### **Report to the Future Melbourne Committee**

11 July 2023

### Planning Permit Application: TP-2022-636 29 Simpson Street, 19-27 Simpson Street, and 86-92 Wellington Parade, East Melbourne

Presenter: Marjorie Kennedy, Head of Statutory Planning

#### Purpose and background

- 1. The purpose of this report is to advise the Future Melbourne Committee of Planning Permit Application TP-2022-636 at 29 Simpson Street, East Melbourne (refer Attachment 2 Locality Plan).
- 2. The application also affects 19-27 Simpson Street, and 86-92 Wellington Parade, East Melbourne. This land is included due the proposed removal of easements and the demolition of an external staircase encroaching into 19-27 Simpson Street.
- 3. The owner and applicant is Simpson House Pty Ltd, who are being represented by Tract Consultants Pty Ltd. Fender Katsalidis are the project architects.
- 4. The subject site is within the General Residential Zone, Schedule 1 and is affected by the Heritage Overlay, Schedule 2 (East Melbourne and Jolimont Precinct) and the Specific Controls Overlay, Schedule 4 (Cliveden Hill Private Hospital, 29 Simpson Street, East Melbourne, July 1999).
- 5. The proposal seeks the partial demolition and construction of three 3-storey dwellings (with a basement), and the removal of easements. The partial demolition comprises the removal and replacement of the roofs (with welsh slate) of the retained heritage buildings to allow the piling of the basement, and the removal of unsympathetic side and rear additions. The proposed three 3-storey dwellings are located to the side and rear of the retained heritage buildings. Existing vehicle access to Simpson Street is maintained and provides access to the basement (refer to Attachment 3 Plans).
- 6. Public notice of the application was undertaken and two objections have been received. Key matters raised include overlooking, the impacts of construction, building height, inconsistent with neighbourhood heritage character, sustainable design, and the provision of basement car parking.

#### Key issues

- 7. The site is a 'Significant' heritage place under the *Heritage Places Inventory March 2022 (Amended January 2023)*. The key heritage issues for consideration are the removal and reinstatement of the heritage roofs, the structural integrity of the retained heritage buildings while basement piling occurs, and the visibility of additions.
- 8. The application was amended during the process to retain two out of the four roofs and reduced the built form which has resulted in an appropriate heritage outcome. A structural engineer reviewed the method of basement piling and concluded that the proposed techniques are sound and has recommended conditions should a planning permit issue.
- 9. Other key issues for consideration relate to building height, heritage and urban design, external amenity impacts, sustainable design, waste and car parking.
- 10. With regard to the removal of easements, consent letters have been received from affected land owners and there are no services below the easements.
- 11. The outcomes of the proposal are consistent with the relevant provisions of the Melbourne Planning Scheme and will make a positive contribution to East Melbourne. The removal of the building to the corner of Simpson Street and George Street will improve views to the 'Significant' heritage place and result in a net community benefit.

#### **Recommendation from management**

12. That the Future Melbourne Committee resolves to issue a Notice of Decision to Grant a Permit subject to the conditions set out in the delegate report (refer to Attachment 4 of the report from management).

#### Attachments:

- 1. Supporting Attachment (Page 2 of 105)
- 2. Locality Plan (Page 3 of 105)
- 3. Selected Plans (Page 4 of 105)
- 4. Delegate Report (Page 53 of 105)

#### Legal

- 1. Division 1 of Part 4 of the *Planning and Environment Act 1987* (Act) sets out requirements in relation to applications for permits pursuant to the relevant planning scheme.
- 2. As objections have been received, sections 64 and 65 of the Act provide that the responsible authority must give the applicant and each objector notice in the prescribed form of its decision to either grant a permit or refuse to grant a permit. The responsible authority must not issue a permit to the applicant until the end of the period in which an objector may apply to the Victorian Civil and Administrative Tribunal (VCAT) for a review of the decision or, if an application for review is made, until the application is determined by the VCAT.

#### Finance

3. There are no direct financial issues arising from the recommendations contained within this report.

#### **Conflict of interest**

4. No member of Council staff, or other person engaged under a contract, involved in advising on or preparing this report has declared a material or general conflict of interest in relation to the matter of the report.

#### Health and Safety

5. Relevant planning considerations such as wind impacts, glare and waste management that could impact on health and safety have been considered within the planning permit application and assessment process.

#### Stakeholder consultation

6. Public notice of the application has been undertaken to surrounding owners and occupiers pursuant to sections 52 and 57B of the Act.

#### **Relation to Council policy**

7. Relevant Council policies are discussed in the attached delegate report (refer Attachment 4 – Delegate Report).

#### **Environmental sustainability**

- 8. The Sustainable Design Assessment (SDA) submitted with the application confirms the development will achieve the relevant performance measures set out in Clauses 15.01-2L-01 (Energy, Water and Waste Efficiency) and 19.03-3L (Stormwater Management) of the Melbourne Planning Scheme.
- 9. Recommended planning permit conditions require further details of sustainability initiatives to be shown on the architectural plans and require the implementation of the sustainability initiatives outlined in the SDA.

