1R, Building design • Clause 15.01-4S, Healthy Neighbourhoods • Clause 15.01-5S, Neighbourhood character • Clause 15.02-1S, Energy and resource efficiency • Clause 15.03-2S, Aboriginal cultural heritage • Clause 17.01, Employment • Clause 17.01-1S, Diversified economy |
|-------------------------|--|

| | |
|-------------------------------|--|
| | <ul style="list-style-type: none"> • Clause 17.01-1R, Diversified economy – Metropolitan Melbourne • Clause 17.02-S, Business • Clause 17.04-1R, Tourism in Metropolitan Melbourne • Clause 18.01-1S, Land use and transport planning • Clause 18.02-1R, Sustainable personal transport – Metropolitan Melbourne • Clause 18.02-2S, Public Transport • Clause 18.02-2R, Principal Public Transport Network • Clause 18.02-3S, Road system • Clause 18.02-4S, Car parking • Clause 19.01-2R, Renewable Energy – Metropolitan Melbourne • Clause 19.02-3S, Cultural facilities • Clause 19.02-4S, Social and cultural infrastructure • Clause 19.02-6R, Open Space – Metropolitan Melbourne • Clause 19.03-3S, Integrated water management • Clause 19.03-5S, Waste and resource recovery |
| Municipal Strategic Statement | <ul style="list-style-type: none"> • Clause 21.03, Vision for Melbourne • Clause 21.04, Settlement • Clause 21.05, Environment and landscape values • Clause 21.06, Built Form and Heritage • Clause 21.08, Economic development • Clause 21.09, Transport • Clause 21.10, Infrastructure • Clause 21.13-2, Docklands (Urban renewal) |
| Local Planning Policies | <ul style="list-style-type: none"> • Clause 22.18, Urban Design within the Docklands Zone • Clause 22.19, Energy, Water and Waste Efficiency • Clause 22.23, Stormwater Management (Water Sensitive Urban Design) |

| Statutory Controls | |
|--|---|
| <p>Clause 37.05</p> <p>Docklands Zone, Schedule 3 (Batman's Hill Precinct) (DZ3)</p> | <p>Pursuant to Clause 37.05-1 and 1.0 of DZ3, a planning permit is required to use the land for a shop (other than Adult Sex bookshop Department store, a Supermarket exceeding 2,500 sqm of GFA and Restricted retail premises) if it is not at ground floor. As none of the amendments relate to an additional above ground retail tenancy, no planning permit is required for the use.</p> <p>Pursuant to Clause 37.05-1 and 1.0 of DZ3, a planning permit is not required to use the land for Office or a Restaurant.</p> <p>Pursuant to Clause 37.05-4 and 4.0 of DZ3, a permit is required to</p> |

| | |
|--|--|
| | <p>construct a building or construct or carry out works. Decision guidelines are at 4.0 of DZ34.</p> |
| <p>Clause 43.02 Design and Development Overlay, Schedule 12 (DDO12) (Noise Attenuation Area)</p> | <p>Pursuant to Clause 43.02-2, a permit is required to construct a building or construct or carry out works.</p> <p>2.0, Requirements, of Schedule 12 states that any 'new or refurbished development or any conversion of part or all of an existing building that will accommodate new residential or other noise-sensitive uses must:</p> <ul style="list-style-type: none"> • Be designed and constructed to include noise attenuation measures. These measures must achieve a maximum noise level of 45 dB in habitable rooms with windows closed when music is emitted from the Major Sports and Recreation Facility in the Melbourne Docklands Area. • Be fitted with ducted air conditioning if the new or refurbished development is within 400 metres of the centre point of the Docklands Major Sports and Recreation Facility. • Have external glazing and doors and the air conditioning or ventilation system in all new residential and other noise-sensitive use and development designed by a recognised acoustic consultant.' <p>The proposal does not seek accommodation therefore the requirements of DDO12 do not apply.</p> |
| <p>Clause 43.04 Development Plan Overlay, Schedule 4 (DPO4) (Batman's Hill Precinct)</p> | <p>Pursuant to Clause 43.04-1, a permit 'must not be granted to use or subdivide land, construct a building or construct or carry out works until a development plan has been prepared to the satisfaction of the responsible authority'.</p> <p>In addition, a permit granted must:</p> <ul style="list-style-type: none"> • 'Be generally in accordance with the development plan. • Include any conditions or requirements specified in a schedule to this overlay' <p>As noted in Section 3.1, of relevance to the subject site is the <i>Melbourne Quarter Development Plan - Commercial Neighbourhood Amendment 12 February 2016</i> and approved on 1 March 2016. This amendment is to be read in conjunction with the <i>Batman's Hill Development Plan 21 February 2014</i>.</p> |
| <p>Clause 45.09 Parking Overlay, Schedule 7 (PO7) (Docklands – Batman's Hill Precinct)</p> | <p>Pursuant to Clause 52.06-2, 'before a new use commences, the number of car parking spaces required under Clause 52.06-5 or in a schedule to the Parking Overlay must be provided to the satisfaction of the responsible authority'.</p> <p>Clause 2.0, Permit requirements, of PO7 states that a permit is required to provide car parking spaces in excess of the maximum number specified in the Table.</p> <p>Clause 3.0, Number of car spaces required, of PO7 includes the following rates:</p> <ul style="list-style-type: none"> • 1.5 spaces per 100 square metres of gross floor area for office • 1 space to each 100 square metres of gross floor area for any use other than dwelling, office or industry. |

