

**DESIGN RESPONSE | BUILDING MATERIALS AND SHADING**

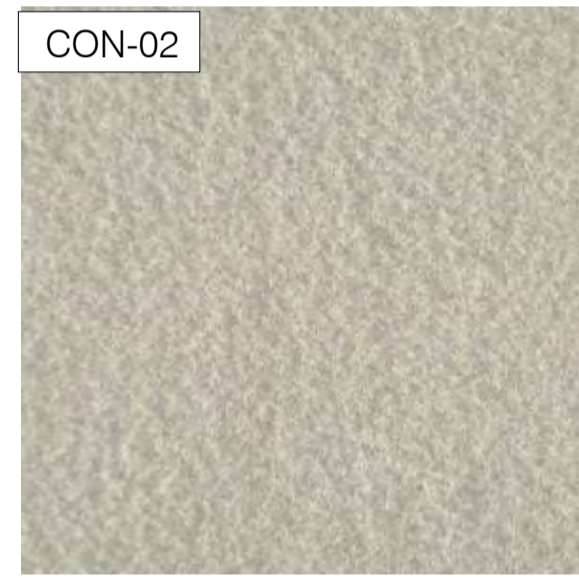
**366-370 Albert Street | Materiality**



Reference images far left to right - 3144 Architects, 'Corner House', London; 3144 Architects, 'Red Church Townhouse', London; Niall McLaughlin, 'Jesus College', London.



Highly Textured Brick Podium.



Medium Texture Precast, off-white coloured concrete.



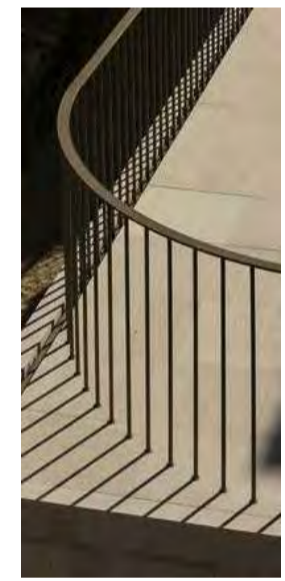
Smooth Texture Precast, off-white coloured concrete



Facade Screen



Albert Street Portico Screen



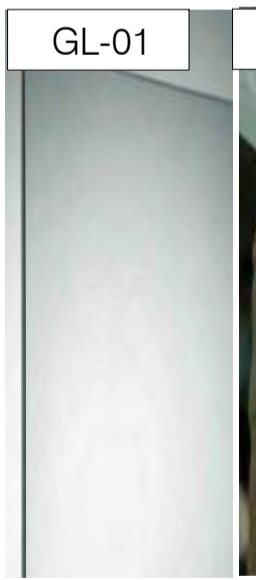
Balustrade Detail



Metal Finish - Feature Metalwork



Example of fixed overlooking screening.



GL-01: Clear Glass



GL-02: Fritted Glass



GL-03: Translucent Spotswood Glass



Stone Caldding and Paving



REV	DATE	ISSUED BY	DESCRIPTION
R4	-	-	Not Issued
R5	07 09 20	MW	Amended Scheme
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R8	30 09 21	DJM	Secondary Consent Amendment
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R10	17 12 2021	DJM	Section 72 Plans
R11	24 03 2022	DJM	Section 72 Plans
R12	30 08 2022	DJM	Revised Demolition Extent

**ORCHARD PIPER**

**Jolson**  
ARCHITECTURE AND INTERIORS  
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**SECTION 72 PLANS**  
**30|08|22**

**PROJECT**  
18002 370 ALBERT STREET

**TITLE**  
EXTERNAL MATERIALS AND FINISHES

**DRAWN**  
AR

**SCALE**  
1 : 100 @ A1

**CHECKED**  
Checker

**DATE**  
30|08|2022

**DRAWING NO.**  
TP050

**REVISION**  
R12

GL-01  
MT-01  
CON-03

GL-01  
SCR-01

CON-02

CON-04

MT-03

BR-02

MT-03

ST-04



1 PERSPECTIVE - WESTERN FACADE PROVIDENCE LANE - MATERIALITY  
SCALE

**DESIGN RESPONSE | BUILDING MATERIALS**

**364-370 Albert Street | Interface | Preferred Colour Scheme**



**T-BR-01**  
Restored brickwork to 364 Albert Street (Eastern Elevation)

**T-ST-01**  
Restored bluestone to 364 Albert Street (Eastern Elevation)



**T-RN-01**  
Restored render finish to 364 Albert Street (Southern Elevation)

**T-SR-01**  
364 Albert Street roof to be re-clad in Welsh slate



**MR-02**  
New corrugated galvanised sheet metal to replace existing verandah

**T-PF-01**  
Paint finish to 364 Albert fretwork and faux metal work



**T-PF-02**  
Paint finish to 364 Albert window sashes and doors

**BR-01**  
Restored brickwork and black pointing finish to 366 Albert Street (Southern Elevation)



**PF-01**  
Paint finish to 366 Albert Street (Southern Elevation)

**PF-02**  
Paint finish to 364 Albert Street window sashes

**ST-01**  
Perspective of Albert Street Portico Screen. The design references both the datum lines of 366 Albert Street and the tripart composition of 364 Albert Street. MT-05 metal screen provides varying degrees of transparency in the rhythm of banding, providing views to the park while obscuring direct internal view.