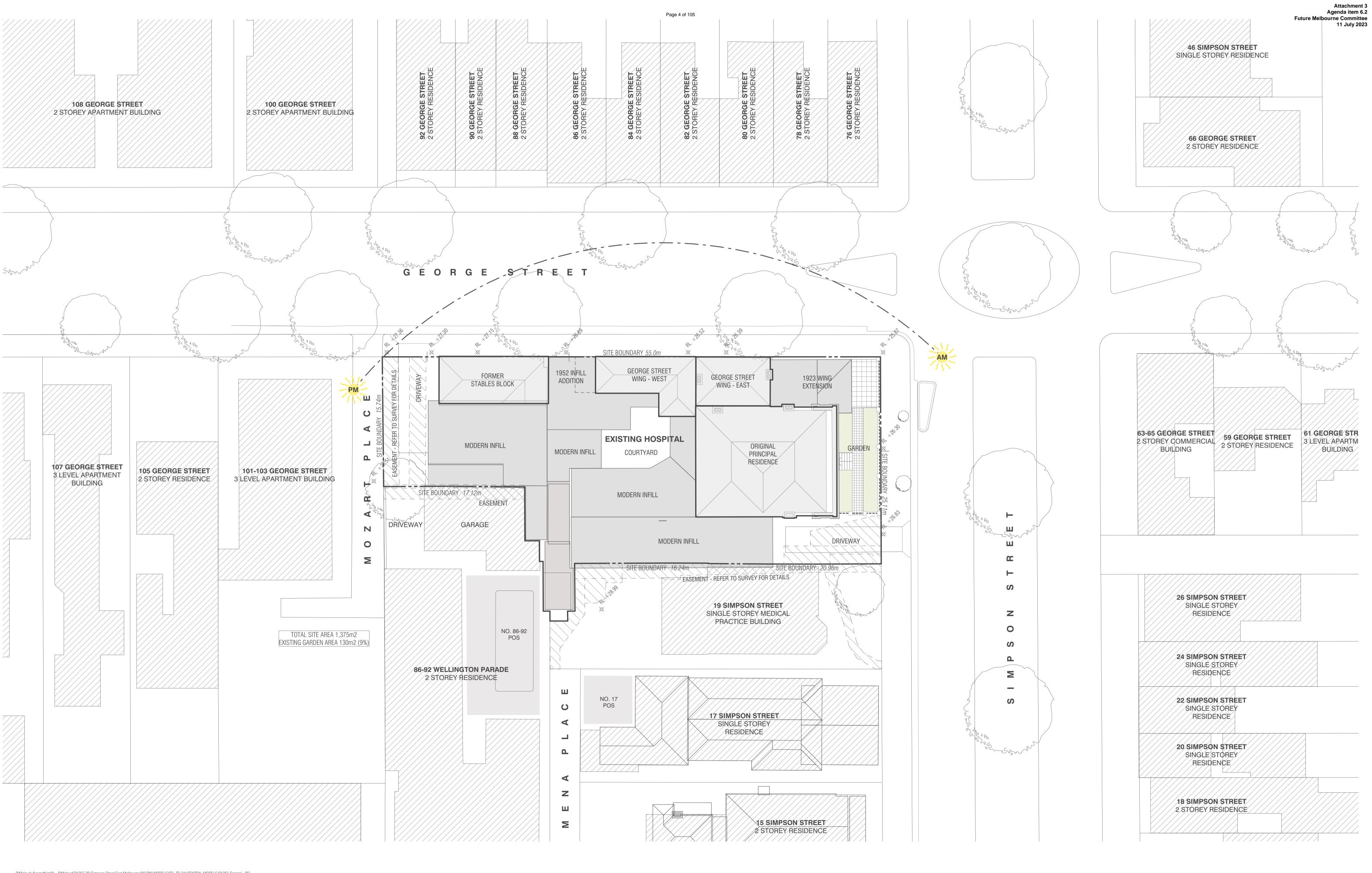
# Locality Plan

Attachment 2 Agenda item 6.2 **Future Melbourne Committee** 11 July 2023

## 29 Simpson Street, 19-27 Simpson Street, and 86-92 Wellington Parade, East Melbourne VIC 3002



19-27 Simpson Street and 86-92 Wellington Parade

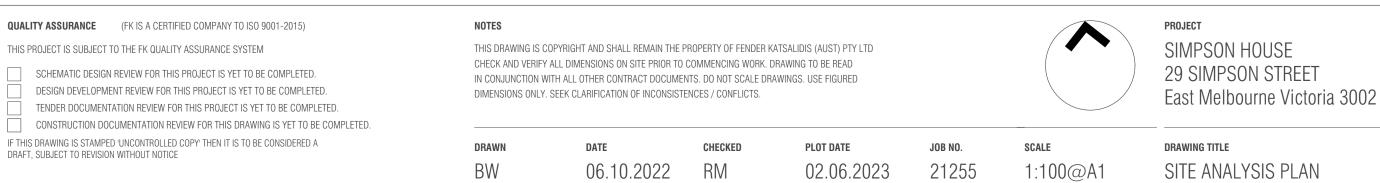




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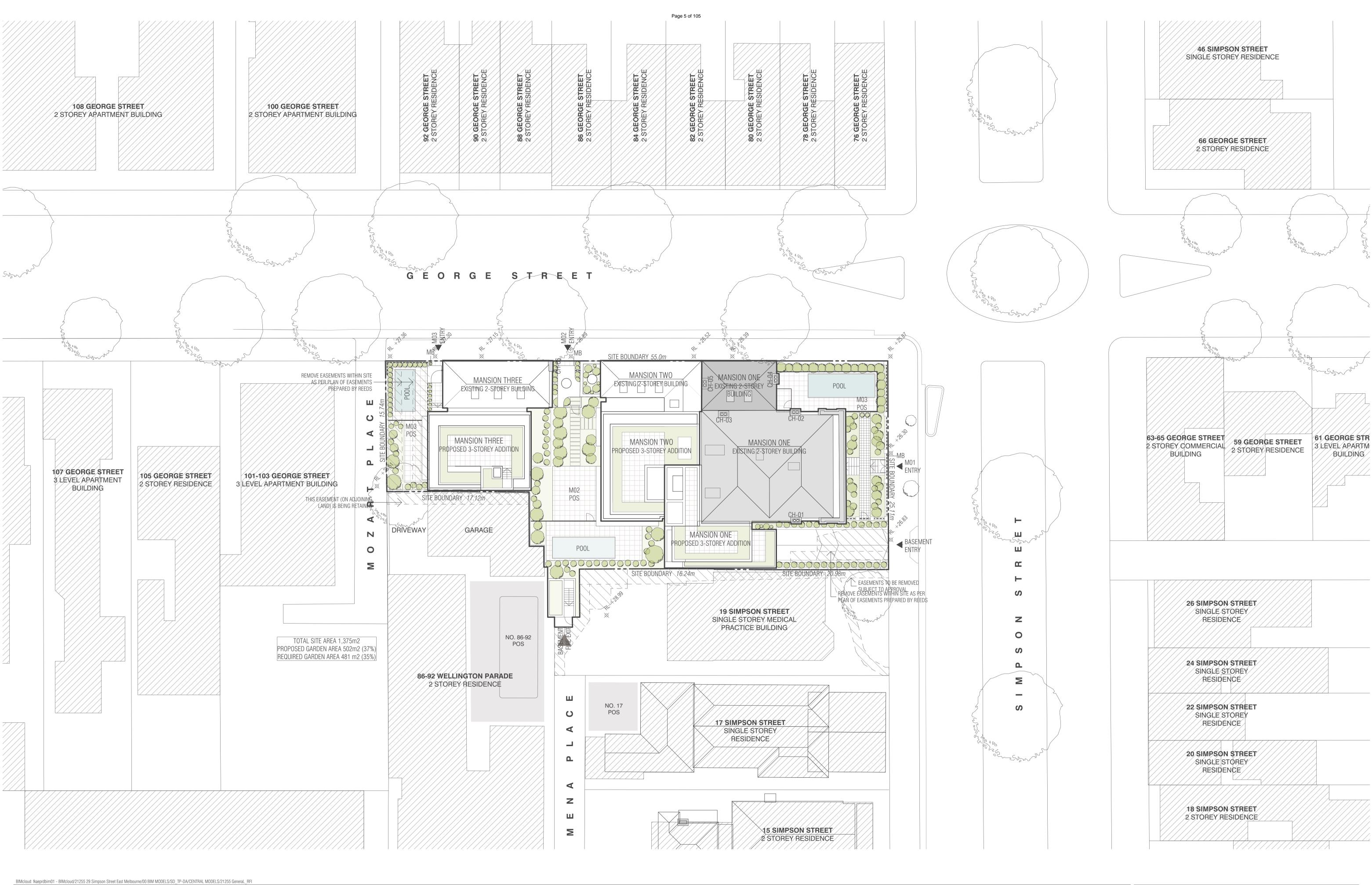
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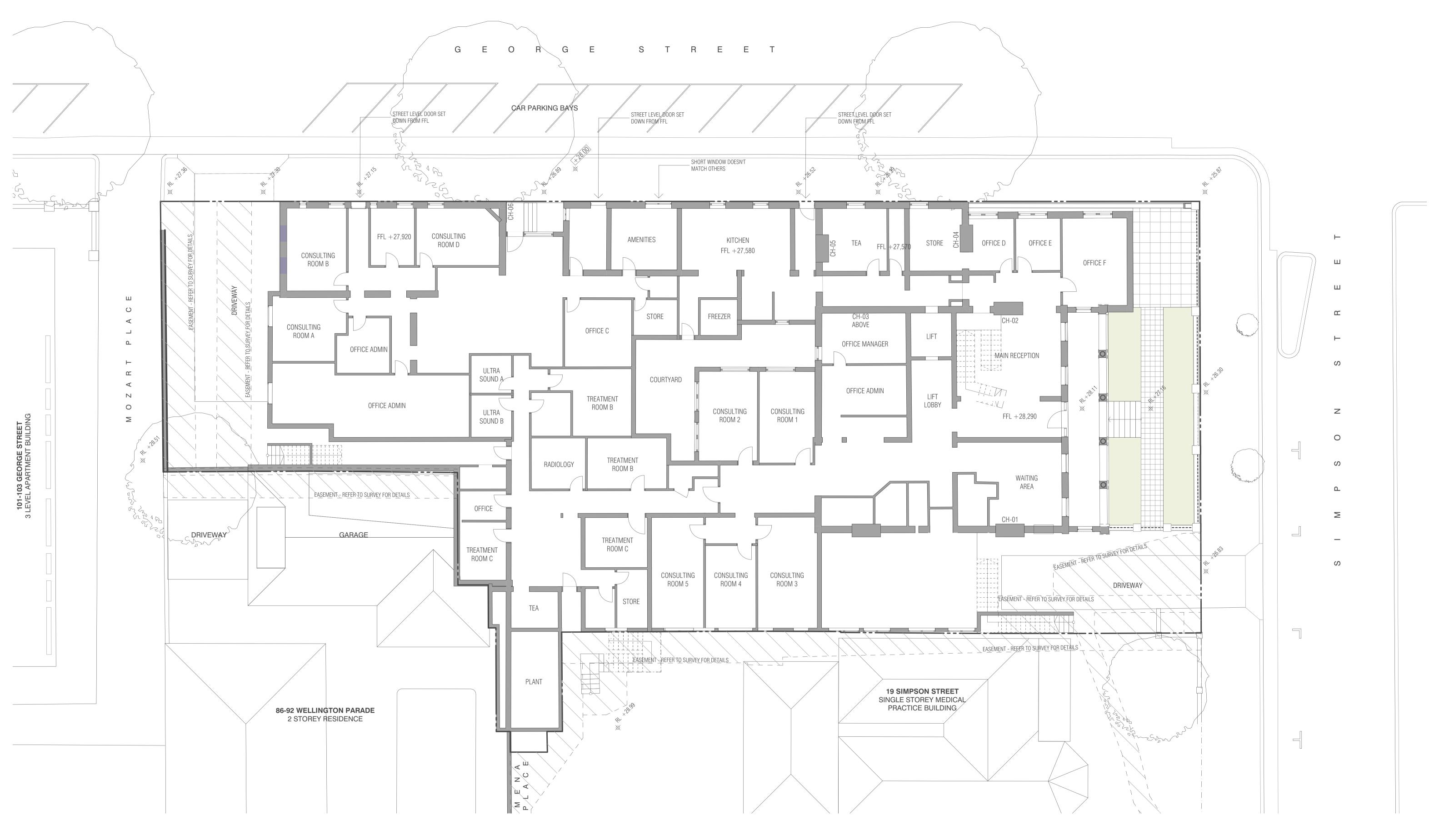
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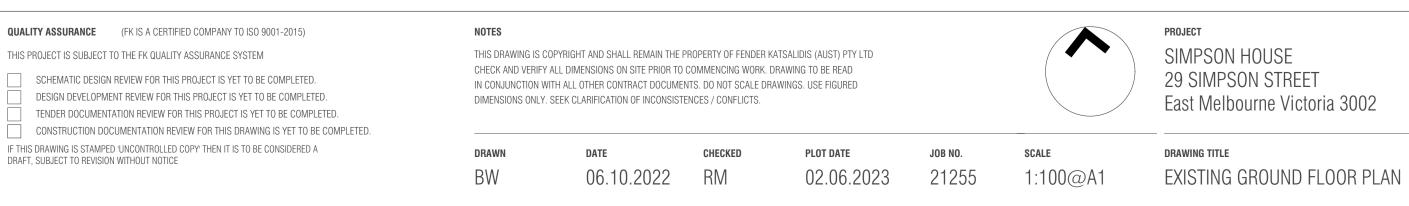
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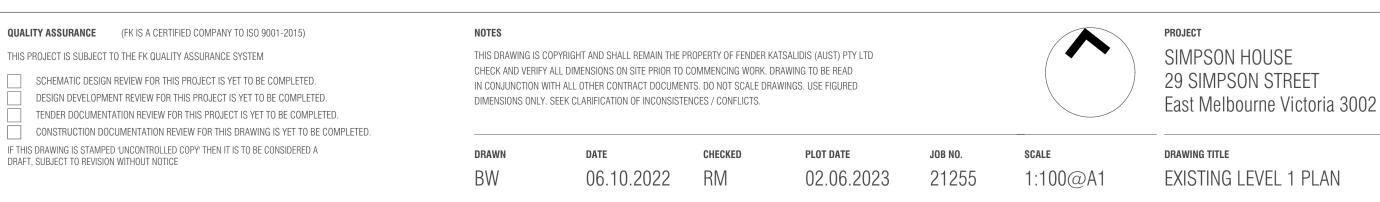
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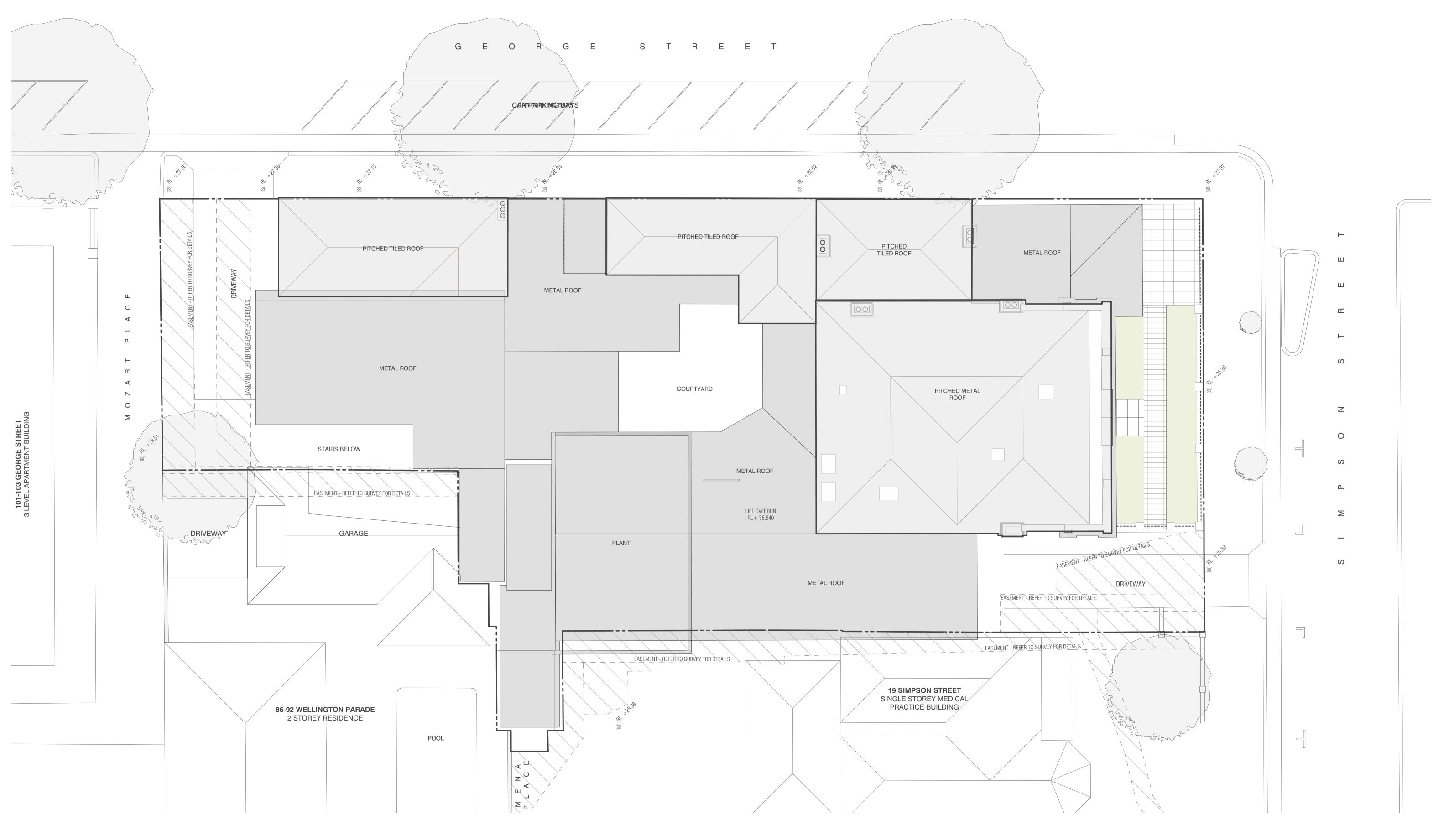
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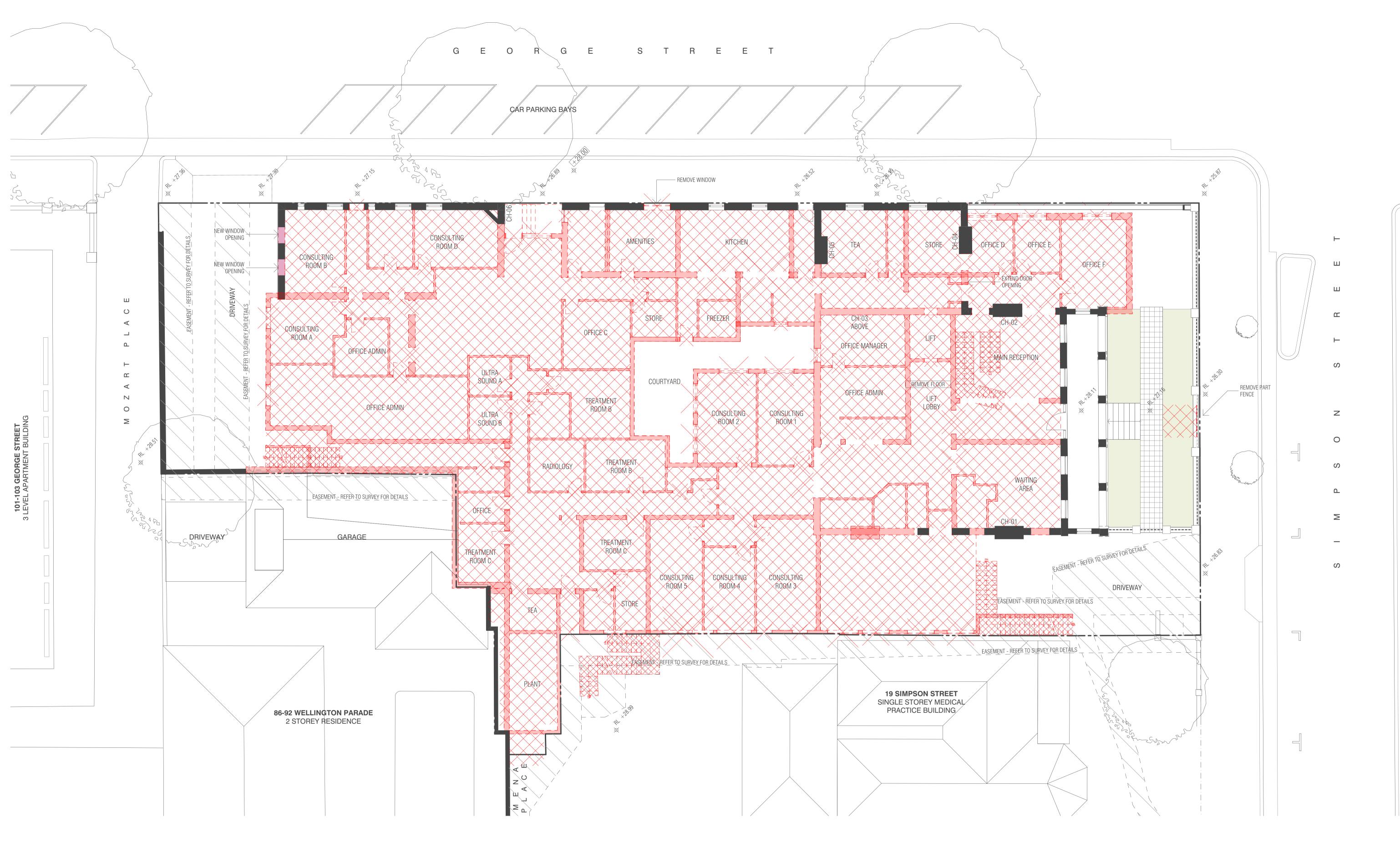
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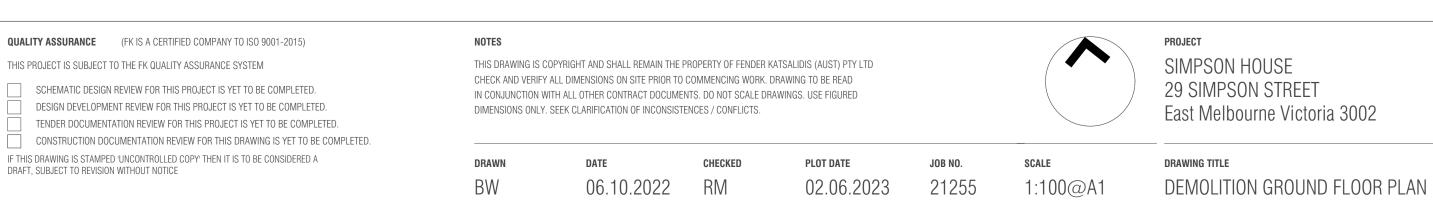


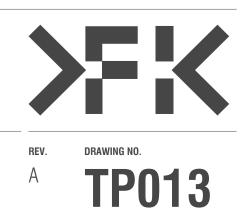
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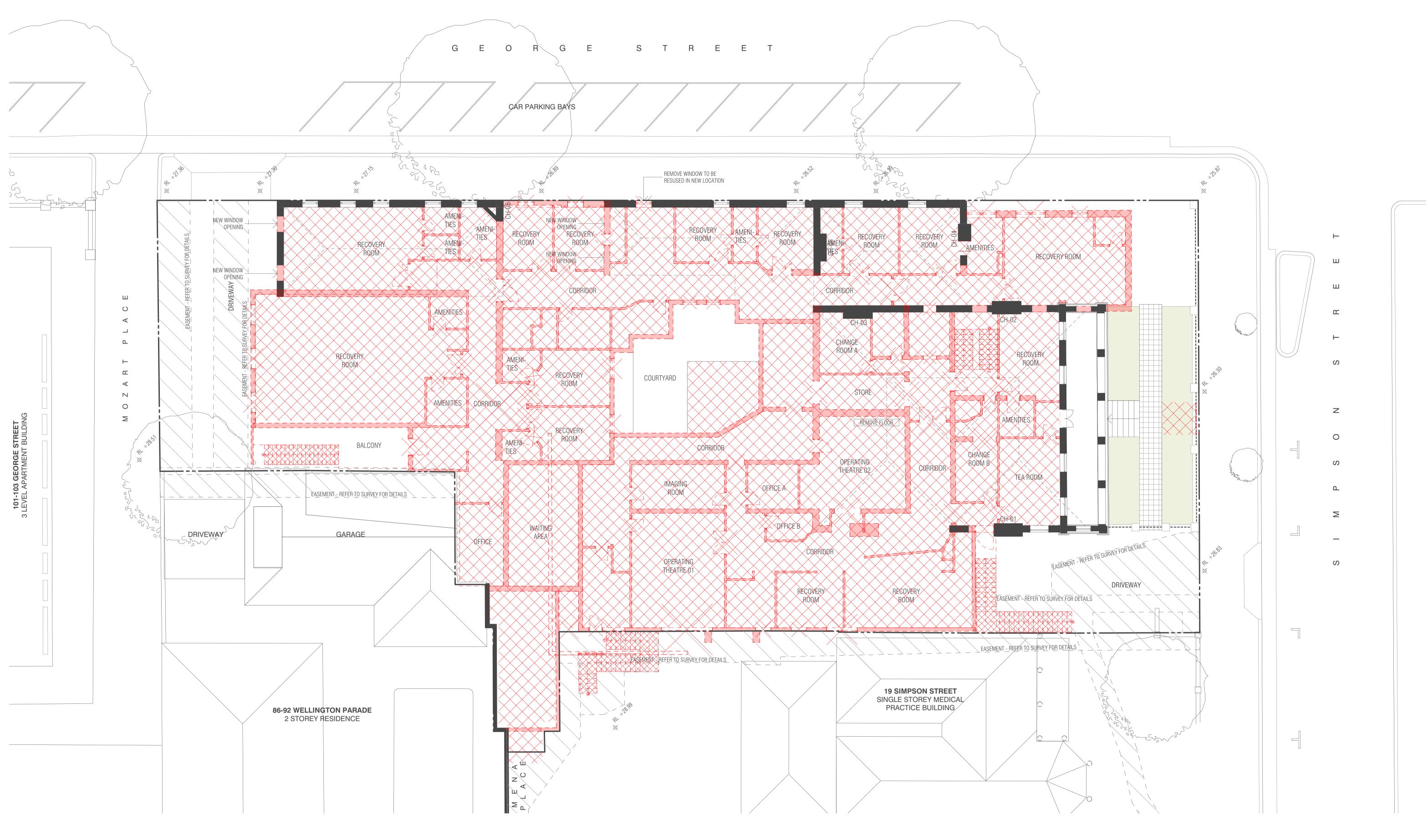
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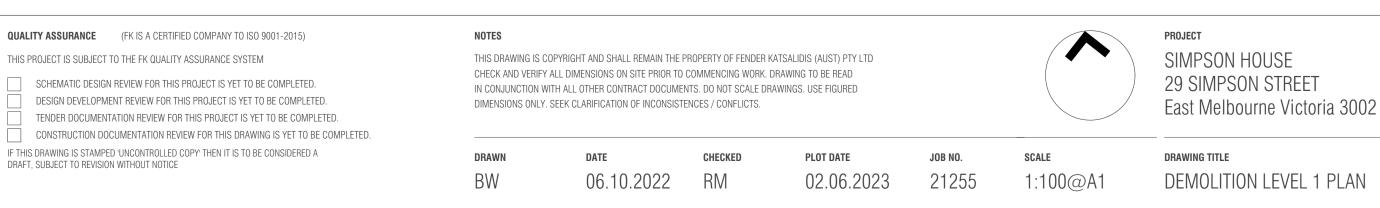