| | |
|--|--|
| | The proposal seeks 122 spaces, which is less than the statutory maximum of 860. Therefore, no planning permit is required pursuant to PO7. |
|--|--|

| Particular Provisions | |
|--|---|
| Clause 52.06 Car parking | Refer to PO7 regarding car parking rates. Clause 52.06-8 provides design standards for car parking. |
| Clause 52.18 Stormwater Management in Urban Development | The purpose of Clause 53.18 is to ensure that stormwater in urban development, including retention and reuse, is managed to mitigate the impacts of stormwater on the environment, property and public safety, and to provide cooling, local habitat and amenity benefits. The Clause sets out a variety of application requirements for applications. |
| Clause 52.29 Land adjacent to a Road Zone Category 1 | A planning permit is required under this provision and as such referral to VicRoads is required and conditions will be provided. The application has been re-referred. |
| Clause 52.34 Bicycle facilities | Pursuant to Clause 52.34-2, a permit is required to reduce or waive any requirement of Clause 52.34-3 and 52.34-4. Table 1 of Clause 52.34-3 specifies the following relevant rates: <ul style="list-style-type: none"> • Office is 1 space to each 300 square metres of net floor area for employees and 1 space to each 1000 square metres of net floor area for visitors • Retail premises is 1 to each 300 square metres of leasable floor area for employees and 1 to each 500 square metres of leasable floor area for visitors. Based on the above, the total spaces required are 257 (195 spaces for employees and 62 spaces for the residential visitors). The application proposes a total 686. It is noted that the proposed visitor spaces are less than the statutory requirement and therefore a planning permit is required to vary this provision. |
| Clause 52.36 Integrated Public Transport Planning | An application for an office development of 10,000 or more square metres of leasable floor area must be referred to PTV for comment. The application has been re-referred. |

| General Provisions | |
|--|--|
| Clause 61.01 – Administration and enforcement of this scheme | The Minister for Planning is the responsible authority for this planning permit application as the total floor area of the development exceeds 25,000 square metres / the site is listed in the schedule to Clause 61.01 of the Melbourne Planning Scheme (which specifies the Minister for Planning as the responsible authority for administering and enforcing the Scheme). |
| Clause 65.01 | Before deciding on an approval the responsible authority must consider |

| | |
|---------------------------------|--------------------------------------|
| Approval of application or plan | the guidelines provided within 65.01 |
|---------------------------------|--------------------------------------|

5. PUBLIC NOTIFICATION

The application has been referred to the City of Melbourne for comment by the DELWP.

Pursuant to DZ3 and DDO12, the application is exempt from the notice requirements of Section 52 (1) (a), (b) and (d), the decision requirements of Section 64 (1), (2) and (3) and the review rights of Section 82 (1) of the Act. However, the application is not exempt from these requirements pursuant to DPO5 and 52.29.

6. REFERRALS

The application was referred to the following internal departments which comments summarised:

6.1 Urban Design – comments provided 20 February 2019

The Urban Design team were generally supportive of the proposal but provided detailed comments recommending some changes to the design.