3 PERSPECTIVE - ALBERT STREET FACADE SCREEN  
SCALE



1 PERSPECTIVE - SOUTHERN FACADE ALBERT STREET - MATERIALITY  
SCALE

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30|08|22

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18002 370 ALBERT STREET

**TITLE**  
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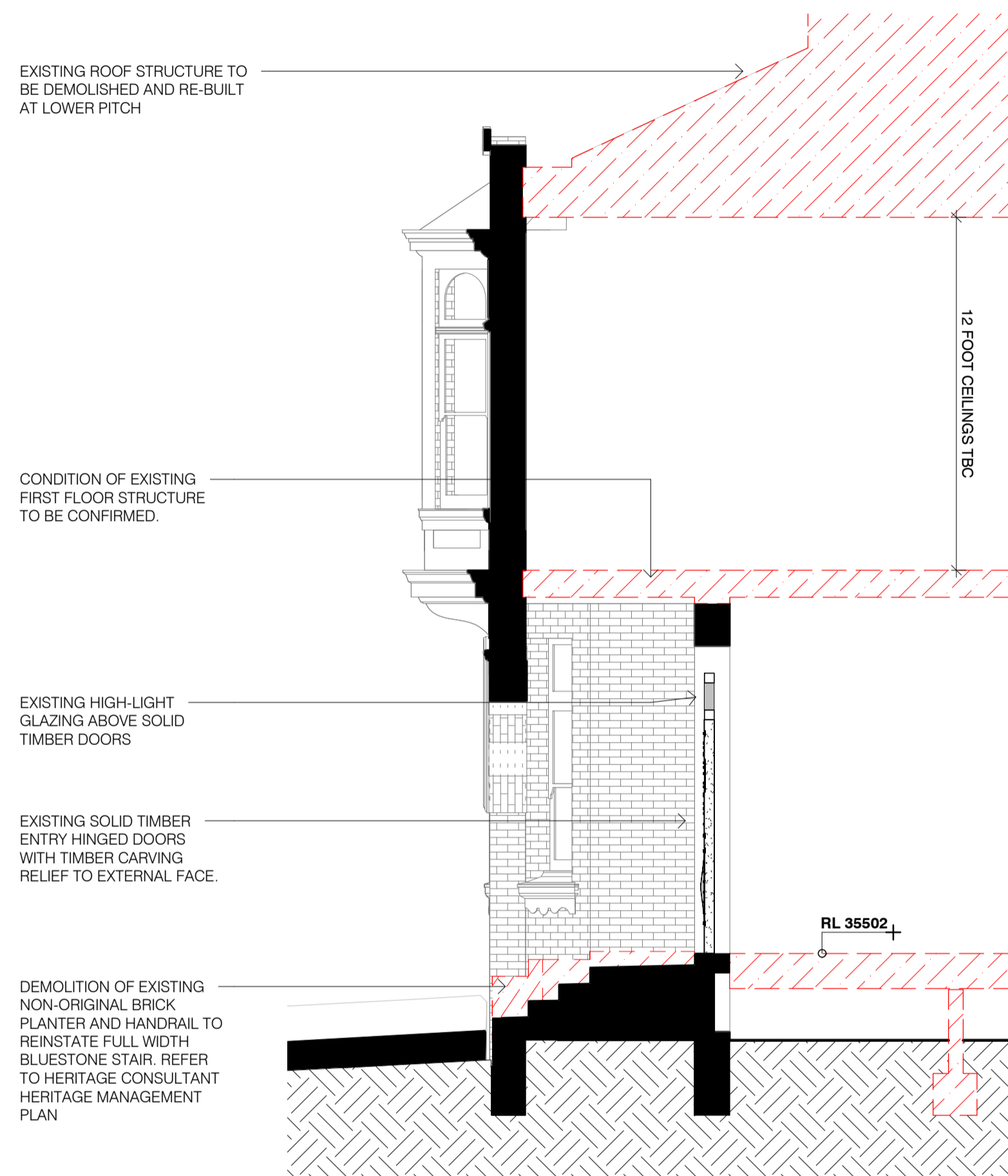
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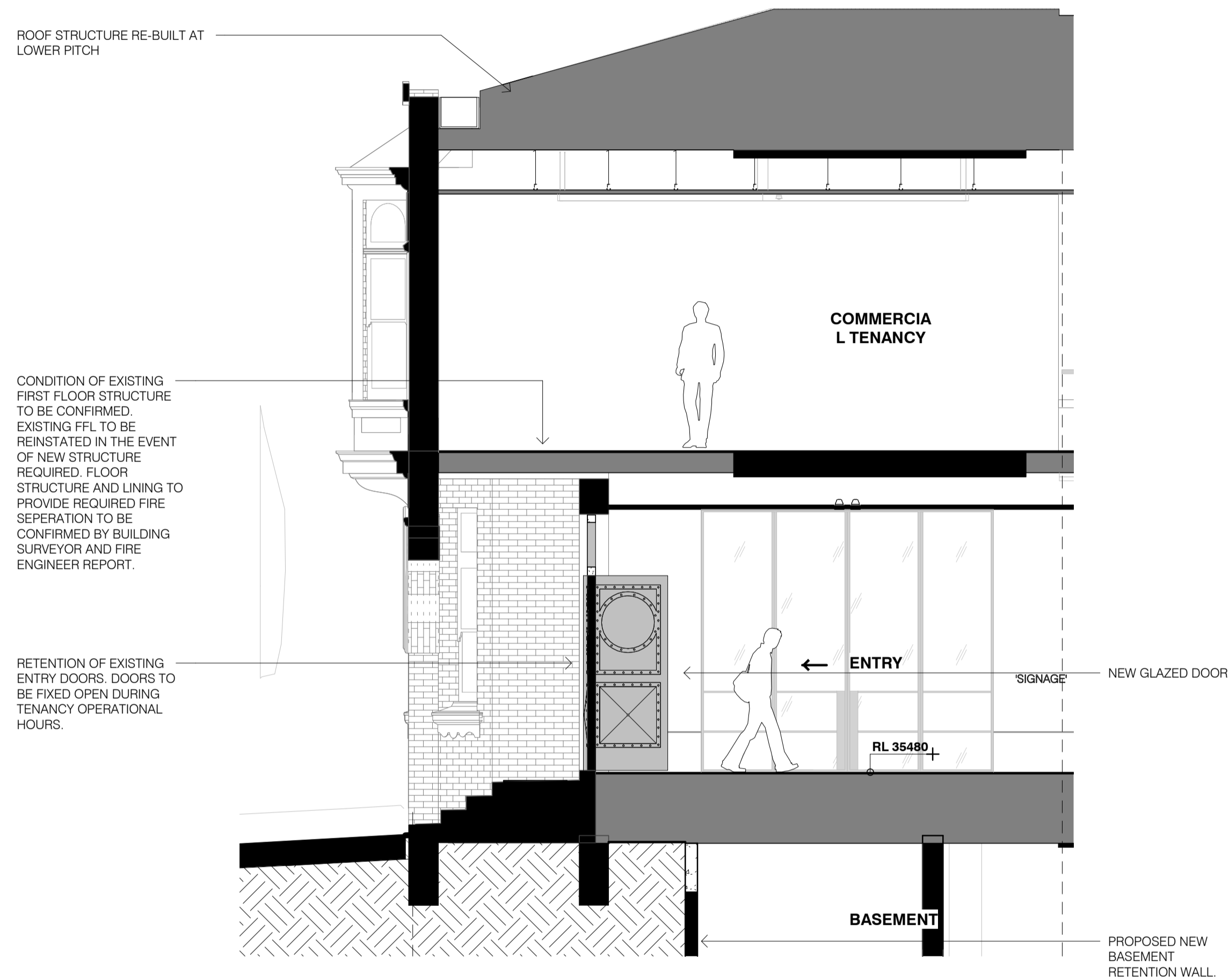
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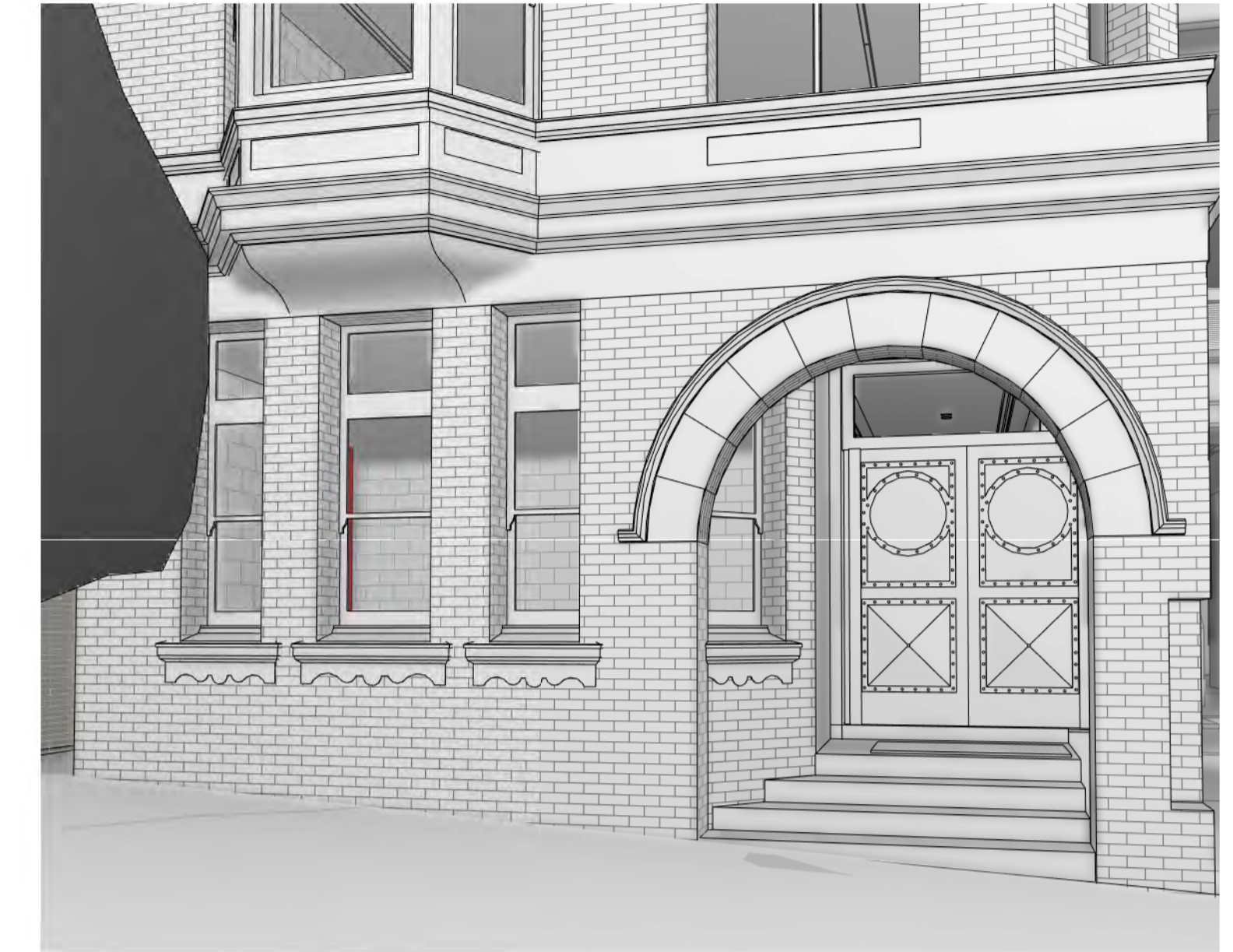
**REVISION**  
R12