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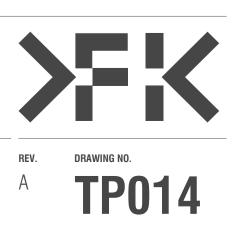
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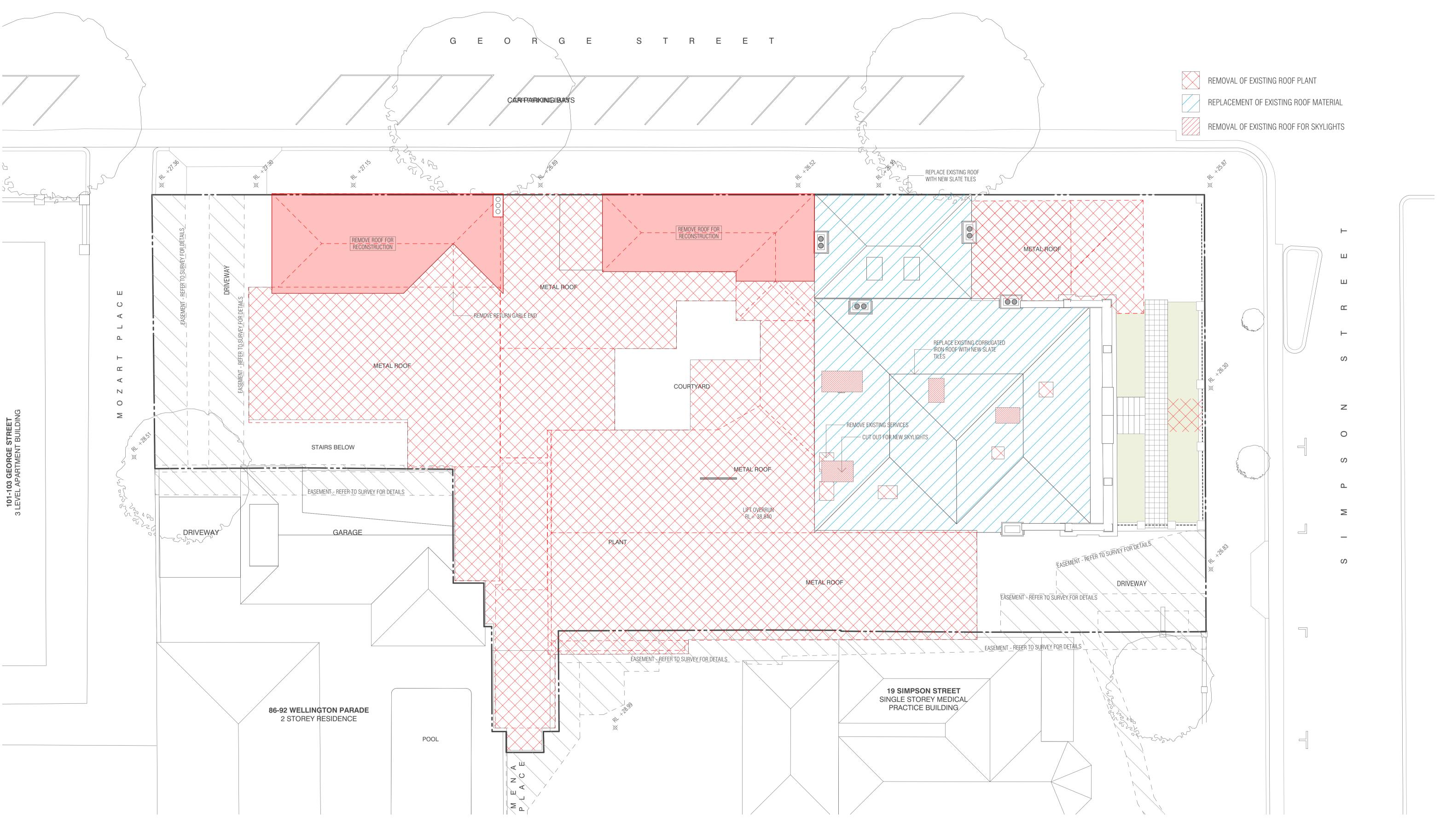
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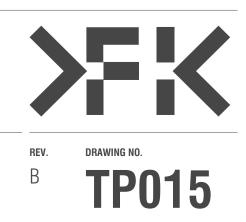
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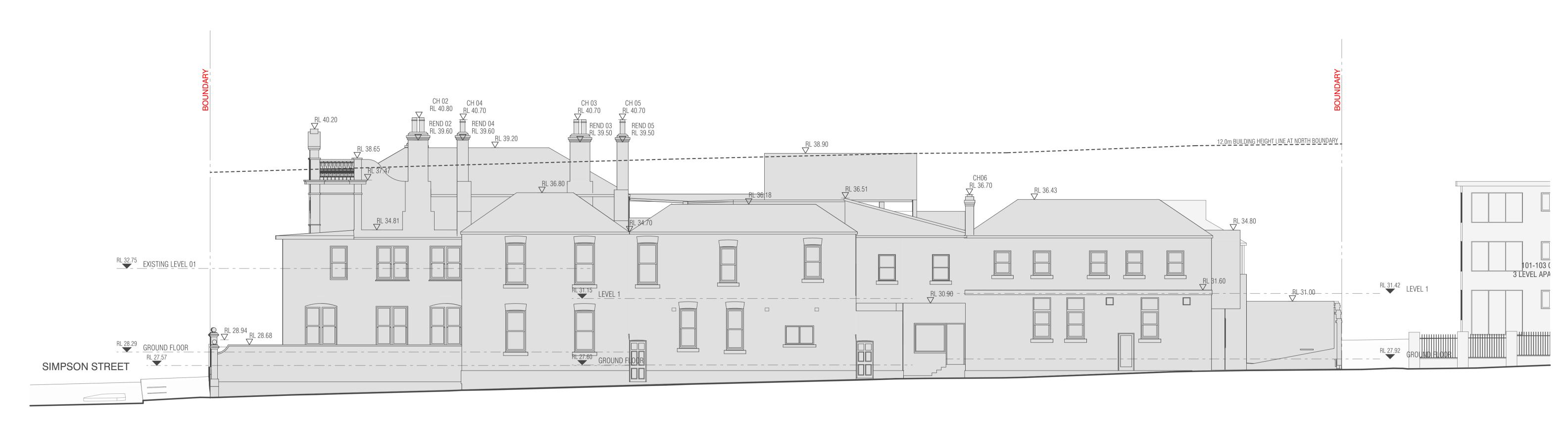
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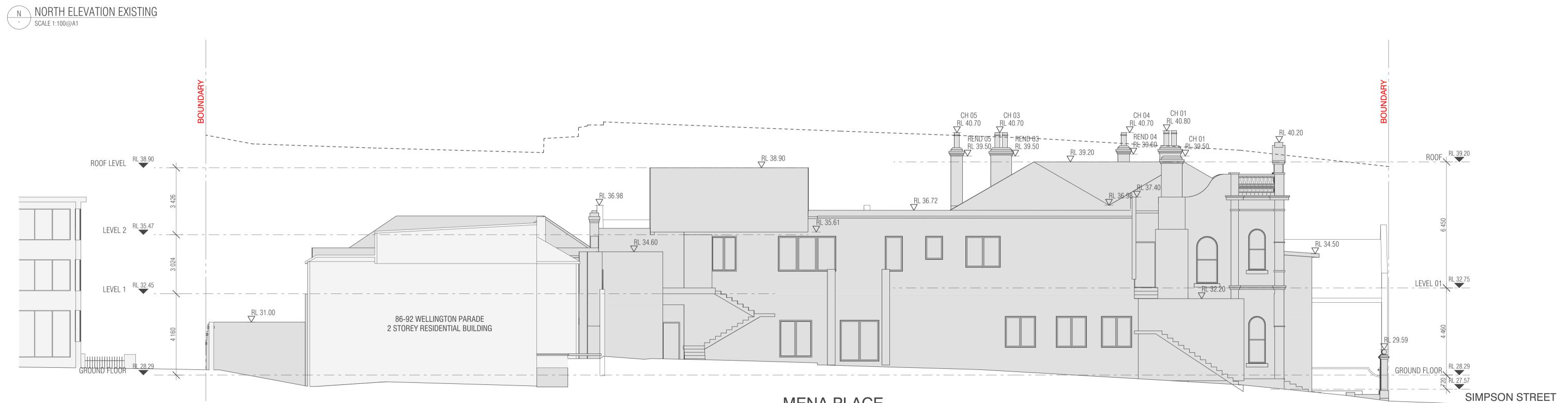
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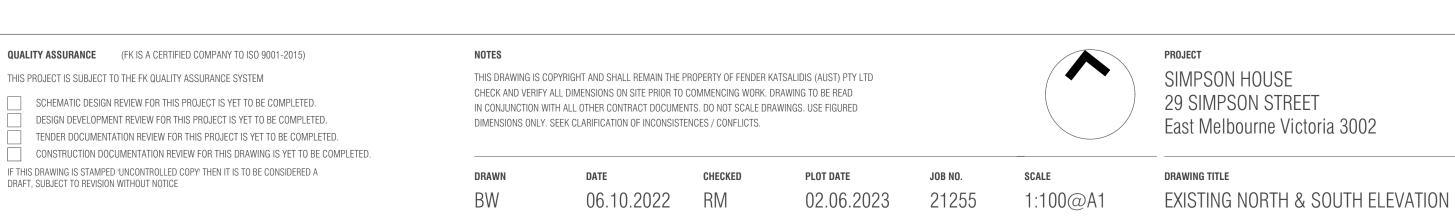
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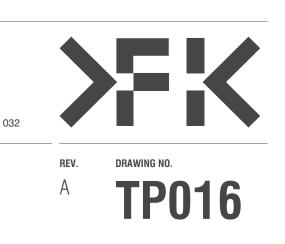
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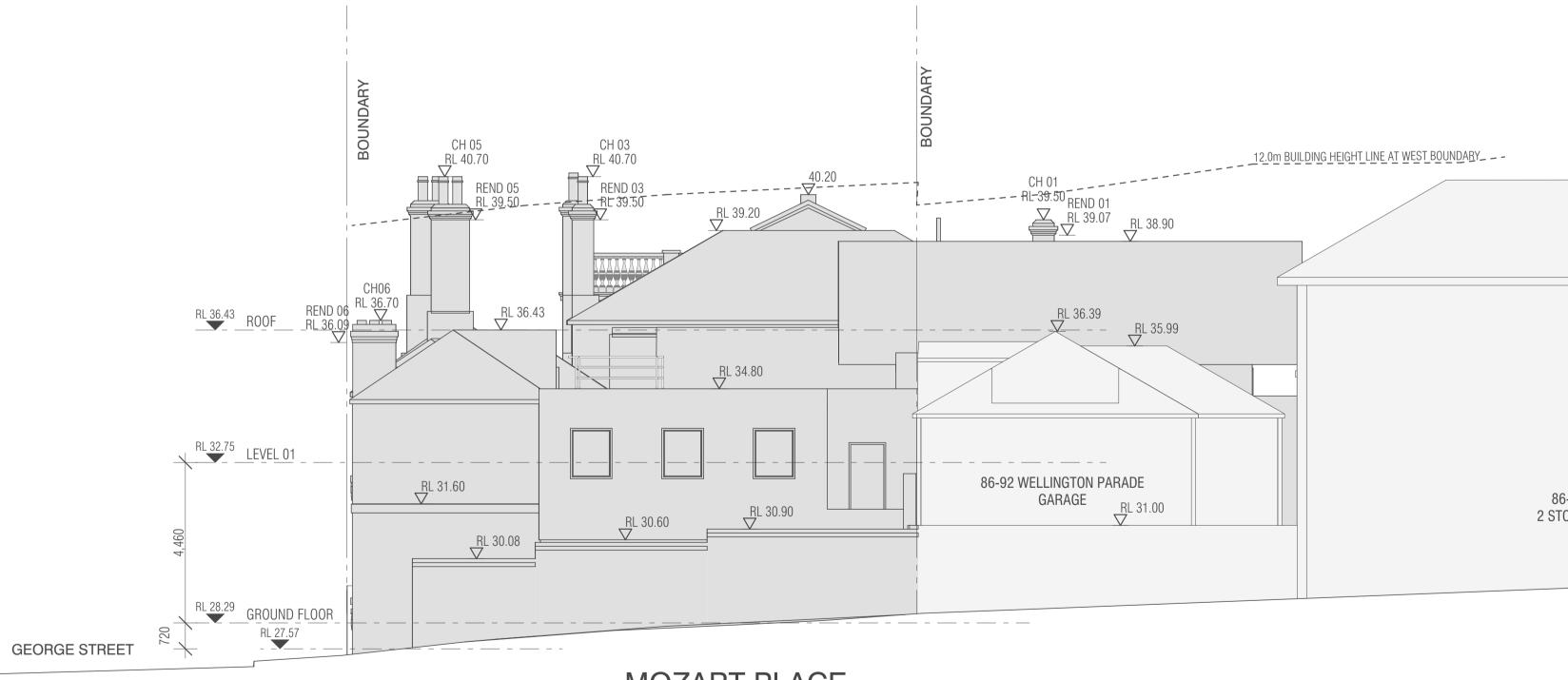
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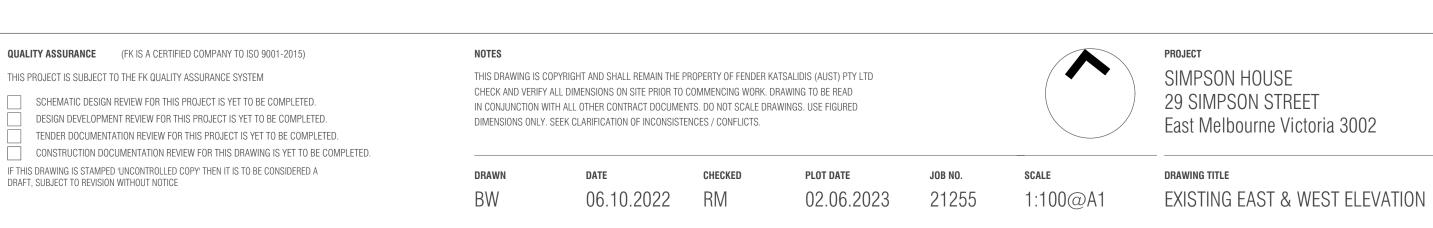
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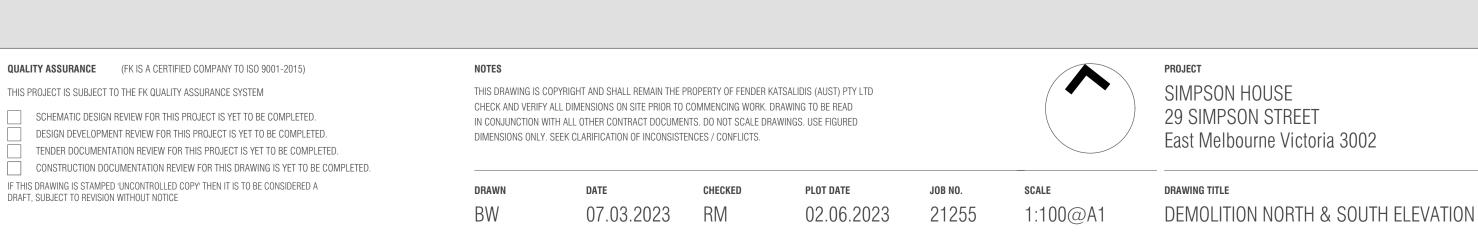
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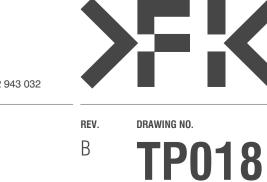
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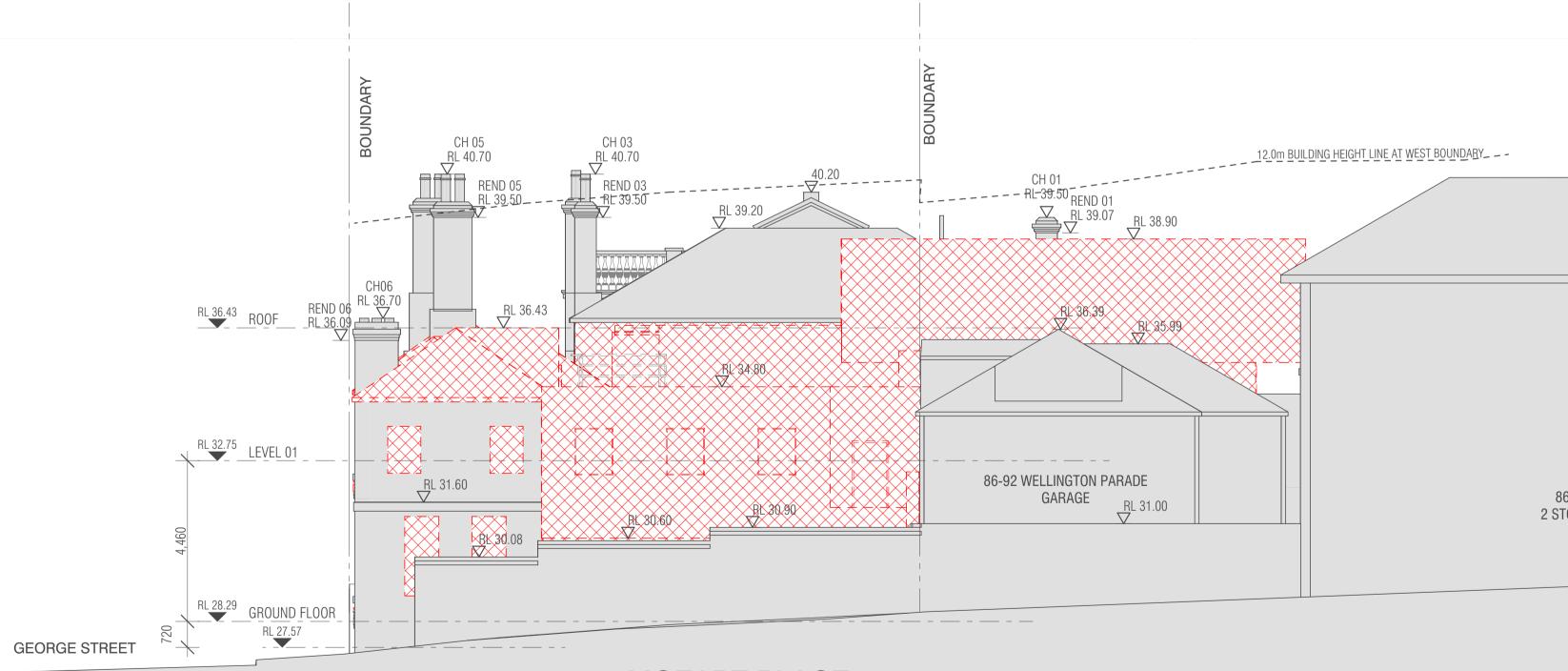
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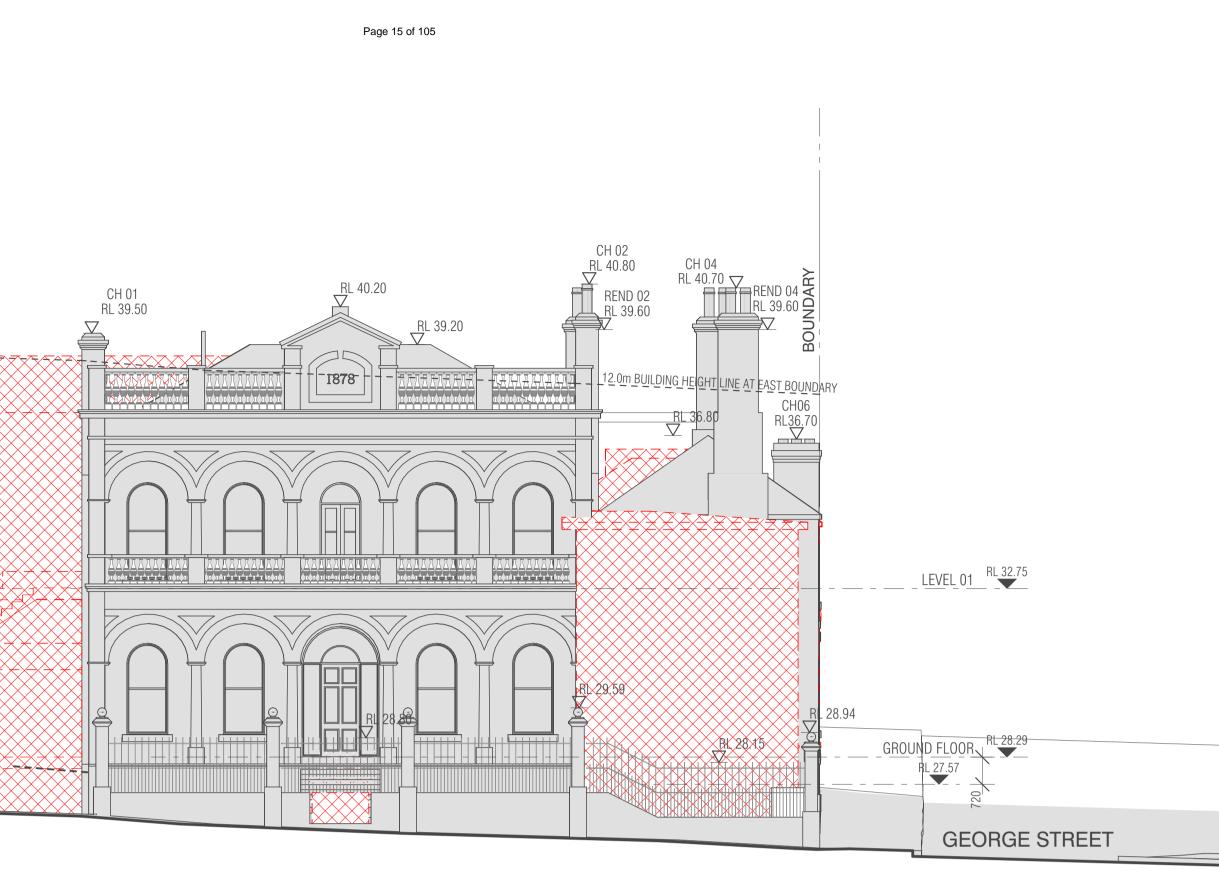
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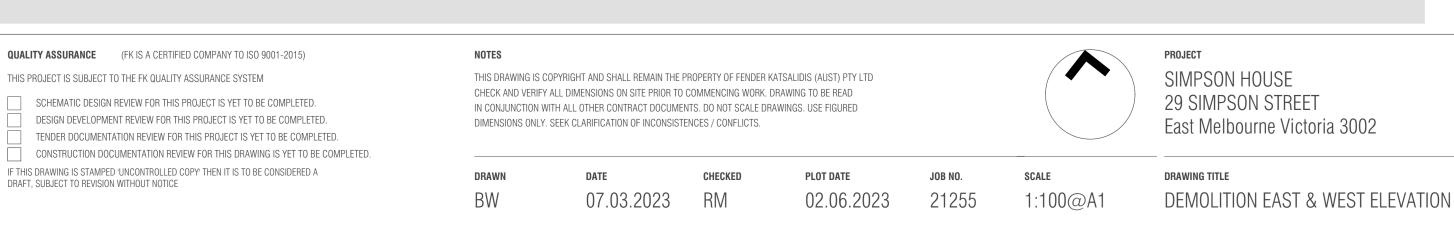
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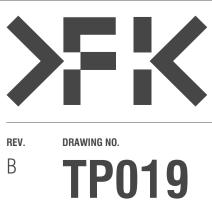
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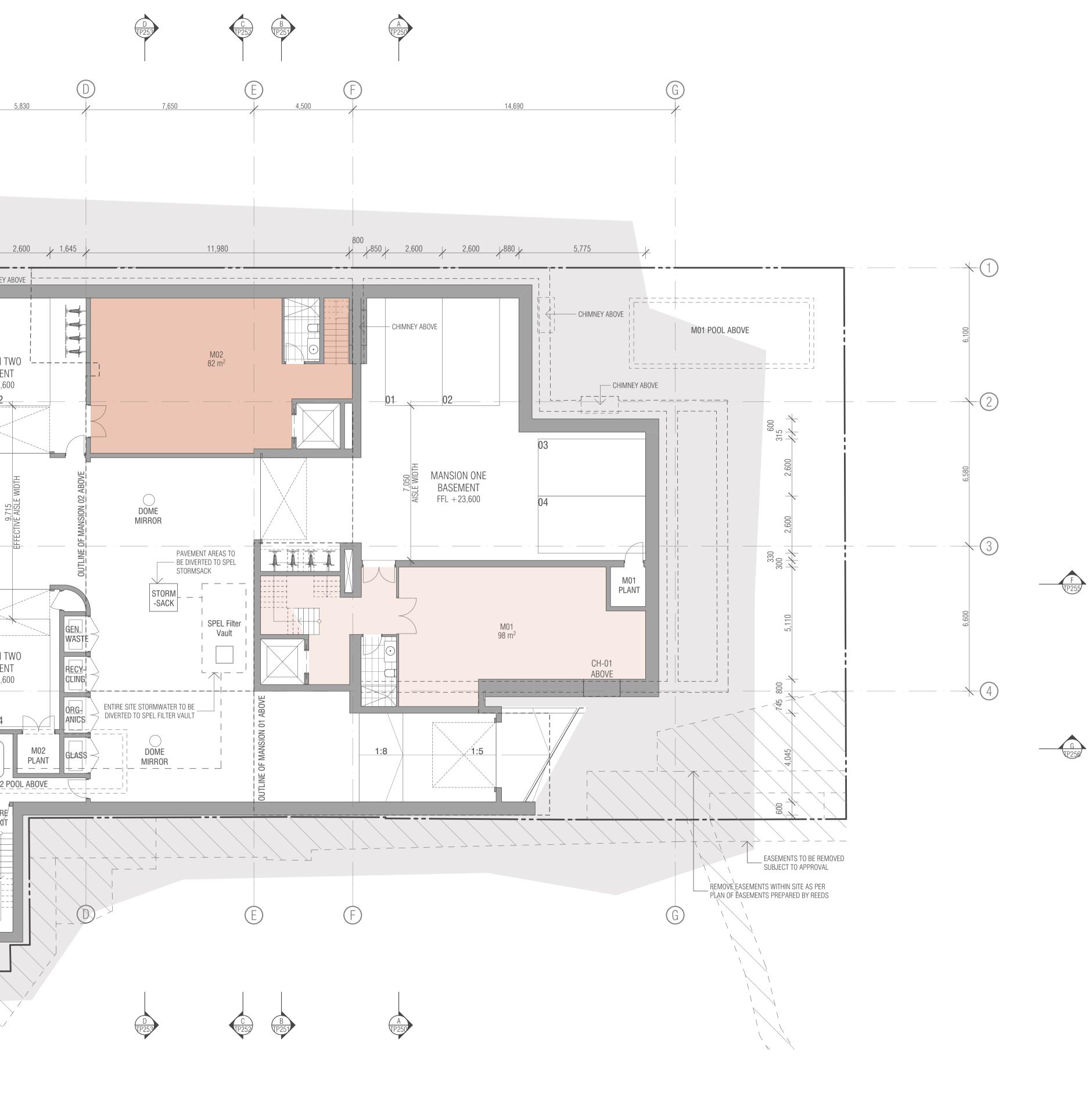