The key comments are as follows:

Site layout and urban structure

- 'The proposal significantly widens the throat to Collins Street to 37m, providing a generous and public feeling arrival to the precinct, while narrowing the central space from 40m to 38m adjacent to the lobby. This provides visibility to the lobby from Collins Street while improving sightlines from within the central private plaza back to the public realm. We are comfortable with this trade off.'
- 'The north south lane however has reduced from 10m to 7.5m in width. I note that the north-south lane and steps are a critical link that is currently missing between Melbourne Quarter / Southern Cross and the Yarra River. The role of this link is now being explored as part of the Green Line Project, which is a flagship City of Melbourne public realm project seeking to connect from Birrarung Marr, along the north-bank and through to Docklands Park. Given the complexity of infrastructure ownership to the east, there are limited opportunities to achieve a connection between Melbourne Quarter and the rail line, through to Collins Street and beyond. We encourage a workshop meeting with the Green Line Project Team and Lend Lease to understand the implications of the reduction in width. From the pre-application meeting we understood the width was considered in conjunction with a full pedestrianisation of this lane (which would be supported), however this outcome is not clear in the drawing package.'
- 'A series of 3 through-links connect from east to west between the central plaza and the North-South Lane. These achieve a variety of widths and functions, from an external, active 7.5m link, to a narrower arcade between the lobby at 3m in width. The southern connector is an interesting internal / programmed 'tube' of space at 6m in width which overhangs Wurrundjeri Way. This results in a highly permeable network, supported by active uses.'
- 'We would like to further understand the security and use of the southern connector outside of business hours. Will this place be secure, or publicly accessible? It could take on an interesting night-time and out of hours use

for residents, if lighting is carefully considered, as well as the programming of the adjacent uses.'

- 'We encourage refinement to the southern connector level management at the eastern end. The alignment of the ramp limits the continuity of seating niches, and we would encourage these to continue to the weather barrier to the east. The ramp could be relocated to the north as a broader more generous connection, with the niche seating stepping along its length, and used by the adjacent tenancies. Further, we will require further detail of the interfaces and entry configuration to understand how this functions and feels.'

Massing and interfaces

- 'We support the diversity of architectural form from adjacent buildings, particularly with the curvilinear form and strong consideration and presentation of the end elevations. The introduction of fins to add shade and depth and an ordering grid is a welcome addition in contrast with the flat glazed presentation of the building to the west. We encourage further development of the tone within this grid to provide a richness to the façade which offsets the glazed appearance.'
- 'The breakup of the supergrid over the façade assists in providing for a 'taller order' in the façade, and enhances its verticality, even on the long elevations. The expression of the narrow elevations enhances the sense of slenderness, while the clear expression of a building 'crown' is positive in considering the exposure to near and long range views from within the Hoddle Grid.'
- 'Noting the visibility of the form particularly from across the Fairfax building, we encourage the more direct expression of the terrace and common areas where the low rise lift drops off above Level 21. The expression of these spaces in the elevation would greatly enhance the presentation of this long elevation through creating 'moments' of interest centrally within the façade, with depth, shadow play and vegetation visible. A shift to a legible winter garden or louvred glazing approach would be strongly encouraged.'
- 'We support the podium expression comprising a bridge-like truss form, with a series of retail and lobby boxes nested underneath. The emerging shop front language demonstrates a mixture of shop front types providing a range of operability and interface types for a diverse range of tenants. We encourage further development of a shop front strategy through permit conditions requiring 1:20 details. This will be important to ensure texture and depth to the ground plane, and to avoid flat glass interfaces to the public realm. An artfully considered hoarding strategy could also be pursued through permit conditions to enable the shop fit out to correspond with specific tenant needs.'
- 'We strongly support the separation of the massing and design language of the sky park from the truss form, as two distinct urban elements with a single light-weight connecting bridge over the market place east lane. This contributes to the diversity and distinction of forms in the precinct.'
- 'We support the recessing of the revolving doors internal to the building line at the lobby interface with the plaza which successfully avoids the restriction of sightlines.'

Building Program

- 'We support the ambition for a range of smaller floorplate office uses other than premium grade, including co-working and common areas within the podium. This contributes to the diversity of uses and variety of economic activity in this part of the City.'
- 'We support the minimisation of the lobby to maximise ground level retail at the edges of the park, to provide third places for workers and residents, as well as activation of the ground plane to both street frontages and plaza.'

Public realm design detail

- 'We note the proposed kerbs within the north south lane and question whether this is required. Given the proposed pedestrian use, could this adopt a kerbless detail?'
- 'We note the lack of tree planting within the north-south lane and question this outcome. Noting the infrastructure challenges with the deck construction there would be good opportunity for elevated or potted planting. This would significantly improve the amenity of this important lane.'