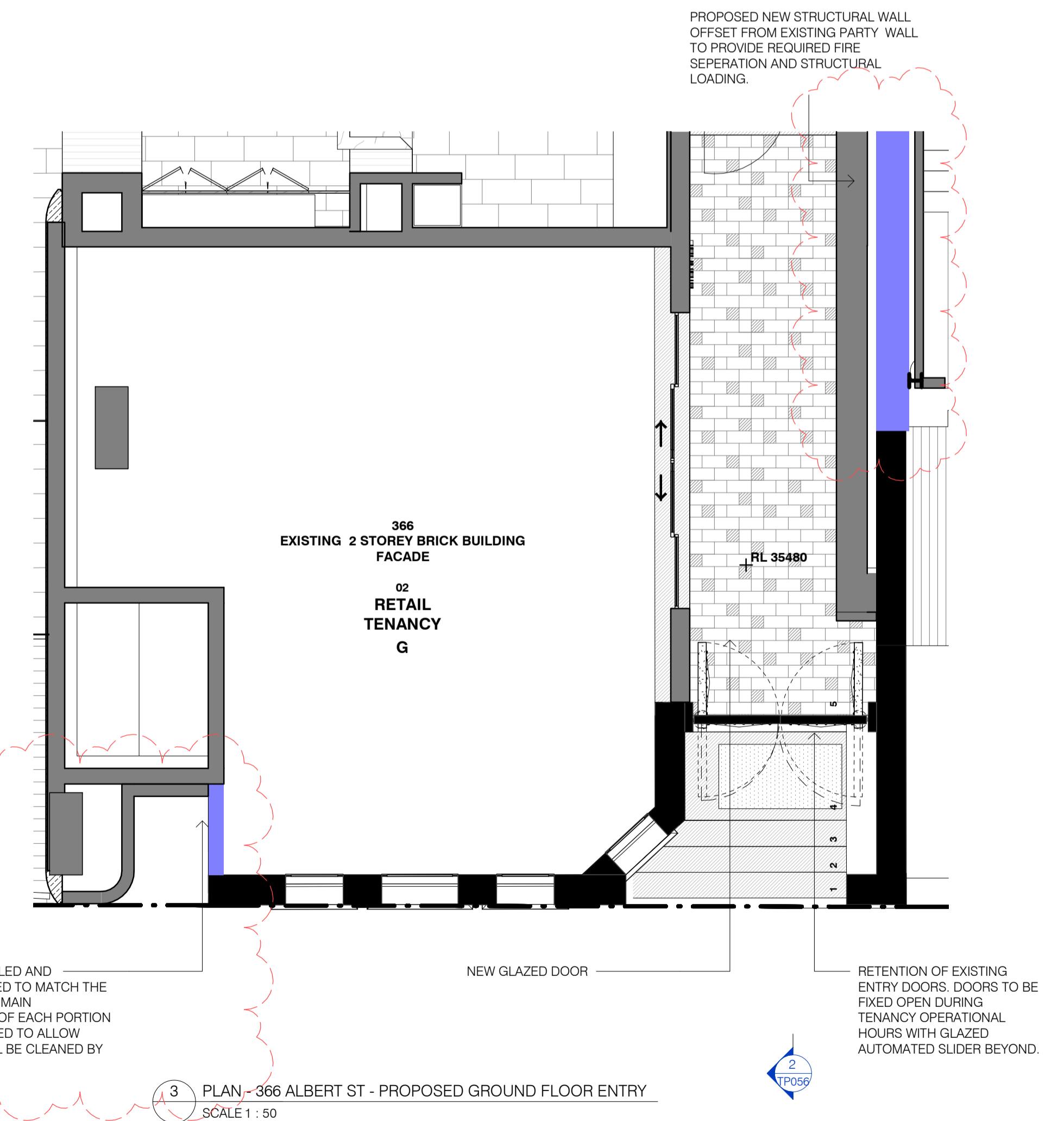
1 SECTION - 366 ALBERT ST - EXISTING ENTRY  
SCALE 1 : 50



2 SECTION - 366 ALBERT ST - PROPOSED ENTRY  
SCALE 1 : 50



4 PERSPECTIVE - 366 ALBERT STREET PROPOSED ENTRY  
SCALE



3 PLAN - 366 ALBERT ST - PROPOSED GROUND FLOOR ENTRY  
SCALE 1 : 50

PURPLE HATCH INDICATES BUILDING ELEMENTS THAT WILL BE DISMANTLED AND RECONSTRUCTED. WILL BE DEMOLISHED BY HAND AND RECONSTRUCTED TO MATCH THE EXTERIOR FACE AND TO MEET THE CURRENT NCC REQUIREMENTS. THE MAIN CONTRACTOR WILL UNDERTAKE A FULL PHOTOGRAPHIC BUILT SURVEY OF EACH PORTION OF WALL TO ENABLE ALL ELEMENTS TO BE CATALOGUED AND NUMBERED TO ALLOW FAITHFUL RECONSTRUCTION. ONCE CATALOGUED, THE MATERIALS WILL BE CLEANED BY HAND AND STORED OFF-SITE FOR FUTURE REINSTATEMENT.



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SECTION 72 PLANS  
30|08|22

PROJECT  
18002 370 ALBERT STREET

TITLE  
364 & 366 ALBERT ST - EXISTING AND PROPOSED ENTRY

DRAWN  
AR

CHECKED  
Checker

DRAWING NO.  
TP056

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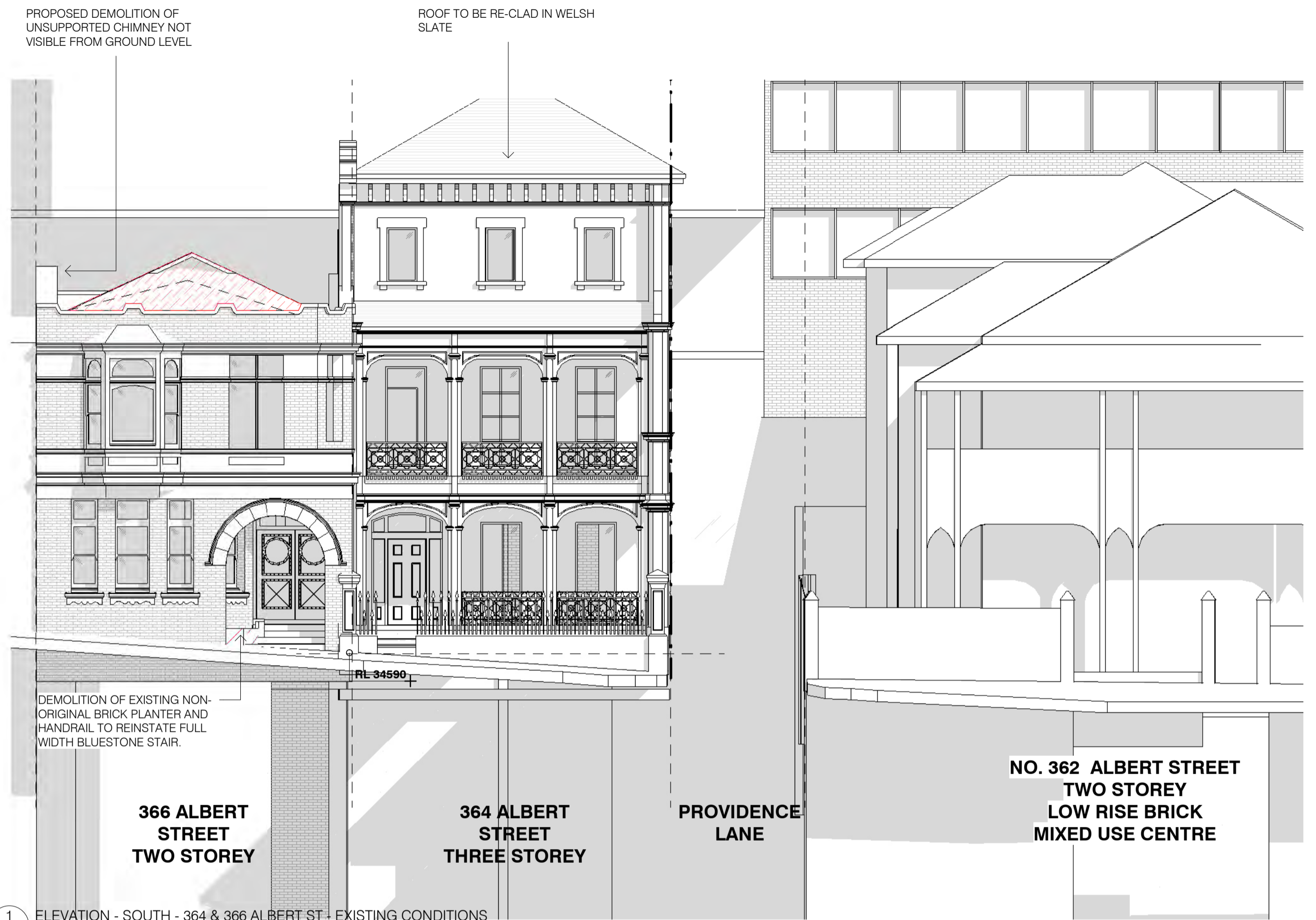
DATE  
30|08|2022