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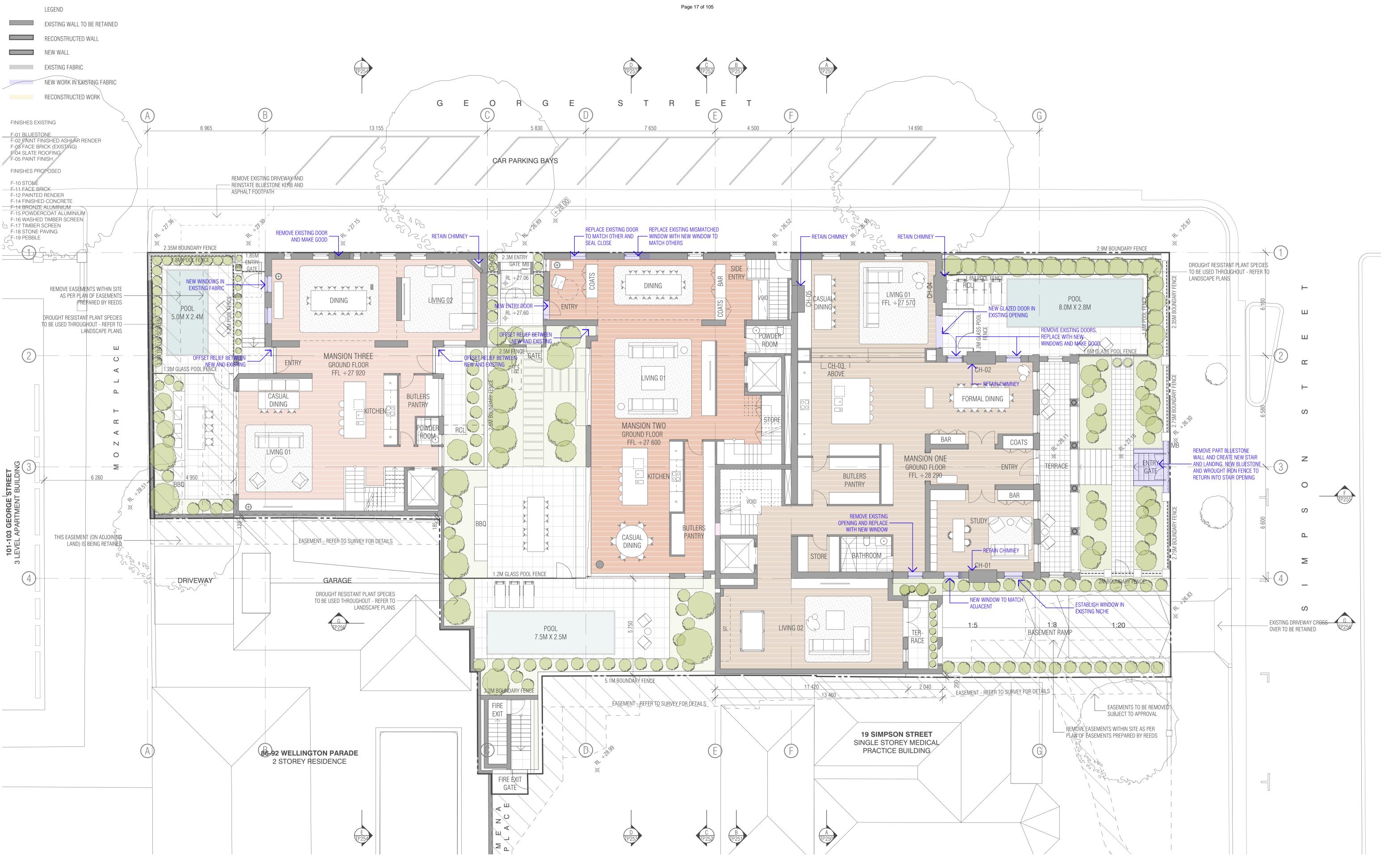
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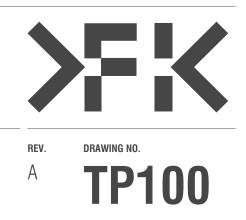
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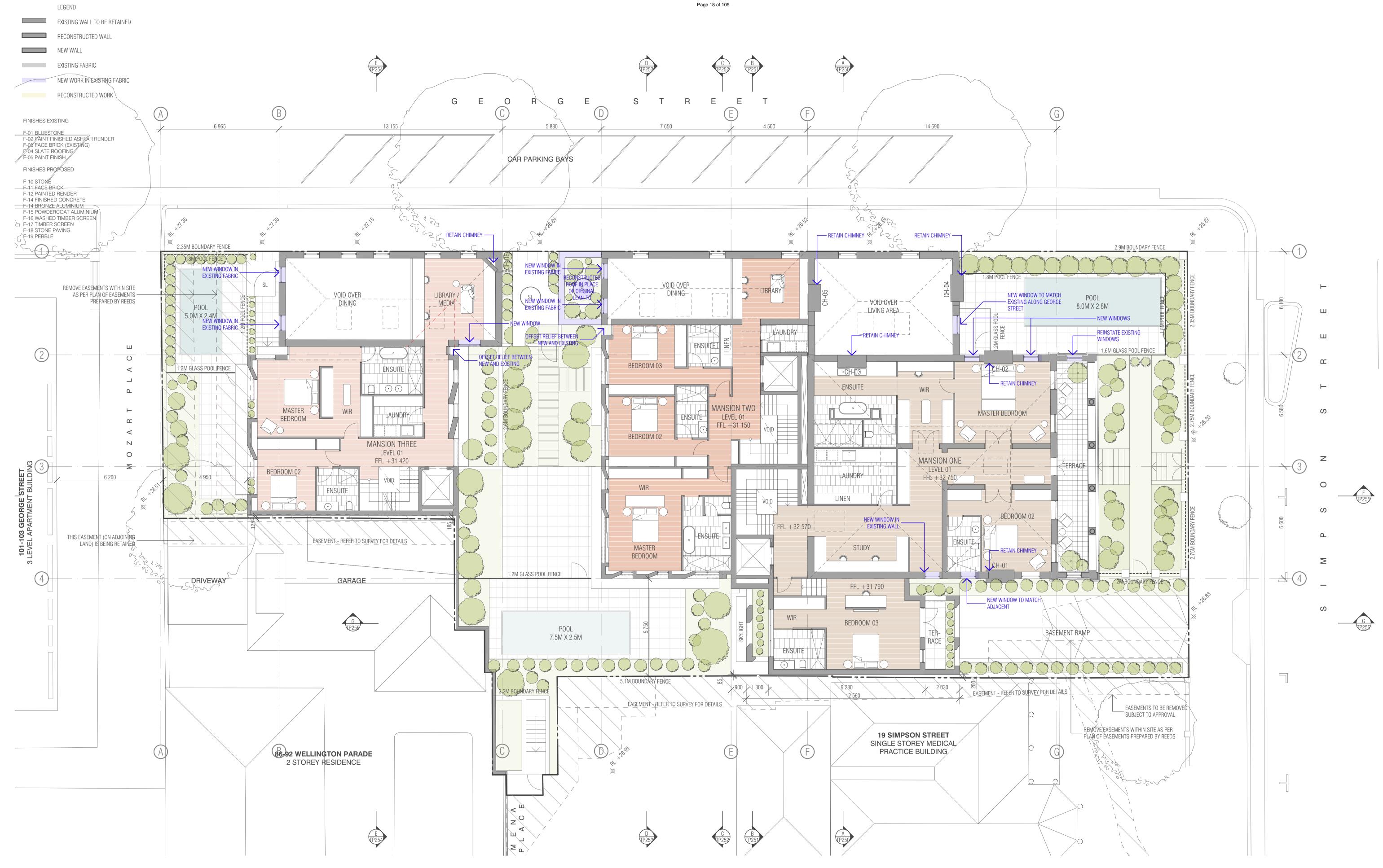
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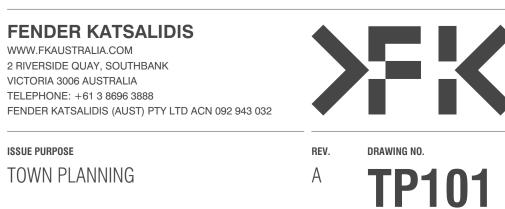
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SIMPSON HOUSE