The key matters recommended to be addressed via permit conditions are:

- Ensuring appropriate southern edge interfaces to the residential towers to offset any risk of temporary abrupt boundary condition.
- Showing further detail of the lift core interface to the north-south lane. Elevations appear to show landscaping over this area, but it would be helpful to have some more detailed perspectives and elevations of the intended interface. While inevitably a less active area owing to the core location, there are still possibilities for a tactile, high quality pedestrian interface. Further we question the finish of fire stairs and the EOT interface which are important transparent elements along this interface.'
- The provision of a façade strategy including lower level 1:20 details of shopfronts as well as a tower strategy and a hoarding strategy.
- The provision of a ground plane and public realm strategy including consultation with the Green Line Project including a condition ensuring the width of the North-South must be to the satisfaction of the Responsible Authority

6.2 Traffic Engineering – 24January 2019

The following items can be addressed via conditions:

Car parking, access and layout

- Further information requested in regard to queuing on Wurundjeri Way.
- Signage to display entry/no entry required
- Prefer the car park layout plans to be dimensioned according the MPS
- Lengths of grades to the ramps not shown.
- Dimensions of the widths of the access ramps not clear.
- Dimensions around curved section of ramp to be measured from the inside of the ramp.
- Further details demonstrating the kerbs and ramps are to AS and to the satisfaction of Council.

- The BL2 plan does not show who has priority when entering the flat area before the 1:16 exit ramp to Wurundjeri Way. Give Way signs/line marking should be provided for vehicles traveling down from BL1 (i.e. vehicles leaving the loading area should have priority over exiting cars), which should be shown on the plan.

Bicycle parking

- Bike parking numbers acceptable but visitor parking needs to be shown on plan
- Alternative access arrangements for the staff bike parking is preferred.
- Exact bike parking system should be notated on plans.
- Spacing between bike spaces should be 0.5m

Motorcycle parking

'ES is requesting the provision of motorcycle parking in excess of MPS requirements, at a rate of 1 motorcycle space per 50 car parking spaces, with the car parking spaces calculated as the greater of the number of:

Car parking spaces required (*or permitted in the case of a maximum rate*) by the MPS; or

Car parking spaces proposed.

Given that PO7 specifies a maximum provision of 988 car parking spaces, at least 20 motorcycle spaces should be provided.'

Road Safety Audit

A formal independent desktop Road Safety Audit of the proposed development should be undertaken at the developer's expense, which should include the vehicular/bicycle/pedestrian access arrangements, loading arrangements and internal circulation/layout. The findings of the Audit should be incorporated into the detailed design, at the developer's expense.

Car Share

Requested that several car share spaces be provided to the satisfaction of Council.

Loading

'It is requested that a comprehensive Loading Management Plan (LMP) should be prepared, specifying how the access/egress of loading and other vehicles is to be managed, so that any potential conflicts are satisfactorily addressed. Consideration should be given to employing a Dock Manager, responsible for controlling the operation of the loading area and unloading of goods. A signalling system may also assist in resolving conflicts. The loading area should be designed as per Clause 52.07. To minimise the likelihood of conflict, the loading area should ideally not be utilised between 7-9am and 4-7pm Mon-Fri (the signalling system could advise approaching delivery/servicing vehicles not to enter during these times).'

Traffic generation and Impact

The traffic generation is considered acceptable.

On 6 March 2019 GTA provided a response to the Traffic comments. Conditions of permit will ensure that the GTA response (basement plans) as well as the requirements from Council's Traffic team (a loading management plan, a road safety audit and a layout to their satisfaction) are included as recommended conditions.

- Civil engineering - comments provided 17 January 2019
'It is noted that a planning permit has been issued for the above development. The applicant has submitted an application and documentation to amend the planning permit.'

Proposed internal laneways including North South Lane will have basement and structures below. Engineering Infrastructure offers no objection to the deletion of conditions 12,13 and 30 related to North South Lane.

The internal pathways and laneways should remain the responsibility of the land owner(s) in perpetuity. The City of Melbourne is unlikely to agree to the internal pathways and laneways being made public.'

- Waste Engineering – comments provided 6 March 2019

'We have reviewed the WMP by Waste Audit and Consultancy Services dated December 2018 (DM#12171964) for this proposed development and found it to be needing additional information before it can be accepted.'

The following items need to be addressed:

- Complete floor plans showing the path of travel of waste from the office and retail tenancies to the waste storage room and/or compactors are required.
- Waste storage rooms should show each individual bin drawn to scale.
- Swept path diagrams need to be attached to the WMP.'