REVISION  
R12



**EXISTING SOUTHERN FACADE OF 364 & 366 ALBERT STREET.**

- NON- ORIGINAL COLOUR SCHEME TO BOTH PROPERTIES
- PAINTWORK OVER ORIGINAL BRICK FACE TO 366 ALBERT STREET
- NON-ORIGINAL BRICK PLANTER AT 366 ALBERT STREET ENTRY
- POOR CONDITION OF ROOF TO 364 ALBERT STREET
- VISIBLE SERVICES PARAPHERNALIA OVER FACADE EG. MECHANICAL SERVICES TO 364 VERANDAH ROOF



1 ELEVATION - SOUTH - 364 & 366 ALBERT ST - EXISTING CONDITIONS  
SCALE 1 : 100

**DEMOLITION LEGEND**

WALLS TO BE RETAINED

EXTENT OF DEMOLITION

DISMANTLE AND RECONSTRUCT MASONRY WALLS USING SALVAGED BRICKS / BLUESTONE TO THE EXTERIOR FACE TO MEET CURRENT NCC

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**TEMPORARY DEMOLITION**

WHERE INDICATED, BUILDING ELEMENTS THAT WILL BE DISMANTLED AND RECONSTRUCTED. WILL BE DEMOLISHED BY HAND AND RECONSTRUCTED TO MATCH THE EXTERIOR FACE AND TO MEET THE CURRENT NCC REQUIREMENTS. THE MAIN CONTRACTOR WILL UNDERTAKE A FULL PHOTOGRAPHIC BUILT SURVEY OF EACH PORTION OF WALL TO ENABLE ALL ELEMENTS TO BE CATALOGUED AND NUMBERED TO ALLOW FAITHFUL RECONSTRUCTION. ONCE CATALOGUED, THE MATERIALS WILL BE CLEANED BY HAND AND STORED OFF-SITE FOR FUTURE REINSTATEMENT



**EXISTING WESTERN FACADE OF 364 ALBERT STREET.**

- VISIBLE SERVICES PARAPHERNALIA OVER FACADE INCLUDING: INCONSISTENT SEWER STACKS MECHANICAL AND ELECTRICAL CONDUITS OVER FACADE GAS BOILER FIXED TO FACADE INCONSISTENT SECURITY SCREENS AT GLAZING
- INCONSISTENT REPAIRS TO BRICKWORK/MORTAR



**ALBERT STREET**

**364 ALBERT STREET THREE STOREY BRICK BUILDING**

2 ELEVATION - EAST - 364 ALBERT ST - EXISTING CONDITIONS  
SCALE 1 : 100

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**SECTION 72 PLANS**  
30|08|22

**PROJECT**  
18002 370 ALBERT STREET

**TITLE**  
364 & 366 ALBERT ST - EXISTING & DEMOLITION ELEVATIONS

**DRAWN**  
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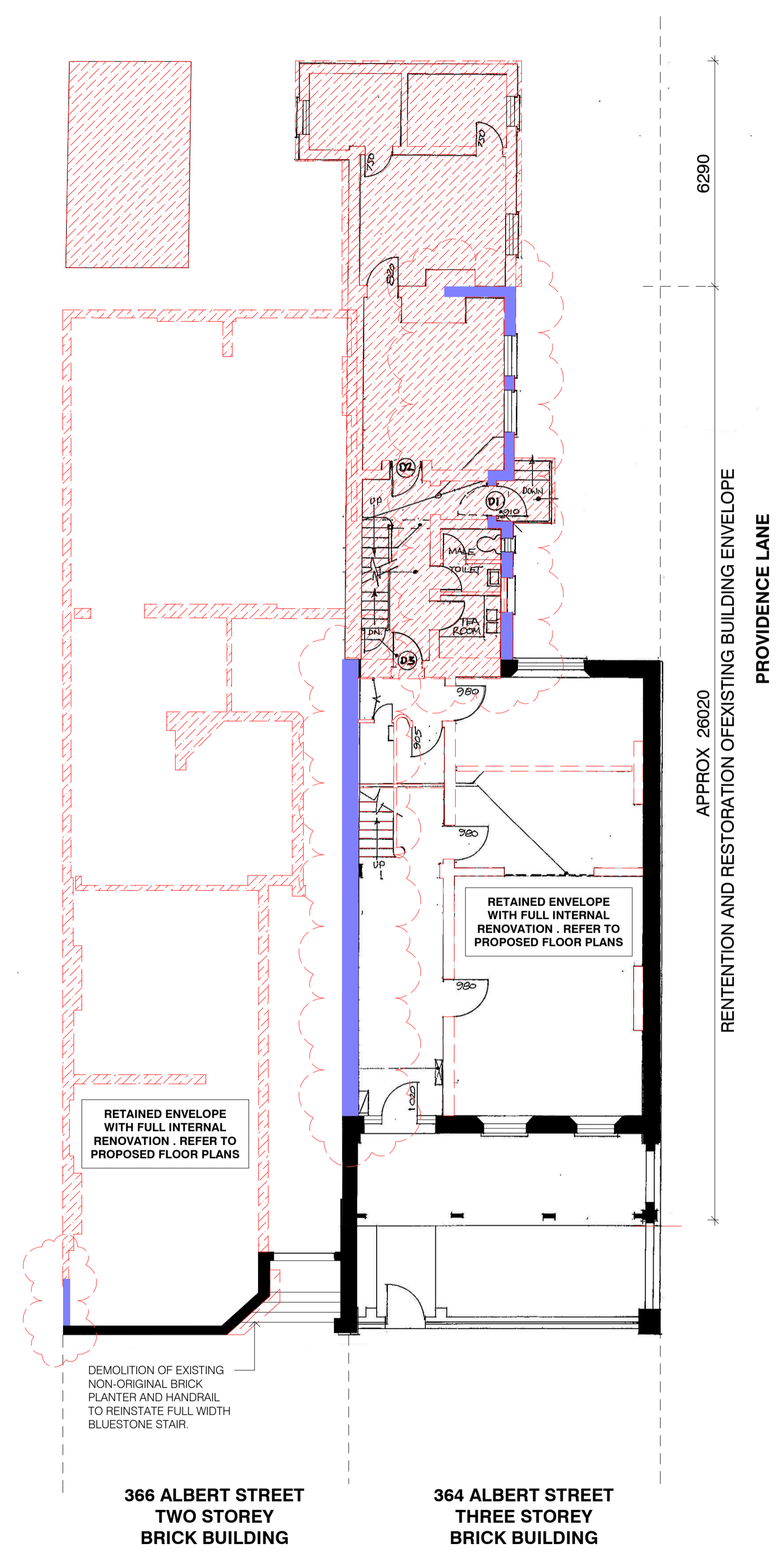
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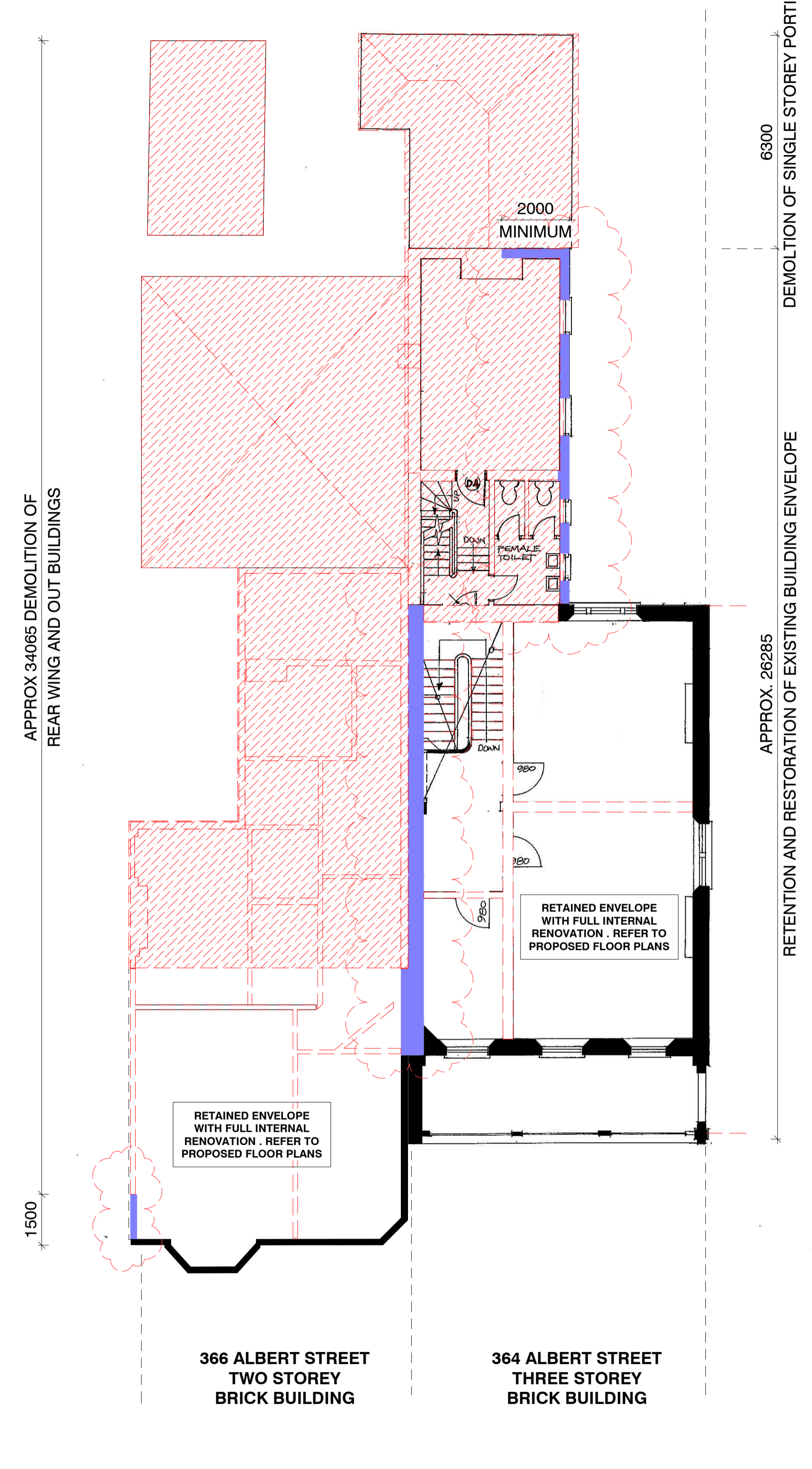
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**DATE**  
30|08|2022