29 SIMPSON STREET

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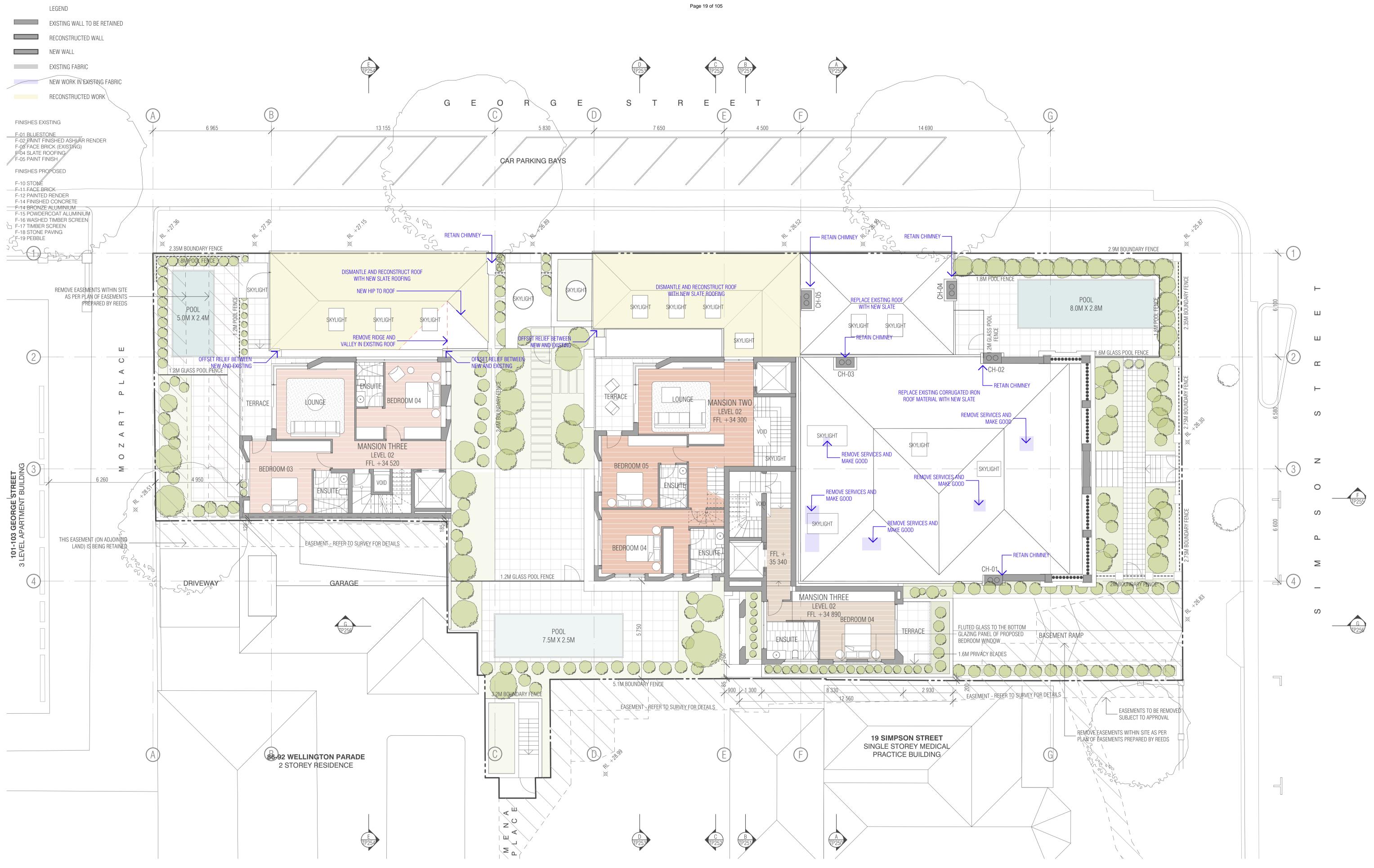
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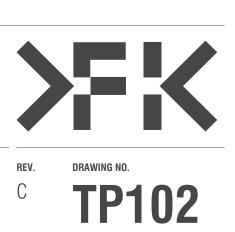
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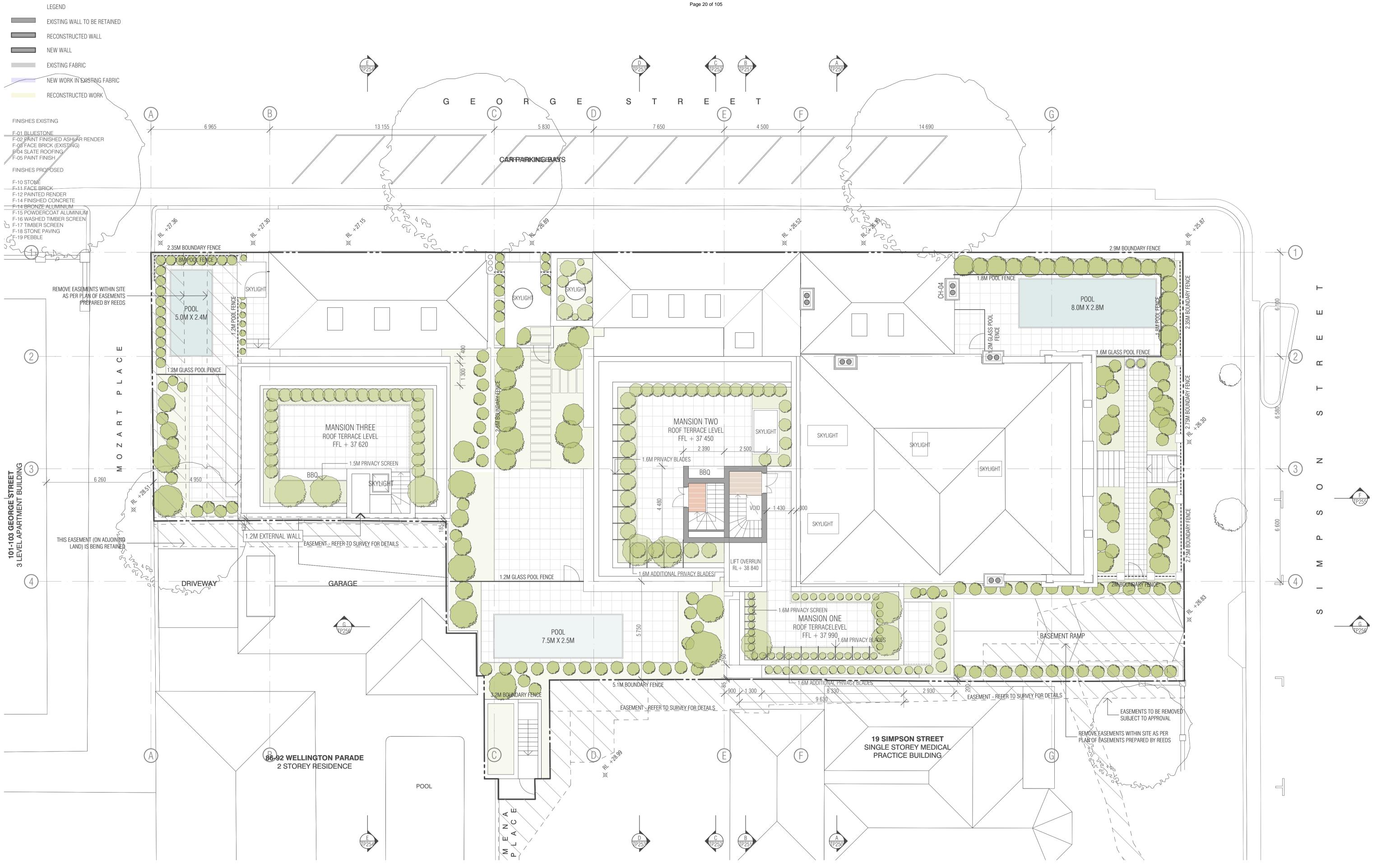
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## REVISION

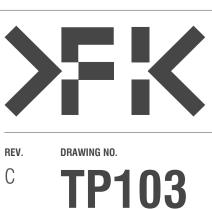
B ISSUED FOR TOWN PLANNING > C ISSUED FOR TOWN PLANNING NZ 07.03.2023 NZ 31.05.2023 REVISION

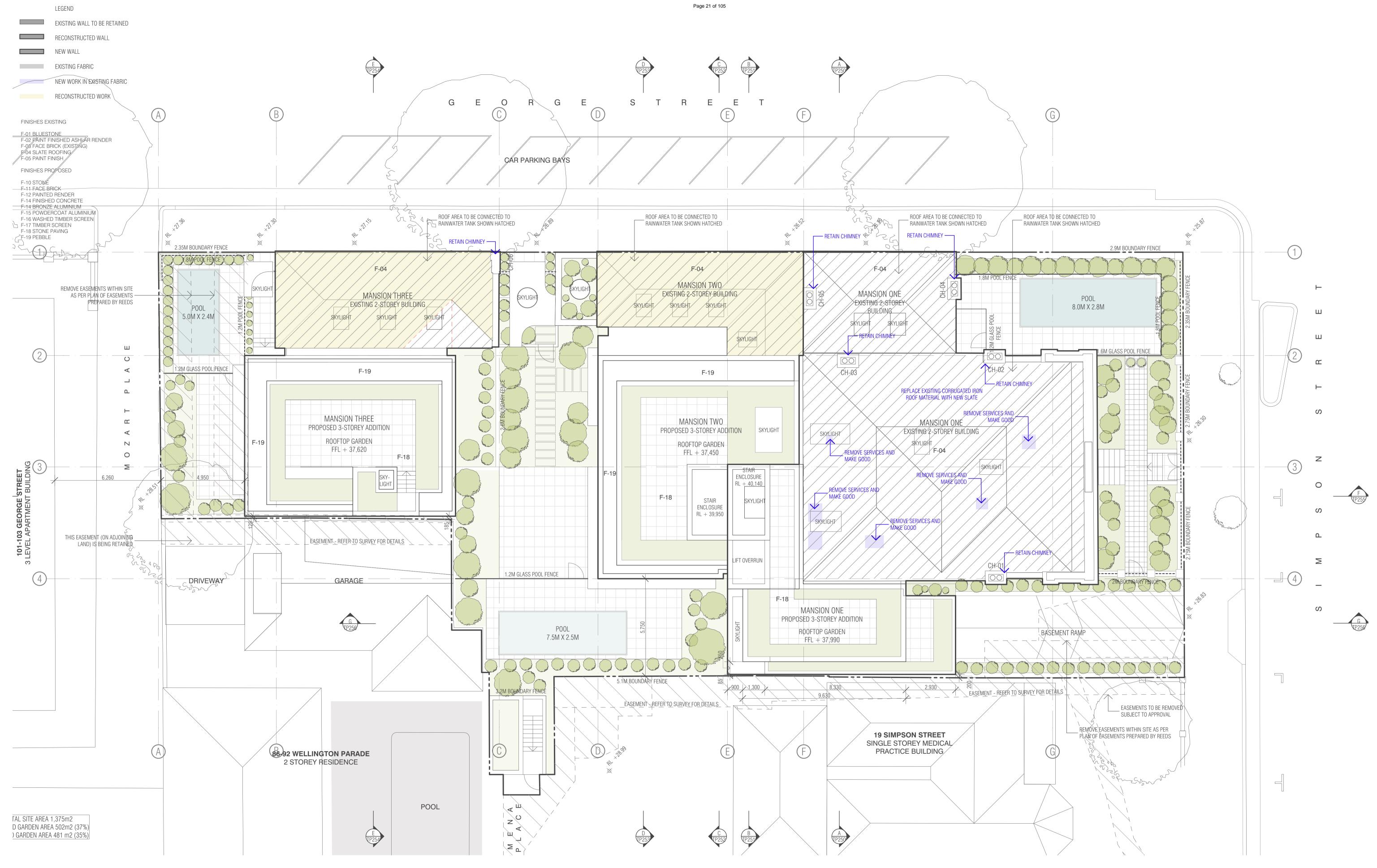
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BW 06.10.2022 NZ 07.03.2023 REVISION

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IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS. DO NOT SCALE DRAWINGS. USE FIGURED

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NOTES

02.06.2023

JOB NO. 21255 SCALE

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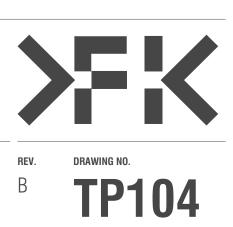
DRAWING TITLE ROOF PLAN