This can be ensured via condition.

- Land Survey – comments provided on 15 January 2019

'The proposal seeks to delete conditions 12 & 13 in relation to the internal laneways. Please seek comments from Engineering Services in relation to the deletion of these conditions.'

'Land Survey objects to the deletion of Condition 14 as the names of the internal laneways as shown on the plans must be names to provide for appropriate addressing to the development.'

The applicant accepts that Condition 14 must be retained.

- Urban Sustainability – comments provided 7 February 2019

Recommended condition for 'climate ready' planting as well as other conditions and notes

- Environmental Sustainability / Green Infrastructure– comments provided 8 February 2019

Detailed comments were provided as well as two conditions that will be included if a permit is to issue.

7. ASSESSMENT

The key issues in the consideration of this amendment application are:

- Compliance with the approved Development Plan
- Use
- Built form
- Wind and shadow impacts
- Parking, Traffic and Waste
- Environmental Sustainable Design

7.1 Compliance with the approved Development Plan

A detailed assessment of the reasons the proposal is considered to be 'generally in accordance' with the development plan is found within the original delegate report. Most of the key points of this assessment remain relevant to the current amendment application. The key point to reinforce is that the amended development remains generally compliant with the required building envelopes and heights, land use table and the public realm including Melbourne Square, Market Place Lane East, North-South Lane and East-West Connection. The key points of difference that will be discussed below are:

- Increased building height
- Projections into North-South Lane including the reduced width of North-South Lane from 10 metres to 7.5 metres.
- Bridge link re-location

The subject site is not included within a Design and Development Overlay (DDO) specifying a maximum building height or minimum setbacks. However, as stated above, the proposed development is generally consistent with the maximum building envelopes and heights (Figure 6.1 of the development plan) and the envelopes plan (Figure 7.1 to 7.3) set out in the development plan. Specifically, the proposed height of the Skypark (RL36.3) is under the RL40 in figure 4.1 of the development plan, while the tower (RL165.25) remains generally compliant despite being slightly above the nominated RL160. The reason the height is considered appropriate is because the RL160 height limit within the development plan is a guide only and the proposed height will still comply with the building height requirement to not overshadow the South Bank of the Yarra River during the winter solstice. A building of approximately RL176.1m high is allowable utilising the winter solstice overshadow limit. It is therefore determined that the height complies with this requirement despite exceeding RL160.

Other more minor aspects of the amended design that are outside the exact proportions of the development plan but still considered compliant include the modest projections / overhang outside the envelope at ground, podium and tower. These projections reduce the width of the North South Lane from 10 metres to 7.5 metres. It is considered that the changes will add interest and variation to the design and are only secondary parts of the building. Moreover, the development plan anticipates architectural features outside the envelope.

To offset any small variations are significant enhancements to the development when compared with the development plan, including:

- The tower is setback 35.8 metres to Collins Street which is greater than the 31 metres anticipated setback within the development plan.
- The activation of street edges is substantially more compared to the development plan, with the west, north, east and southern edges all vastly improved.

The benefits of the generous entry 'throat' highlighted by Council's Urban Design team as well as the greater tower setback and activation far outweigh any perceived negative effects caused by slight projections that reduce the width of the North-South Lane. However to ensure the highest possible pedestrian environment a condition will be added to the existing landscape plan requirement to explore the 'pedestrianisation' of the public realm within the reduced width North-South Lane.

The proposal accords with the development plan in terms of the public realm network, with Melbourne Square, the North-South Lane and Market Lane east all provided generally in accordance with what was anticipated as well as the other connections around the built form.

Equally the proposal is considered to be in accordance with the aspects of the development plan that relate to solar access in Melbourne Square.

In regard to the public realm ownership there is the notable change to the ownership arrangement for the North-South Lane, which is now to be privately owned but publicly accessible. This change is not considered an issue as it is supported by Council's Engineering Branch and could in turn have positive implications for the design of the North-South Lane such as the removal of the need for public car parking resulting in a more inviting pedestrian environment. The success of the pedestrian environment can be assured via condition.

The width of the laneway has reduced to 7.5m as a result of the removal of day to day vehicle traffic that was previously travelling through this road. The road is now intended to be a more pedestrian dominated environment with only service or emergency vehicles. With the lane now in private ownership it is considered that, subject to the appropriate conditions to ensure a highly pedestrianised environment, the reduced width is acceptable. The reduced separation to the planned S1 building was taken into consideration when reaching this conclusion. As the S1 building is low-rise commercial it will not be unreasonably impacted by the reduced separation.