**REVISION**  
R12



1 EXISTING GROUND FLOOR PLAN - 364 & 366 ALBERT STREET  
SCALE 1 : 100



2 EXISTING FIRST FLOOR PLAN - 364 & 366 ALBERT STREET  
SCALE 1 : 100

**DEMOLITION LEGEND**

WALLS TO BE RETAINED [Solid black box]

EXTENT OF DEMOLITION [Red hatched box]

DISMANTLE AND RECONSTRUCT MASONRY WALLS USING SALVAGED BRICKS / BLUESTONE TO THE EXTERIOR FACE TO MEET CURRENT NCC [Blue box]

**TEMPORARY DEMOLITION**

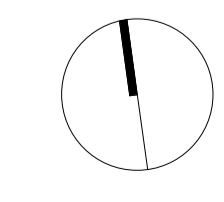
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**SECTION 72 PLANS**  
30|08|22



**PROJECT**  
18002 370 ALBERT STREET

**TITLE**  
364 & 366 ALBERT ST - EXISTING & DEMOLITION PLAN

**DRAWN**  
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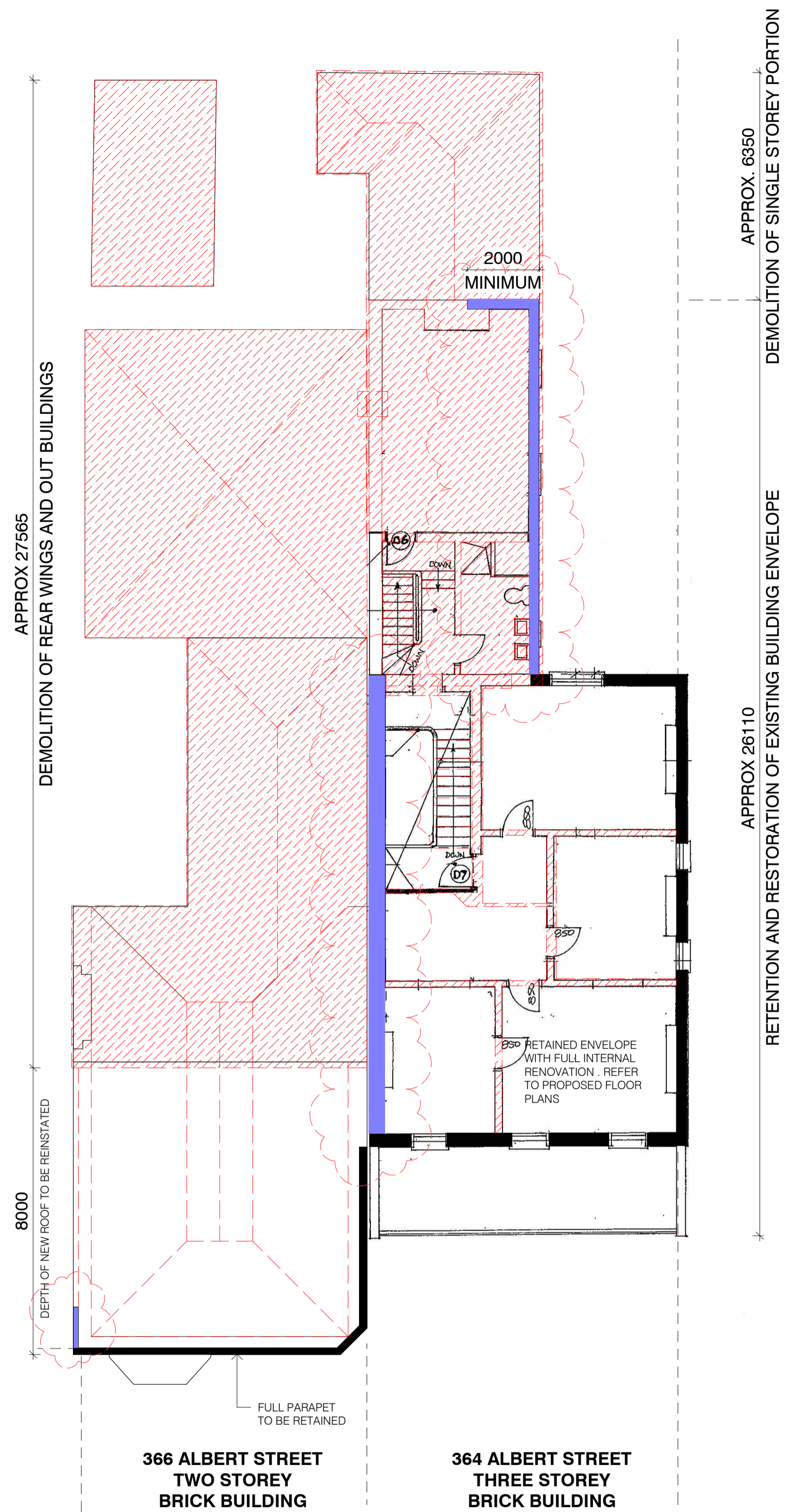
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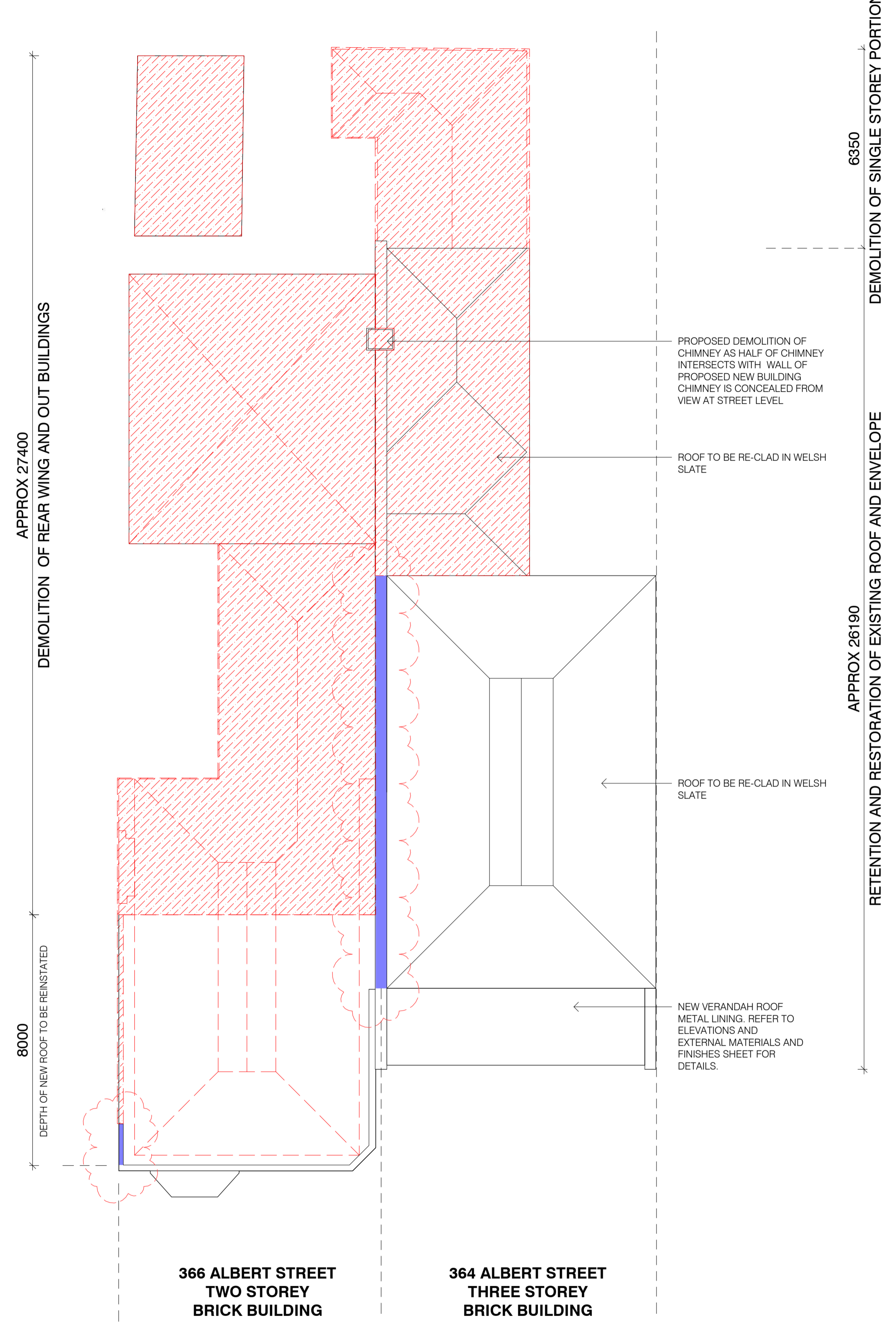
**DATE**  
30|08|2022

**DRAWING NO.**  
TP058

**REVISION**  
R12



1 EXISTING SECOND FLOOR PLAN - 364 & 366 ALBERT STREET  
SCALE 1 : 100



2 EXISTING ROOF PLAN - 364 & 366 ALBERT STREET  
SCALE 1 : 100

**DEMOLITION LEGEND**

WALLS TO BE RETAINED [Black Box]

EXTENT OF DEMOLITION [Red Hatched Box]

DISMANTLE AND RECONSTRUCT MASONRY WALLS USING SALVAGED BRICKS / BLUESTONE TO THE EXTERIOR FACE TO MEET CURRENT NCC [Blue Box]

**TEMPORARY DEMOLITION**

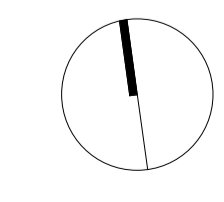
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**SECTION 72 PLANS**  
30|08|22