SIMPSON HOUSE

29 SIMPSON STREET

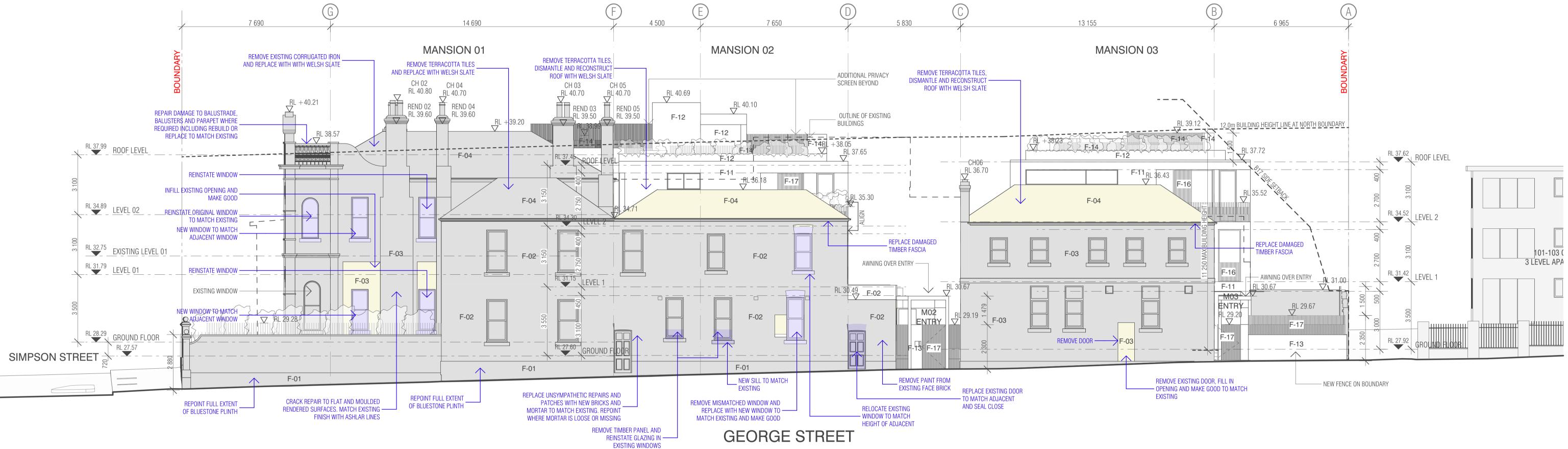
PROJECT

### FENDER KATSALIDIS WWW.FKAUSTRALIA.COM 2 RIVERSIDE QUAY, SOUTHBANK VICTORIA 3006 AUSTRALIA TELEPHONE: +61 3 8696 3888 FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032



**ISSUE PURPOSE** TOWN PLANNING

East Melbourne Victoria 3002





## LEGEND

EXISTING WALL TO BE RETAINED RECONSTRUCTED WALL

NEW WALL

EXISTING FABRIC NEW WORK IN EXISTING FABRIC

RECONSTRUCTED WORK

FINISHES EXISTING

F-01 BLUESTONE F-02 PAINT FINISHED ASHLAR RENDER F-03 FACE BRICK (EXISTING) F-04 SLATE ROOFING F-05 PAINT FINISH

## FINISHES PROPOSED F-10 STONE

- F-11 FACE BRICK F-12 PAINTED RENDER
- F-14 FINISHED CONCRETE F-14 BRONZE ALUMINIUM
- F-15 POWDERCOAT ALUMINIUM F-16 WASHED TIMBER SCREEN
- F-17 TIMBER SCREEN
- F-18 STONE PAVING F-19 PEBBLE
- BIMcloud: fkaeprdbim01 BIMcloud/21255 29 Simpson Street East Melbourne/00 BIM MODELS/SD\_TP-DA/CENTRAL MODELS/21255 GeneraL\_RFI REVISION
- B ISSUED FOR TOWN PLANNING

> C ISSUED FOR TOWN PLANNING

## **ESD NOTES:**

DOUBLE GLAZING TO BE USED FOR ALL GLAZED DOORS AND WINDOWS TO HABITAL ROOMS.

SHOWER HEAD & WC - 4 STAR WELS RATING

DISHWASHER, KITCHEN & BATHROOM TAP - 5 STAR WELS RATING

4W/m2 TYPICAL LIGHTING DENSITY

LIGHTING SENSORS FOR EXTERNAL LIGHTING

NATIVE AND DROUGHT RESISTANT PLANTS TO BE USED - REFER TO LANDSCAPE PLANS

## **CONSERVATION NOTES:**

## REMOVE DIRT AND VEGET FALLS AND ENSURE DRAI

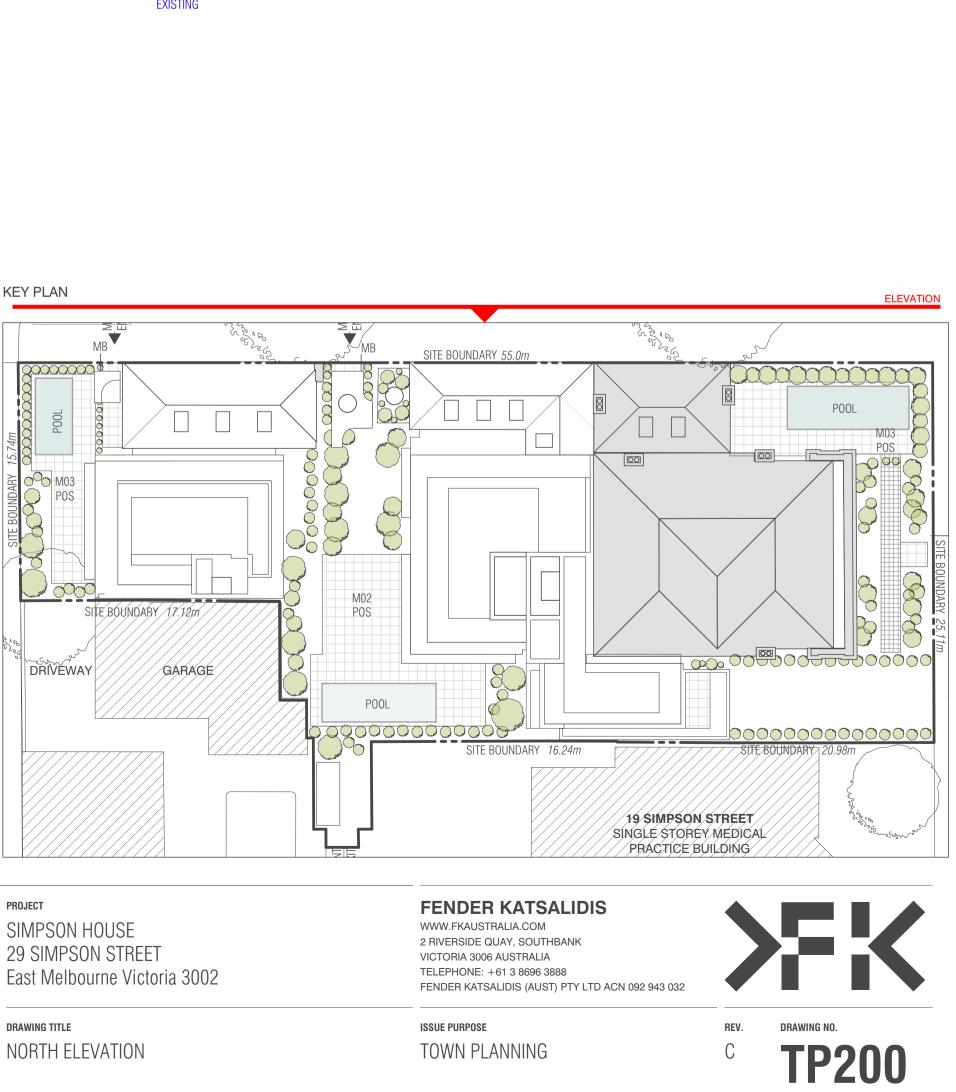
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- CONSTRUCTION DOCUM IF THIS DRAWING IS STAMPED 'U
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REVISION

NZ 07.03.2023 NZ 31.05.2023

WASH DOWN ALL FACADES AND PARAPETS.				/ INCLUDING FLAT/N DGED BLUESTONE/				
PROVIDE PROTECTION TO RETAINED FABRIC.		EAST CORNER BOU						
REMOVE REDUNDANT PIPES, SERVICES AND THE LIKE. REPAIR AND MA SUBSTRATE TO MATCH ADJACENT.	KE GOOD	REPOINT FULL EXTI					1E 71m	10.1411
IN NEW OPENINGS, CAREFULLY DISMANTLE MASONRY WALL AND JOINE STORE IF TO BE REUSED.	RY AND			T BOUNDARY TO MA BLOCKS TO BOUNDA		G.		SILE BUUNDARY
PREPARE AND PAINT ALL PREVIOUSLY PAINTED SURFACES INCLUDING WORKS, METAL WORK AND RENDER WORK.	TIMBER			) REPAIR/REPLACE [			CI	
INSTALL NEW WELSH SLATE TO ALL RETAINED/RECONSTRUCTED ROOF ASSOCIATED GALVANISED STEEL RIDGE CAPPING, VALLEY GUTTERS AN		NEW TESSELLATED PEDESTRIAN ENTR'	-	TO MATCH EXISTIN	IG TO PROPO	SED	2()2. E()2.	2
CAPPING. INSTALL LEAD FLASHINGS WHERE REQUIRED. REMOVE EXISTING TERRACOTTA TILES AND INSTALL NEW WELSH SLAT	F	REPAIR AND RESTORATION OF TIMBER WINDOW FRAMES AND THE INSTALLATION OF NEW TIMBER WINDOW SASHES WITH NEW DOUBLE GLAZING.						04
REPLACE DAMAGED RAINWATER GOODS INCLUDING BOX GUTTERS, CO		REPLACE DAMAGE	D GLAZING PI	JTTY AND TIMBER B	EADS WHERE	REQUIRED.		
FLASHINGS, EAVES GUTTERS, DOWNPIPES AND RAINWATER HEADS ALL FUTURE HYDRAULIC ENGINEERS SPECIFICATION.		TIMBER SPLICE RE	PAIRS TO EXI	STING DOORS AND V	WINDOWS AS	REQUIRED.		,
REMOVE DIRT AND VEGETATION FROM RETAINED RAINWATER GOODS, I FALLS AND ENSURE DRAINAGE TO STORMWATER SYSTEM.	REVISE	REPLACE EXISTING	GLASS PANE	S WITH DOUBLE GL	AZED PANES.			, , ,
QUALITY ASSURANCE (FK IS A CERTIFIED COMPANY TO ISO 9001-2015)	NOTES						Р	RO
THIS PROJECT IS SUBJECT TO THE FK QUALITY ASSURANCE SYSTEM		S COPYRIGHT AND SHALL REMAIN THE F					Ç	SII
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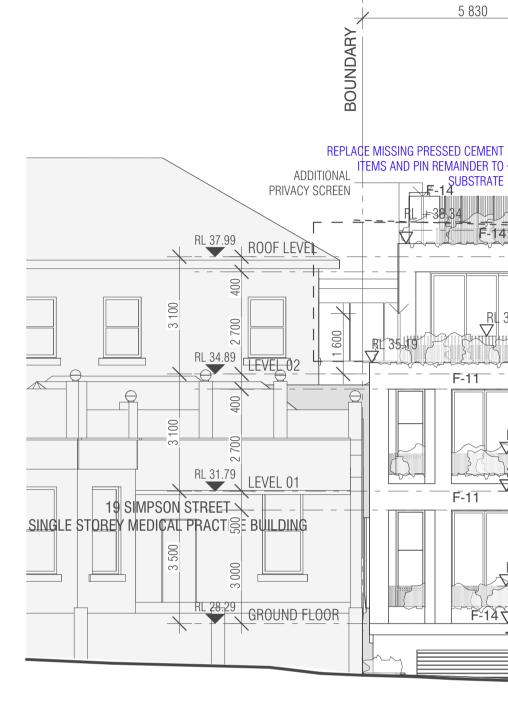
REPLACE DAMAGED CHIMNEY FLASHINGS AND METAL CAPPINGS.



31.UD.ZUZ3 KIVI

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ESD NOTES:

DOUBLE GLAZING TO BE USED FOR ALL GLAZED DOORS AND WINDOWS TO HABITAL ROOMS.

SHOWER HEAD & WC - 4 STAR WELS RATING

DISHWASHER, KITCHEN & BATHROOM TAP - 5 STAR WELS RATING

4W/m2 TYPICAL LIGHTING DENSITY

LIGHTING SENSORS FOR EXTERNAL LIGHTING

NATIVE AND DROUGHT RESISTANT PLANTS TO BE USED - REFER TO LANDSCAPE PLANS

## **CONSERVATION NOTES:**

## REMOVE DIRT AND VEGETATION FALLS AND ENSURE DRAINAGE

- SCHEMATIC DESIGN REVIEW FOR THIS DESIGN DEVELOPMENT REVIEW FOR TH TENDER DOCUMENTATION REVIEW FOR
- CONSTRUCTION DOCUMENTATION REV
- IF THIS DRAWING IS STAMPED 'UNCONTROLLED DRAFT, SUBJECT TO REVISION WITHOUT NOTICE

EXISTING WALL TO BE RETAINED

LEGEND

RECONSTRUCTED WALL

- NEW WALL
- EXISTING FABRIC NEW WORK IN EXISTING FABRIC
  - RECONSTRUCTED WORK

FINISHES EXISTING

F-01 BLUESTONE F-02 PAINT FINISHED ASHLAR RENDER F-03 FACE BRICK (EXISTING) F-04 SLATE ROOFING F-05 PAINT FINISH

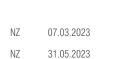
## FINISHES PROPOSED F-10 STONE

- F-11 FACE BRICK F-12 PAINTED RENDER
- F-14 FINISHED CONCRETE F-14 BRONZE ALUMINIUM
- F-15 POWDERCOAT ALUMINIUM F-16 WASHED TIMBER SCREEN
- F-17 TIMBER SCREEN
- F-18 STONE PAVING F-19 PEBBLE

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REVISION

SIM	PSON	I STREET					
CONSERVATION NOTES:		REPLACE DAMAGE	d chimney f	Lashings and met	TAL CAPPINGS	S.	KEY PLAN
WASH DOWN ALL FACADES AND PARAPETS. PROVIDE PROTECTION TO RETAINED FABRIC.		RE-PARGE COPINO DISMANTLE AND R EAST CORNER BOU					
REMOVE REDUNDANT PIPES, SERVICES AND THE LIKE. REPAIR AND MAKE GO SUBSTRATE TO MATCH ADJACENT. IN NEW OPENINGS, CAREFULLY DISMANTLE MASONRY WALL AND JOINERY A			GATE TO EAS	T BOUNDARY TO MA		IG.	E BOUNDARY 15.12
STORE IF TO BE REUSED. PREPARE AND PAINT ALL PREVIOUSLY PAINTED SURFACES INCLUDING TIMB WORKS, METAL WORK AND RENDER WORK.	ER	REPAIR DAMAGED CLEAN TESSELLAT NEW TESSELLATEI	SITE BOUNDARY 17.12m				
INSTALL NEW WELSH SLATE TO ALL RETAINED/RECONSTRUCTED ROOFS WITASSOCIATED GALVANISED STEEL RIDGE CAPPING, VALLEY GUTTERS AND HIP CAPPING. INSTALL LEAD FLASHINGS WHERE REQUIRED.		PEDESTRIAN ENTR	y. Dration of 1	IMBER WINDOW FR	AMES AND TI	HE	DRIVEWAY GARAGE
REMOVE EXISTING TERRACOTTA TILES AND INSTALL NEW WELSH SLATE. REPLACE DAMAGED RAINWATER GOODS INCLUDING BOX GUTTERS, COVER FLASHINGS, EAVES GUTTERS, DOWNPIPES AND RAINWATER HEADS ALL TO		REPLACE DAMAGE	d glazing pi	JTTY AND TIMBER B	BEADS WHERE	e required.	
FUTURE HYDRAULIC ENGINEERS SPECIFICATION. REMOVE DIRT AND VEGETATION FROM RETAINED RAINWATER GOODS, REVIS FALLS AND ENSURE DRAINAGE TO STORMWATER SYSTEM.	SE			S WITH DOUBLE GL			
THIS PROJECT IS SUBJECT TO THE FK QUALITY ASSURANCE SYSTEM I   SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED. I   DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED. I   TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED. I	CHECK AND VERIFY	OPYRIGHT AND SHALL REMAIN THE ALL DIMENSIONS ON SITE PRIOR TO ITH ALL OTHER CONTRACT DOCUME SEEK CLARIFICATION OF INCONSIST	COMMENCING WORK. D NTS. DO NOT SCALE DR/	RAWING TO BE READ			PROJECT SIMPSON HOUSE 29 SIMPSON STREET East Melbourne Victoria 3002
DRAFT, SUBJECT TO REVISION WITHOUT NOTICE	drawn BW	date 31.05.2023	checked RM	plot date 02.06.2023	јов no. 21255	scale 1:100@A1	drawing title EAST ELEVATION