Lastly, the minor change to the location of the bridge link between the main part of the tower and the retail building to level 2 (contemplated at level 1 within the development plan) is considered acceptable as it enables more openness to Marketplace East. In addition the tower no longer overhangs this lane, which again contributes to a more open and amenable public laneway with greater access to sunlight and sky views.

In summary the proposal remains compliant with the development plan.

7.2 Use

The proposal includes a retail premises at level 1 in the lobby promenade of the Melbourne Quarter Tower. As outlined at Section 4, a planning permit is required for this use pursuant to DZ3.

The proposed use is consistent and compatible with the purpose of the DZ3 to 'provide for a range of commercial, residential, recreational, educational, technology, business and leisure uses within a mixed use environment'.

In relation to the decision guidelines at 2.0 of DZ3, the proposed use is considered to be acceptable given that the location provides for the needs of the occupants of the Melbourne Quarter Tower and there are sufficient physical infrastructure and community services to meet the needs of the proposed use.

7.3 Built form

With regard to built form, in addition to the development plan, Clause 22.18, Urban Design within the Docklands Zone is relevant to the proposal.

The design of the new building has been enhanced through introduction of the curved form and additional detail, such as the grid texture, and mix of materials that creates a verticality to break up the mass of the tower. Council's Urban Design team is supportive of the changes to the design noting that:

'We support the diversity of architectural form from adjacent buildings, particularly with the curvilinear form and strong consideration and presentation of the end elevations. The introduction of fins to add shade and depth and an ordering grid is a welcome addition in contrast with the flat glazed presentation of the building to the west...

...The breakup of the supergrid over the façade assists in providing for a 'taller order' in the façade, and enhances its verticality, even on the long elevations. The expression of the narrow elevations enhances the sense of slenderness, while the clear expression of a building 'crown' is positive in considering the exposure to near and long range views from within the Hoddle Grid.'

The changes to the podium are supported as they create additional variety of architectural elements and visual interest to the lower levels that will help provide more engaging retail shopfronts and surrounding ground plane. Again Council's Urban Design team is supportive of the revised podium, subject to an additional condition for a greater scale shop front drawings and a pedestrian plan.

Subject to a further condition for a tower façade strategy, it is considered that the revised design successfully breaks up the mass of the tower and provides a more refined development when viewed from near and far.

7.4 Wind and shadow impacts

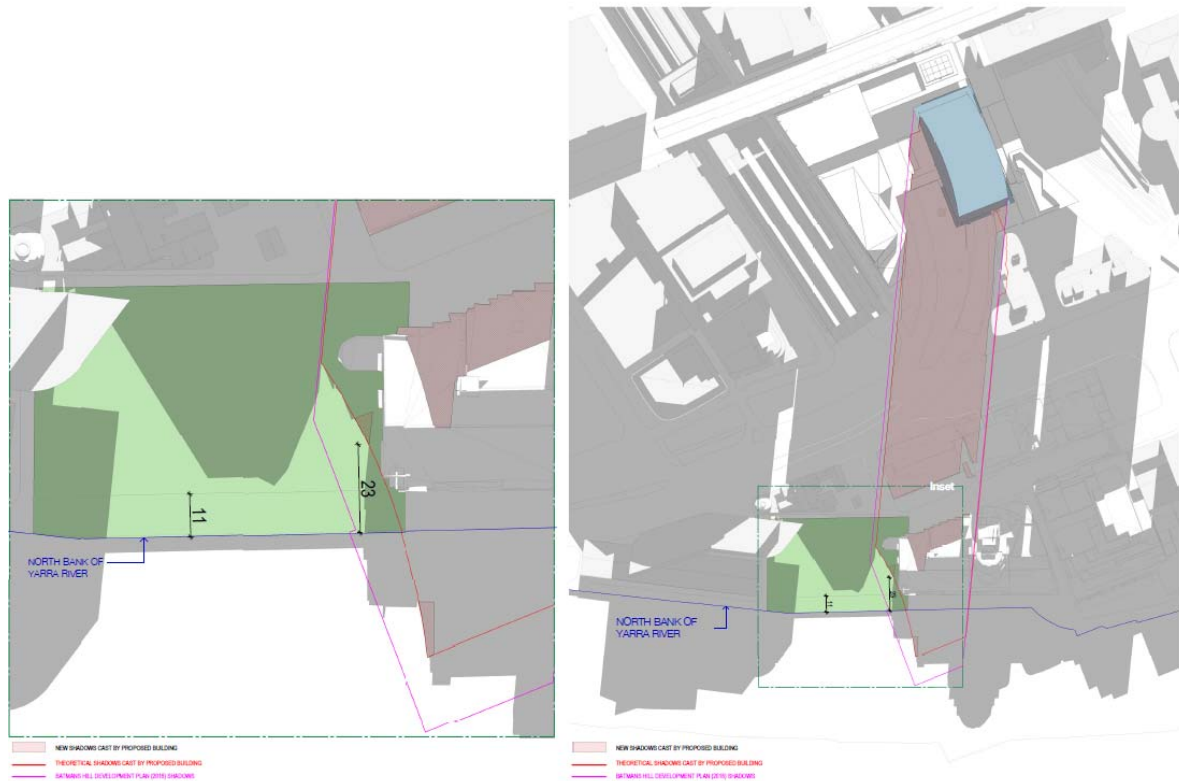
In relation to the shadow impacts, the submitted drawings demonstrate compliance with the requirement of the development plan to not impact the south bank of the Yarra River on 22 June (Section 4.6 of the approved Development Plan). The impact on the future Seafarer's Rest park are not contemplated within the development plan, but it is noted that the level of shadow impact is far less than the potential impacts caused by Two Melbourne Quarter (Stage C3). Under the Two Melbourne Quarter (2MQ or Stage C3) approval Council referred to the development plan requirements and deemed the shadow impacts appropriate. However, the Minister for Planning established via condition an additional requirement that the 2MQ Building not cast shadow within 11 metres of the north bank of the Yarra (Seafarer's Rest) at 12pm on 22 June.