**PROJECT**  
18002 370 ALBERT STREET

**TITLE**  
364 & 366 ALBERT ST - EXISTING & DEMOLITION PLAN

**DRAWN**  
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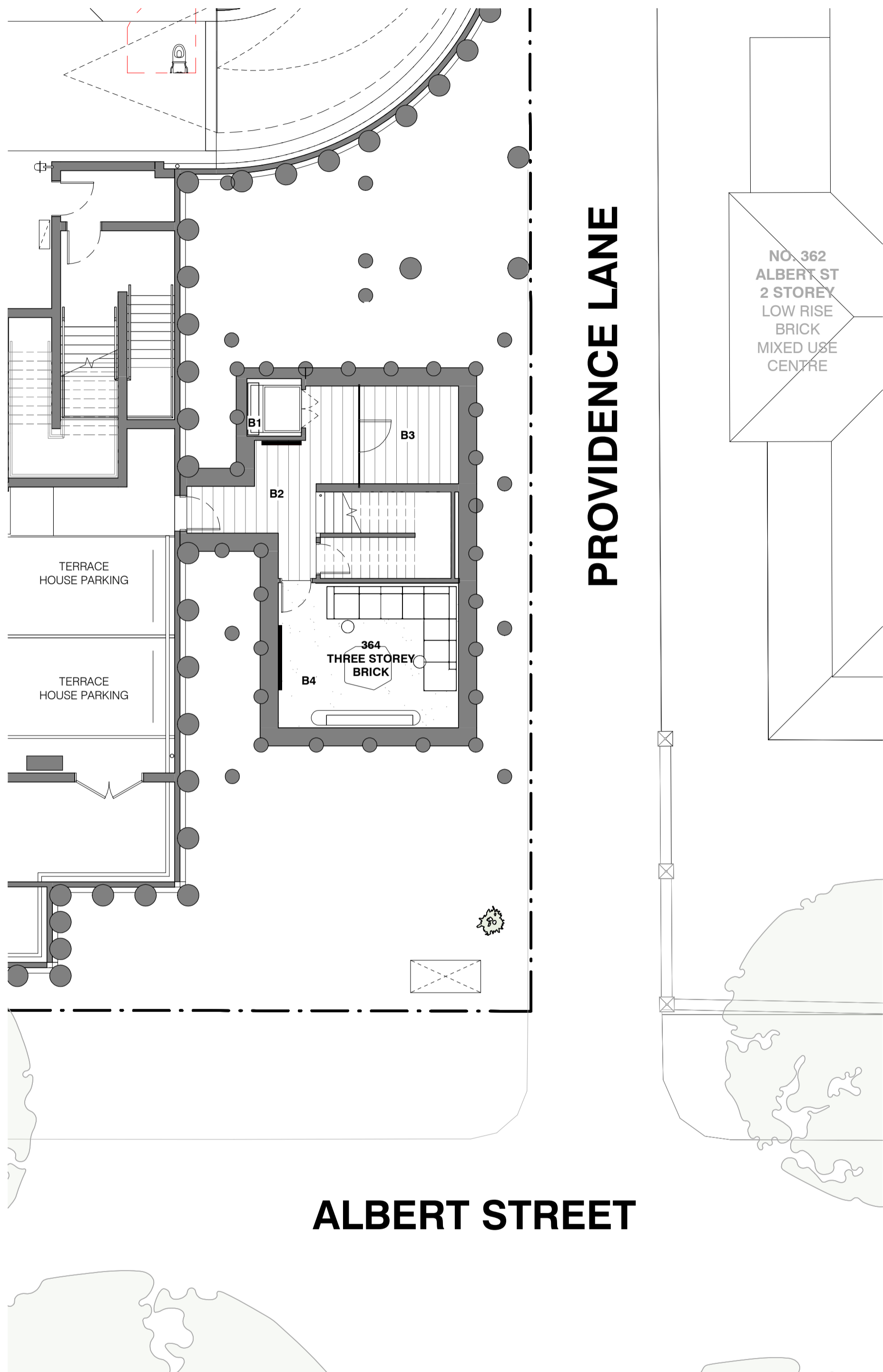
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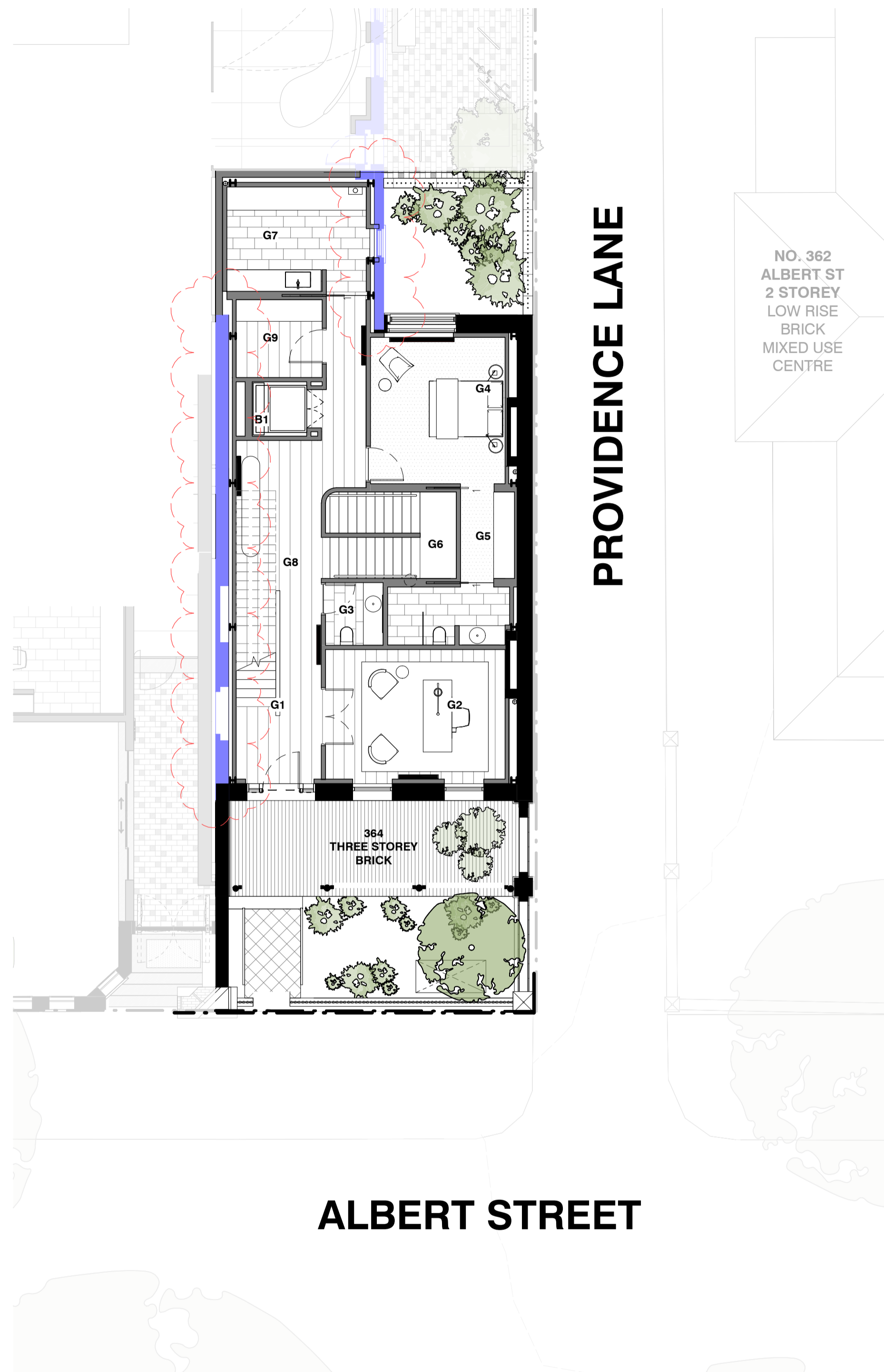
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30|08|2022

**DRAWING NO.**  
TP059

**REVISION**  
R12



1 FLOOR PLAN - BA 1 - 364 ALBERT ST - ALTERATIONS AND ADDITIONS  
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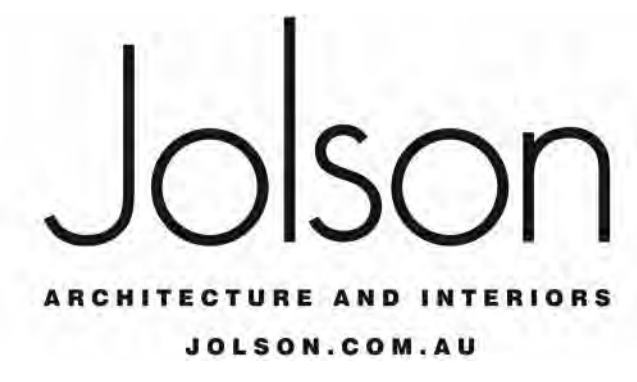


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SCALE 1 : 100

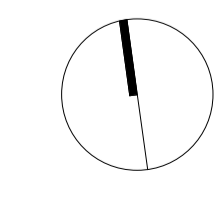
- B1. LIFT
- B2. BASEMENT LOBBY
- B3. WINE ROOM
- B4. MEDIA ROOM
  
- G1. FRONT ENTRY HALL
- G2. STUDY
- G3. POWDER ROOM
- G4. BEDROOM 3
- G5. B3 WIR
- G6. B3 ENSUITE
- G7. LAUNDRY
- G8. CENTRAL STAIR / LIGHT VOID
- G9. AV / SERVICES / STORE ROOM
  