#### (4)3 (2)5 830 6 580 6 6 0 0 6 100 REMOVE EXISTING CORRUGATED IRON ROOF AND REPLACE WITH NEW WELSH SLATE REPAIR DAMAGE TO BALUSTRADE, BALUSTERS AND PARAPET WHERE **REINSTATE CHIMNEY POTS** REQUIRED INCLUDING REBUILD OR TO MATCH EXISTING OUTLINE OF REPLACE TO MATCH EXISTING MANSION 01 EXISTING BUILDINGS CH 02 CH 04 <u>R</u>L 40.80 RL 40.69 RL 40.70 REND 0 +40.20CH 01 REND 02 F-12 IRI 39.6 <u>RL 39.59</u> RL 39.50 RL 39.60 STRATE 47 L 39.05 F-04 - F-14 דערות ההיה היה היה -1878-CH06 RL 36.80 RL36.70 F-02 RL 36.19 REMOVE TERRACOTTA TILES R 35.89 F-11 AND REPLACE WITH WELSH SLATE <u>RL-34.69</u> \_\_\_\_\_ LEVEL\_02 \_\_\_\_\_\_\_ \_F<u>-</u>04 NEW WINDOW IN EXISTING DOOR OPENING LEVEL 01 RL 32.75 **`**\$1\$1\$1\$1\$1\$1\$1\$1\$1 $\sqrt{2}$ F-02 F-02 - INFILL EXISTING OPENING AND MAKE GOOD 31.79 F-02 $\nabla$ MAKE GOOD TO NEWLY EXPOSED WALL AND FINISH WALLS TO MATCH EXISTING F-02 WITH ASHLAR LINES REPLACE EXISTING DOOR WITH RL-29 - DOUBLE TIMBER FRAMED GLASS DOORS F-14 7 28.29 GROUND FLOOR RL 27.57 \_\_\_\_ ₹\$<u>∕</u>∧}} F-01 GEORGE STREET M01 REMOVE PAINT FROM BLUESTONE 01 TP206 ENTRY - PLINTH AND REPOINT FULL EXTENT OF VERANDAH PAVING AND PLINTH REMOVE PART EXISTING BLUESTONE CRACK REPAIR TO FLAT AND WALL AND PALISADE FENCE AND MOULDED SURFACES. MATCH — CREATE NEW GATE, STAIR AND EXISTING FINISH WITH ASHLAR LINES LANDING TO MATCH EXISTING REPLACE DAMAGED TIMBER SOFFIT NEW BLUESTONE PIERS TO EITHER LINING AND TIMBER BEADS TO -SIDE OF NEW GATE MATCH EXISTING

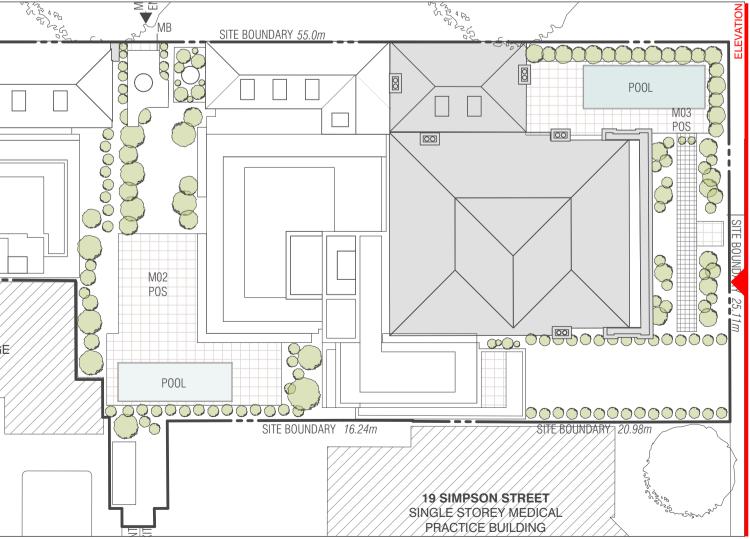
Page 23 of 105

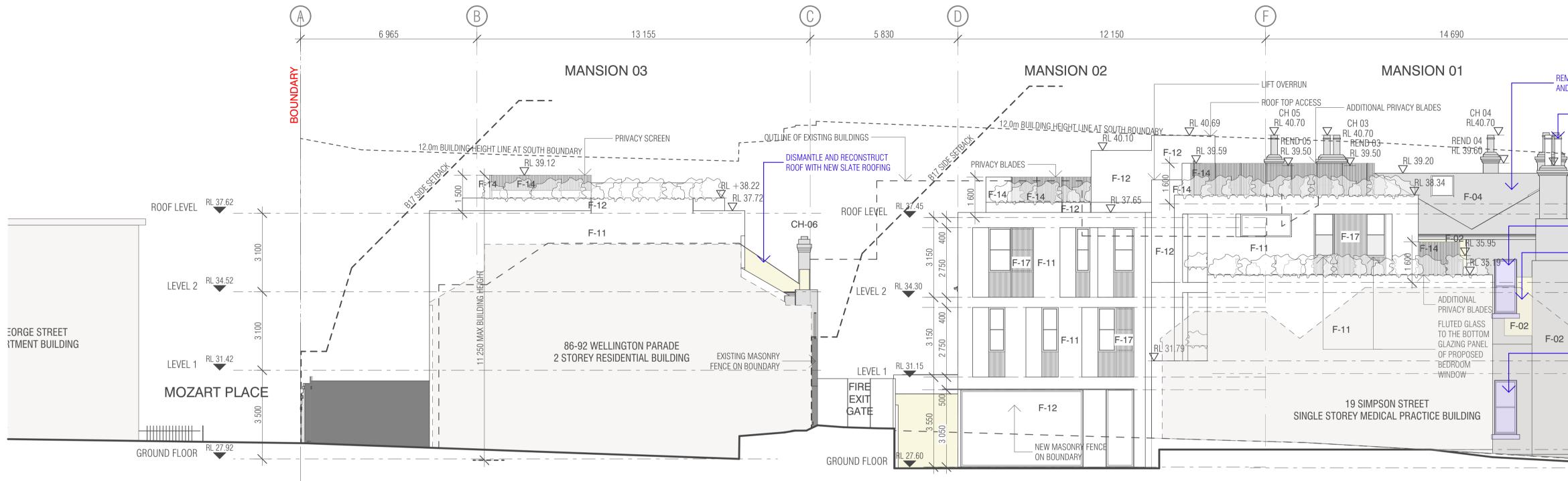
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DRAWING NO. REV. **TP201** 





LEGEND

EXISTING WALL TO BE RETAINED

- RECONSTRUCTED WALL
- NEW WALL
- EXISTING FABRIC
- NEW WORK IN EXISTING FABRIC RECONSTRUCTED WORK

FINISHES EXISTING

F-01 BLUESTONE F-02 PAINT FINISHED ASHLAR RENDER F-03 FACE BRICK (EXISTING) F-04 SLATE ROOFING F-05 PAINT FINISH

FINISHES PROPOSED

- F-14 FINISHED CONCRETE
- F-15 POWDERCOAT ALUMINIUM F-16 WASHED TIMBER SCREEN
- F-17 TIMBER SCREEN
- F-18 STONE PAVING F-19 PEBBLE

F-10 STONE

F-11 FACE BRICK F-12 PAINTED RENDER

- F-14 BRONZE ALUMINIUM

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B ISSUED FOR TOWN PLANNING

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## **CONSERVATION NOTES:**

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REVISION

NZ 07.03.2023 NZ 31.05.2023 MENA PLACE

							KEY PLAN
CONSERVATION NOTES:		REPLACE DAM	AGED CHIMNEY F	ASHINGS AND M	ETAL CAPPINGS		MB
WASH DOWN ALL FACADES AND PARAPETS.			PING OF CHIMNEY				
PROVIDE PROTECTION TO RETAINED FABRIC.			BOUNDARY FENC				
REMOVE REDUNDANT PIPES, SERVICES AND THE LIKE. REPAIR AND N SUBSTRATE TO MATCH ADJACENT.	AKE GOOD	REPOINT FULL	EXTENT OF BLUE	STONE PLINTH.			HE MO3
IN NEW OPENINGS, CAREFULLY DISMANTLE MASONRY WALL AND JO		NEW PEDESTR	IAN GATE TO EAS	T BOUNDARY TO	MATCH EXISTING	<b>a</b> .	POS
STORE IF TO BE REUSED.		REPAIR DAMA	GED BLUESTONE I	BLOCKS TO BOUN	DARY PLINTH.		
PREPARE AND PAINT ALL PREVIOUSLY PAINTED SURFACES INCLUDIN WORKS, METAL WORK AND RENDER WORK.	IG TIMBER	CLEAN TESSEL	LATED TILES AND	REPAIR/REPLAC	E DAMAGED TIL	ES AND GROUT.	
INSTALL NEW WELSH SLATE TO ALL RETAINED/RECONSTRUCTED RO ASSOCIATED GALVANISED STEEL RIDGE CAPPING, VALLEY GUTTERS		NEW TESSELLA PEDESTRIAN E	ated tile paving NTRY.	TO MATCH EXIST	TING TO PROPOS	ED	SITE BOUNDARY 17.12m
CAPPING. INSTALL LEAD FLASHINGS WHERE REQUIRED.			ESTORATION OF T OF NEW TIMBER				DRIVEWAY GARAGE
REMOVE EXISTING TERRACOTTA TILES AND INSTALL NEW WELSH SL		REPLACE DAM	AGED GLAZING PU	JTTY AND TIMBEF	R BEADS WHERE	REQUIRED.	
REPLACE DAMAGED RAINWATER GOODS INCLUDING BOX GUTTERS, C FLASHINGS, EAVES GUTTERS, DOWNPIPES AND RAINWATER HEADS A FUTURE HYDRAULIC ENGINEERS SPECIFICATION.		TIMBER SPLIC	E REPAIRS TO EXI	STING DOORS AN	D WINDOWS AS	REQUIRED.	
REMOVE DIRT AND VEGETATION FROM RETAINED RAINWATER GOODS FALLS AND ENSURE DRAINAGE TO STORMWATER SYSTEM.	S, REVISE	REPLACE EXIS	TING GLASS PANE	S WITH DOUBLE	glazed panes.		
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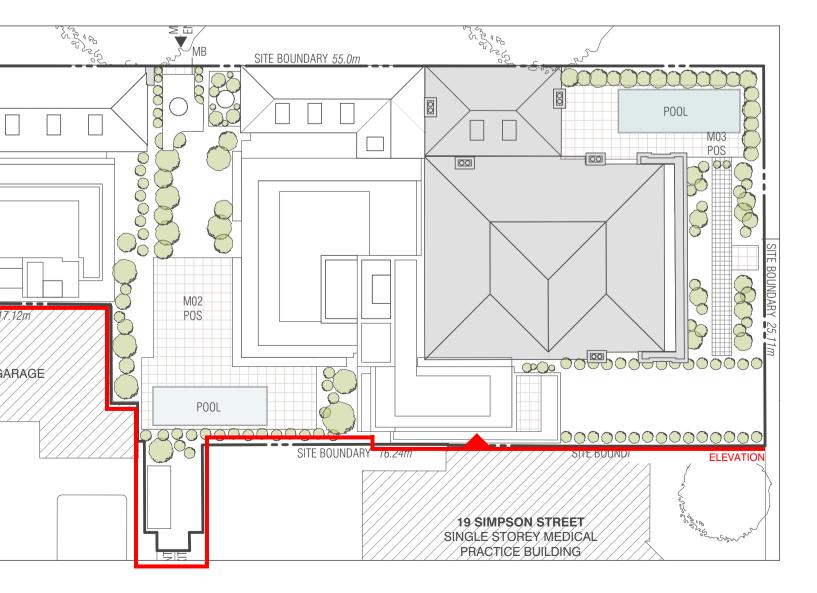
02.06.2023 21255

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31.05.2023 RM

BW

7 760 REMOVE EXISTING CORRUGATED IRON \_\_ REINSTATE CHIMNEY POTS TO MATCH EXISTING REPAIR DAMAGE TO BALUSTRADE, BALUSTERS AND PARAPET WHERE REQUIRED INCLUDING REBUILD OR CH 01 <u>r</u> RL-39.50. \_ \_ \_ \_ REPLACE TO MATCH EXISTING ROOF LEVEL RL 37.99 \_\_\_\_\_ NEW WINDOW TO MATCH OPPOSITE ON GEORGE STREET REMOVE EXISTING DOOR AND MAKE GOOD LEVEL 02 CRACK REPAIR TO FLAT AND MOULDED SURFACES. MATCH EXISTING FINISH WITH ASHLAR LINES NEW WINDOW TO MATCH 31.79 OPPOSITE ON GEORGE STREET LEVEL 01 ESTABLISH WINDOW IN RL 29.28 EXISTING NICHE GROUND FLOOR - - - - - -RL 27.57 SIMPSON STREET FOLLOWING EXCAVATION, REPAIR AND - REPLACE DAMAGE BLUESTONE AND **REPOINT AS REQUIRED** 



SOUTH ELEVATION

**ISSUE PURPOSE** TOWN PLANNING

WWW.FKAUSTRALIA.COM

VICTORIA 3006 AUSTRALIA

TELEPHONE: +61 3 8696 3888

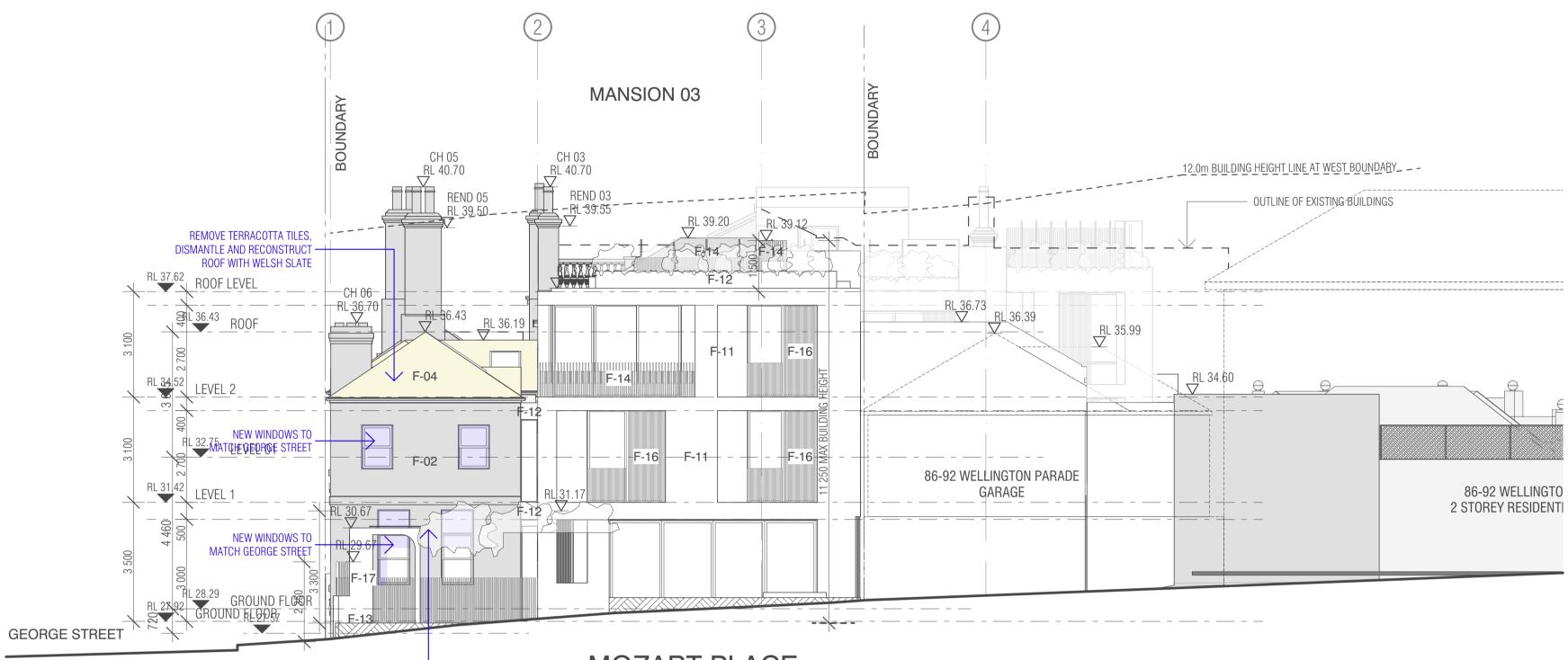
FENDER KATSALIDIS

FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

2 RIVERSIDE QUAY, SOUTHBANK

REV.