Council has previously determined that the critical test for the proposal is that the shadow cast by the subject building complies with the development plan. Given the shadow does not cross the south bank of the Yarra at the specified times at the winter solstice it is deemed appropriate.

Nonetheless, even if the same criteria that the Minister used to approve 2MQ is applied (i.e. no overshadowing of Seafarers Rest park within 11m of the north bank at 12 noon on the winter solstice), the new shadows also comply with that test.

This is demonstrated in the below detailed shadow drawing provided by the applicant. The new shadow (shown by red hatching) only affects a very small section of the park at the specified time, and it is much more than 11m from the north bank at 23m.

FIGURE 4: SHADOW IMPACT AT 12PM ON 22 JUNE



In regard to wind, the additional information provided by MEL Consultants demonstrates that wind impacts are being managed as best as possible without compromising the development. The applicant has demonstrated compliance with nearly all of the relevant criteria within the development plan (section 4.7) except for one location. The techniques used to limit wind impacts, a combination of landscaping and built form changes such as the L shaped glazed enclosure of the southern connector, are considered acceptable and the very minor variation deemed acceptable. The wind impacts are deemed to meet the development plan criteria subject to conditions that would require further wind tunnel testing.

8. OFFICER RECOMMENDATION

That a letter be sent to the Department of Environment, Land, Water and Planning (DELWP) advising that the City of Melbourne does not object to the application to amend the existing permit subject to the below additional conditions that are recommended to be added to the existing Permit PA1600147. It is noted that all existing conditions unless listed below to be replaced must be retained on the permit and / or updated where appropriate.

Condition 1 to be re-worded

1. Prior to the commencement of the development, excluding site preparation works, demolition, temporary sheds or structures for construction purposes,

bulk excavation, site preparation and retention works, soil remediation, piling, footings, ground beams and ground slabs the applicant must submit to the Responsible Authority three copies of plans drawn to scale generally in accordance with the submitted plans prepared by Woods Bagot dated January 2019 but amended to show:

- a) The Skypark public realm to be at least 80% open to sky.
- b) Annotation that the signage zones on the building are indicative and that a separate planning permit application for any proposed sign will be required from the Melbourne City Council.
- c) Any changes as required by the amended Wind Tunnel Test required by below condition
- d) Any changes as required by the amended Waste Management Plan (WMP) required by below condition.
- e) Any changes as required by the Loading Management Plan (LMP) required by below condition.
- f) Any changes as required by the Road Safety Audit (RSA) required by below condition.
- g) Any changes as required by the VicRoads conditions required by this permit.
- h) Any changes as required by the below ESD conditions.
- i) At least two motorcycle spaces
- j) Changes to the car parking layout to the satisfaction of Melbourne City Council - Traffic Engineering.
- k) Modifications to the basement as provided in revised plans submitted to Council on 6 March 2019, prepared by Woods Bagot (Revision 3), dated 1 March 2019
- l) Visitor Bicycle Parking to the satisfaction of Melbourne City Council
- m) Any changes required by the façade strategy below.
- n) Further detail of the lift core interface to the North-South Lane.