DRAWING NO. **TP202** 



CRACK REPAIR TO FLAT AND MOULDED SURFACES. MATCH EXISTING FINISH WITH ASHLAR LINES

LEGEND EXISTING WALL TO BE RETAINED RECONSTRUCTED WALL

NEW WALL

EXISTING FABRIC NEW WORK IN EXISTING FABRIC RECONSTRUCTED WORK

FINISHES EXISTING

F-01 BLUESTONE F-02 PAINT FINISHED ASHLAR RENDER F-03 FACE BRICK (EXISTING) F-04 SLATE ROOFING F-05 PAINT FINISH

FINISHES PROPOSED F-10 STONE

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4W/m2 TYPICAL LIGHTING DENSITY

LIGHTING SENSORS FOR EXTERNAL LIGHTING

NATIVE AND DROUGHT RESISTANT PLANTS TO BE USED - REFER TO LANDSCAPE PLANS

## **CONSERVATION NOTES:**

PREPARE AND PAINT ALL PREVIOU WORKS, METAL WORK AND RENDER WORK.

INSTALL NEW WELSH SLATE TO ALL RETAINED/RECONSTRUCTED ROOFS WITH ASSOCIATED GALVANISED STEEL RIDGE CAPPING, VALLEY GUTTERS AND HIP CAPPING. INSTALL LEAD FLASHINGS WHERE REQUIRED.

REMOVE EXISTING TERRACOTTA TILES AND INSTALL NEW WELSH SLATE.

REPLACE DAMAGED RAINWATER GOODS INCLUDING BOX GUTTERS, COVER FLASHINGS, EAVES GUTTERS, DOWNPIPES AND RAINWATER HEADS ALL TO FUTURE HYDRAULIC ENGINEERS SPECIFICATION.

# FALLS AND ENSURE DRAINAGE TO STORMWATER SYSTEM.

**QUALITY ASSURANCE** (FK IS A CERTIFIED COMPANY TO ISO 9001-2015)

THIS PROJECT IS SUBJECT TO THE FK QUALITY ASSURANCE SYSTEM

SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.

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REVISION

BW 06.10.2022 NZ 07.03.2023

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MOZART PLACE

CONSERVATION NOTES:	REPLACE DAMAGED CHIMNEY FLASHINGS AND METAL CAPPINGS.	
WASH DOWN ALL FACADES AND PARAPETS.	RE-PARGE COPING OF CHIMNEY INCLUDING FLAT/MOULDED RENDER WORK	
PROVIDE PROTECTION TO RETAINED FABRIC.	DISMANTLE AND REBUILD DISLODGED BLUESTONE/CAST IRON PIER TO SOUTH- EAST CORNER BOUNDARY FENCE.	
REMOVE REDUNDANT PIPES, SERVICES AND THE LIKE. REPAIR AND MAKE GOOD	REPOINT FULL EXTENT OF BLUESTONE PLINTH.	15 71m
SUBSTRATE TO MATCH ADJACENT.	NEW PEDESTRIAN GATE TO EAST BOUNDARY TO MATCH EXISTING.	UNDARY
IN NEW OPENINGS, CAREFULLY DISMANTLE MASONRY WALL AND JOINERY AND STORE IF TO BE REUSED.	REPAIR DAMAGED BLUESTONE BLOCKS TO BOUNDARY PLINTH.	SITE BO
PREPARE AND PAINT ALL PREVIOUSLY PAINTED SURFACES INCLUDING TIMBER	CLEAN TESSELLATED TILES AND REPAIR/REPLACE DAMAGED TILES AND GROUT.	

REMOVE DIRT AND VEGETATION FROM RETAINED RAINWATER GOODS, REVISE

DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.

TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED. CONSTRUCTION DOCUMENTATION REVIEW FOR THIS DRAWING IS YET TO BE COMPLETED.

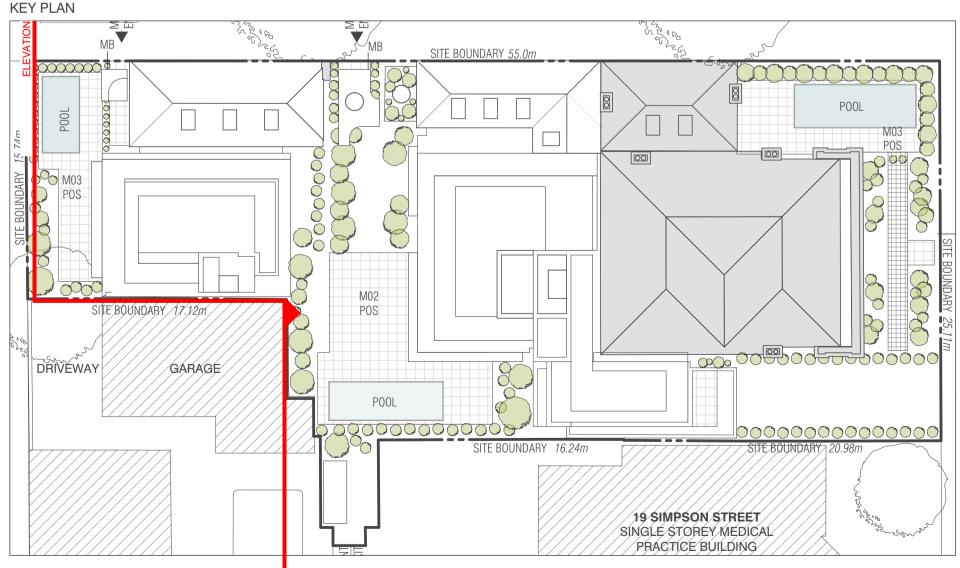
NEW TESSELLATED TILE PAVING TO MATCH EXISTING TO PROPOSED PEDESTRIAN ENTRY.

REPAIR AND RESTORATION OF TIMBER WINDOW FRAMES AND THE INSTALLATION OF NEW TIMBER WINDOW SASHES WITH NEW DOUBLE GLAZING.

REPLACE DAMAGED GLAZING PUTTY AND TIMBER BEADS WHERE REQUIRED.

TIMBER SPLICE REPAIRS TO EXISTING DOORS AND WINDOWS AS REQUIRED.

REPLACE EXISTING GLASS PANES WITH DOUBLE GLAZED PANES.



PROJECT SIMPSON HOUSE 29 SIMPSON STREET East Melbourne Victoria 3002

DRAWN DATE CHECKED 07.03.2023

DIMENSIONS ONLY. SEEK CLARIFICATION OF INCONSISTENCES / CONFLICTS.

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CHECK AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. DRAWING TO BE READ

IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS. DO NOT SCALE DRAWINGS. USE FIGURED

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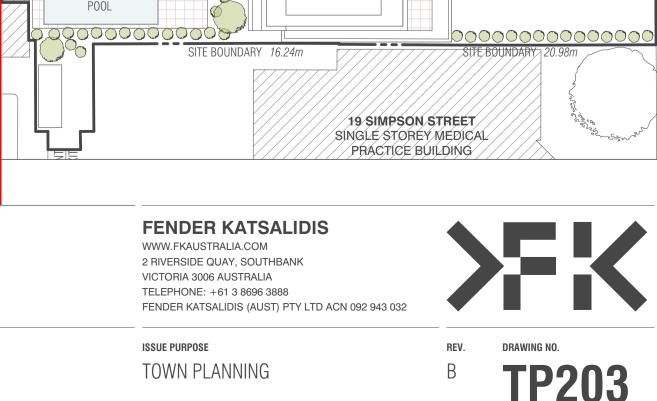
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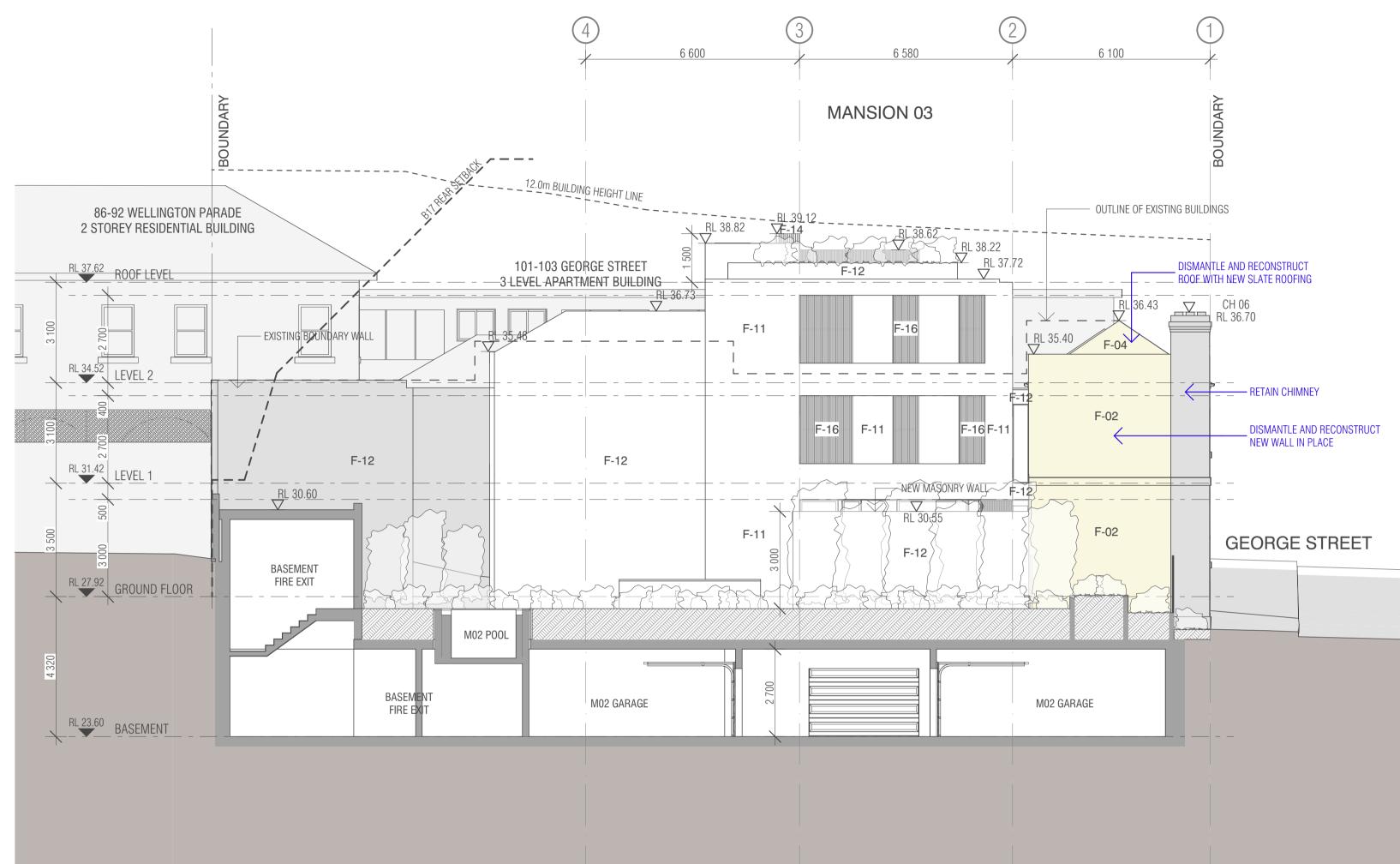
PLOT DATE

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EXISTING WALL TO BE RETAINED 



LEGEND



NEW WALL

- EXISTING FABRIC
- NEW WORK IN EXISTING FABRIC

FINISHES EXISTING F-01 BLUESTONE

F-02 PAINT FINISHED ASHLAR RENDER F-03 FACE BRICK (EXISTING) F-04 SLATE ROOFING F-05 PAINT FINISH

FINISHES PROPOSED F-10 STONE

- F-11 FACE BRICK F-12 PAINTED RENDER
- F-14 FINISHED CONCRETE F-14 BRONZE ALUMINIUM
- F-15 POWDERCOAT ALUMINIUM F-16 WASHED TIMBER SCREEN
- F-17 TIMBER SCREEN
- F-18 STONE PAVING F-19 PEBBLE

## REVISION

> B ISSUED FOR TOWN PLANNING

## ESD NOTES:

DOUBLE GLAZING TO BE USED FOR ALL GLAZED DOORS AND WINDOWS TO HABITAL ROOMS.

SHOWER HEAD & WC - 4 STAR WELS RATING

DISHWASHER, KITCHEN & BATHROOM TAP - 5 STAR WELS RATING

4W/m2 TYPICAL LIGHTING DENSITY

LIGHTING SENSORS FOR EXTERNAL LIGHTING

REVISION

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NZ 07.03.2023

NATIVE AND DROUGHT RESISTANT PLANTS TO BE USED - REFER TO LANDSCAPE PLANS

## **CONSERVATION NOTES:**

WASH DOWN ALL FACADES AND PROVIDE PROTECTION TO RETAI

REMOVE REDUNDANT PIPES, SE SUBSTRATE TO MATCH ADJACE

IN NEW OPENINGS, CAREFULLY STORE IF TO BE REUSED.

PREPARE AND PAINT ALL PREVI WORKS, METAL WORK AND REN

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REMOVE EXISTING TERRACOTTA

REPLACE DAMAGED RAINWATE FLASHINGS, EAVES GUTTERS, D FUTURE HYDRAULIC ENGINEERS

## REMOVE DIRT AND VEGETATION FALLS AND ENSURE DRAINAGE

QUALITY ASSURANCE (FK IS A CERT

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A ISSUE FOR TOWN PLANNING

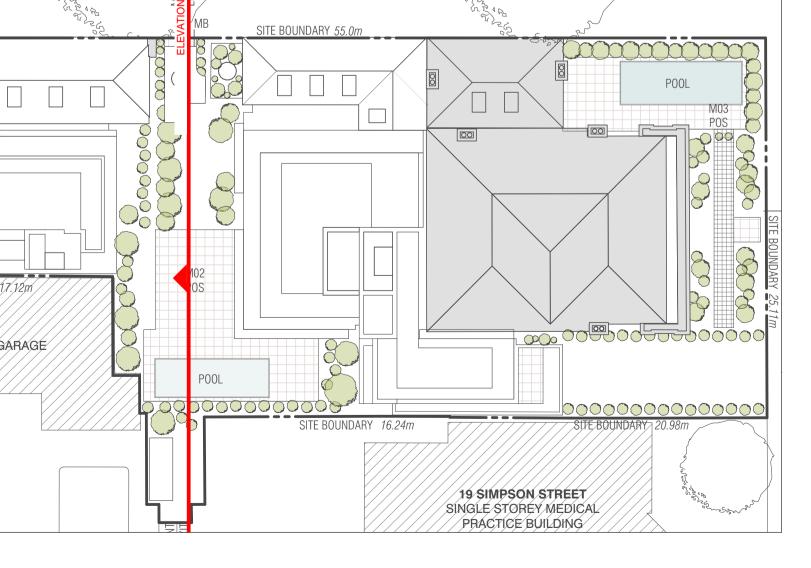
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		REPLACE DAMAGE	D CHIMNEY F	Lashings and met	AL CAPPING		
D PARAPETS.				/ INCLUDING FLAT/N		IDER WORK	
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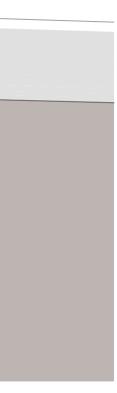
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