ESD Conditions (to replace existing condition 17)

- Prior to the occupation of any building approved under this permit, a report from the author of the endorsed ESD report, or similarly qualified persons or companies, outlining how the performance outcomes specified in the amended ESD report have been implemented must be submitted to the Responsible Authority. The report must be to the satisfaction of the Responsible Authority and must confirm and provide sufficient evidence that all measures specified in the approved ESD report have been implemented in accordance with the relevant approved plans. This may include a GBCA Green Star Design & As Built Design Review Rating to confirm compliance with the stated Green Star targets.
- Following final GBCA certification of the project's Green Star Design & As-Built rating, copies of the certificate must be submitted to the Responsible Authority.

Waste condition

Prior to the commencement of the development, excluding site preparation works, demolition, temporary sheds or structures for construction purposes, bulk excavation, site preparation and retention works, soil remediation, piling, footings, ground beams and ground slabs a revised Waste Management Plan (WMP) shall be prepared, submitted and approved by the Melbourne City Council - Engineering Services. The WMP should detail waste storage and collection arrangements and

be prepared with reference to the Melbourne City Council Guidelines for Preparing a Waste Management Plan. Waste storage and collection arrangements must not be altered without prior consent of the Melbourne City Council - Engineering Services.

Additional Urban Sustainability condition:

- Following the approval of a Tree Protection Plan (TPP), a bank guarantee equivalent to the combined environmental and amenity values of public trees that may be affected by the development will be held against the TPP for the duration of construction activities. The bond amount will be calculated by council and provided to the applicant/developer/owner of the site. Should any tree be adversely impacted on, the City Of Melbourne will be compensated for any loss of amenity, ecological services or amelioration works incurred.

Support the following conditions proposed to be deleted:

Deletion of conditions 12, 13, and 30 of existing permit which relate to the public ownership of the North South Lane (lane is to now be privately owned).

Do not support the following conditions to be deleted:

Condition 14 is recommended to be retained by Council's Land Survey team. Condition 14 states as follows:

'Prior to occupation of the development, the proposed laneway/roads within the development must be named in accordance with the Geographic Place Names Act 1998 to provide for appropriate street addressing. Any proposed road name must comply with the Guidelines for Geographic Names 2010, and the Geographic Place Names Act 1998.'

Existing condition 8 (Staging) to include as follows:

- Reference to providing interim edge interfaces detail including construction hoarding.

Existing condition 9 (landscape plan) to include additional information as follows:

- Climate ready species selection.
- Ground plane and public realm plans to demonstrate the 'pedestrianisation' of the reduced width North South Lane. These plans to include details of any emergency, service or other access arrangements.

Existing condition 20 (façade strategy) to include additional information as follows:

- 1:20 or 1:50 lower level details of shopfronts and ground plane.

Remaining conditions

Council supports the addition of 'excluding site preparation works, demolition, temporary sheds or structures for construction purposes, bulk excavation, site preparation and retention works, soil remediation, piling, footings, ground beams and ground slabs' in all conditions that require 'Prior to development'.

All remaining conditions to be retained and re-numbered where appropriate.

Recommended notes on permit

- In accordance with the Tree Retention and Removal Policy a bank guarantee must be:
 1. Issued to City of Melbourne, ABN: 55 370 219 287.
 2. From a recognised Australian bank.
 3. Unconditional (i.e. no end date)
 4. Executed (i.e. signed and dated with the bank stamp)

- Please note that insurance bonds are not accepted by the City Of Melbourne. An acceptable bank guarantee is to be supplied to Council House 2, to a representative from Council's Urban Forest and Ecology Team. Please email trees@melbourne.vic.gov.au to arrange a suitable time for the bank guarantee to be received. A receipt will be provided at this time.

- At the time of lodgement of the bank guarantee the completed Project Arborist Confirmation Form must be provided. On completion of the works the bank guarantee will only be released when evidence is provided of Project Arborist supervision throughout the works and a final completion report confirms that the health of the subject public trees has not been compromised.

- It is recommended the applicant consult with the Green Line Project when designing the North-South Lane