- L1.1 KITCHEN
- L1.2 DINING
- L1.3 LIVING
- L1.4 L1 TERRACE
  
- L2.1 MASTER BEDROOM
- L2.2 L2 TERRACE
- L2.3 MASTER WIR
- L2.4 MASTER ENSUITE
- L2.5 BEDROOM 2
- L2.6 BATHROOM

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SECTION 72 PLANS  
30|08|22



**PROJECT**  
18002 370 ALBERT STREET

**TITLE**  
364 ALBERT ST - BASEMENT & GROUND FLOOR PLAN

**DRAWN**  
AR

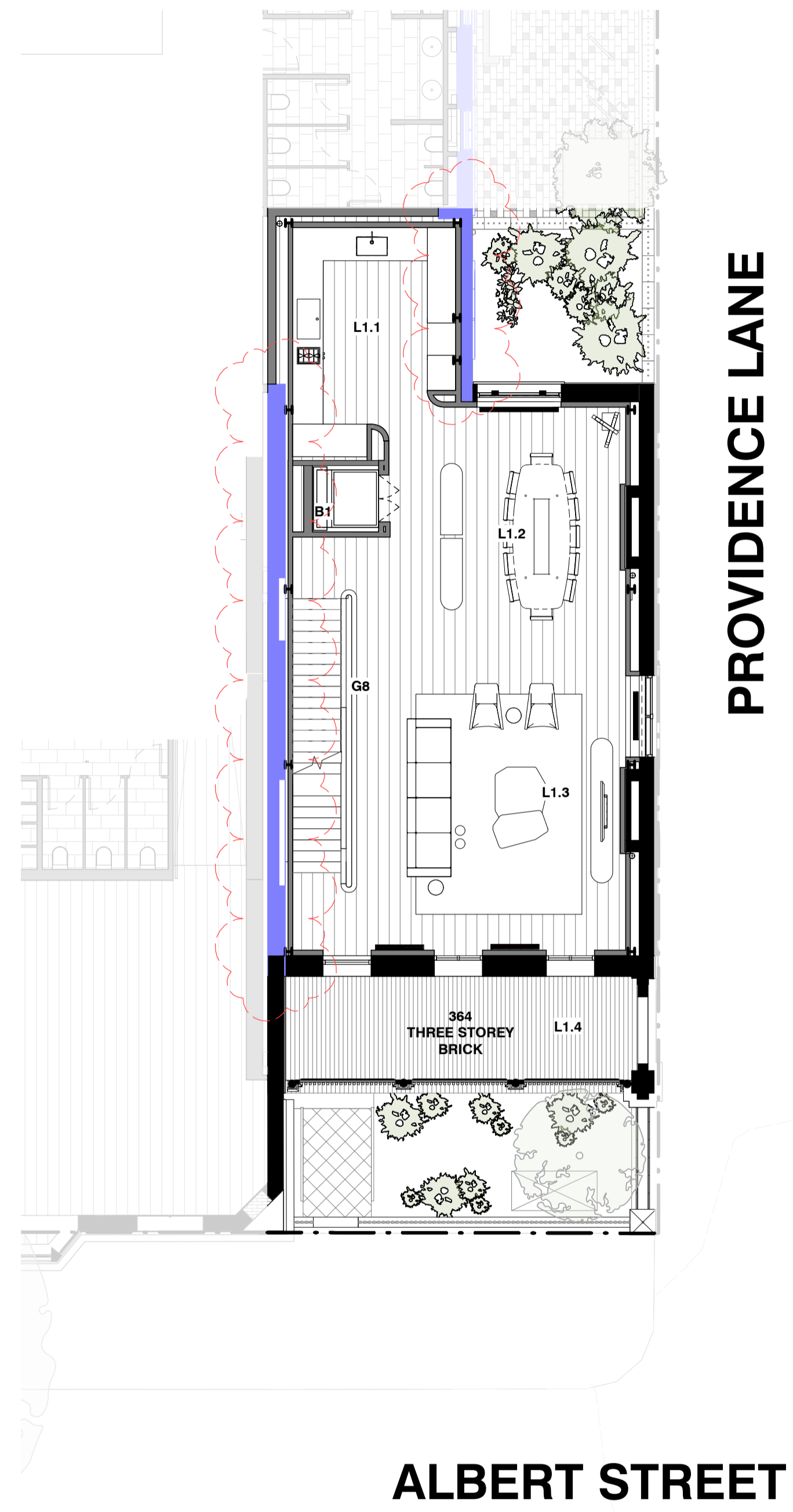
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**DATE**  
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TP060

**REVISION**  
R12

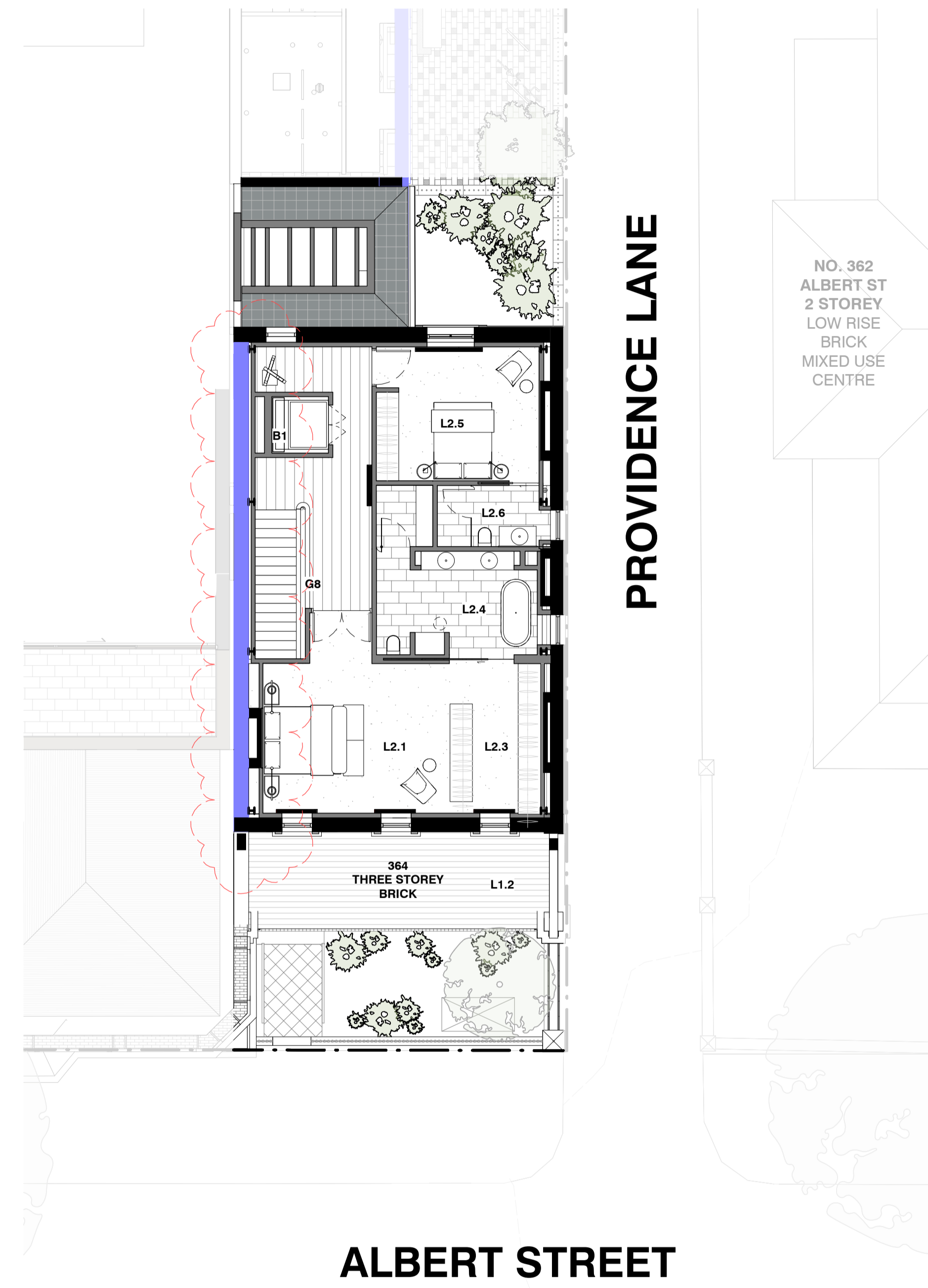


NO. 362 ALBERT ST  
2 STOREY  
LOW RISE  
BRICK  
MIXED USE  
CENTRE

PROVIDENCE LANE

ALBERT STREET

1 FLOOR PLAN - L1 - 364 ALBERT ST - ALTERATIONS AND ADDITIONS  
SCALE 1 : 100



NO. 362 ALBERT ST  
2 STOREY  
LOW RISE  
BRICK  
MIXED USE  
CENTRE

PROVIDENCE LANE

ALBERT STREET

2 FLOOR PLAN - L2 - 364 ALBERT ST - ALTERATIONS AND ADDITIONS  
SCALE 1 : 100

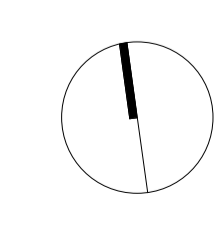
- B1. LIFT
- B2. BASEMENT LOBBY
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- B4. MEDIA ROOM
  
- G1. FRONT ENTRY HALL
- G2. STUDY
- G3. POWDER ROOM
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- G6. B3 ENSUITE
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- L1.3 LIVING
- L1.4 L1 TERRACE
  
- L2.1 MASTER BEDROOM
- L2.2 L2 TERRACE
- L2.3 MASTER WIR
- L2.4 MASTER ENSUITE
- L2.5 BEDROOM 2
- L2.6 BATHROOM

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ORCHARD PIPER



SECTION 72 PLANS  
30|08|22



PROJECT  
18002 370 ALBERT STREET

TITLE  
364 ALBERT ST - LEVEL 1 & LEVEL 2 PLAN

DRAWN  
AR

CHECKED  
MW

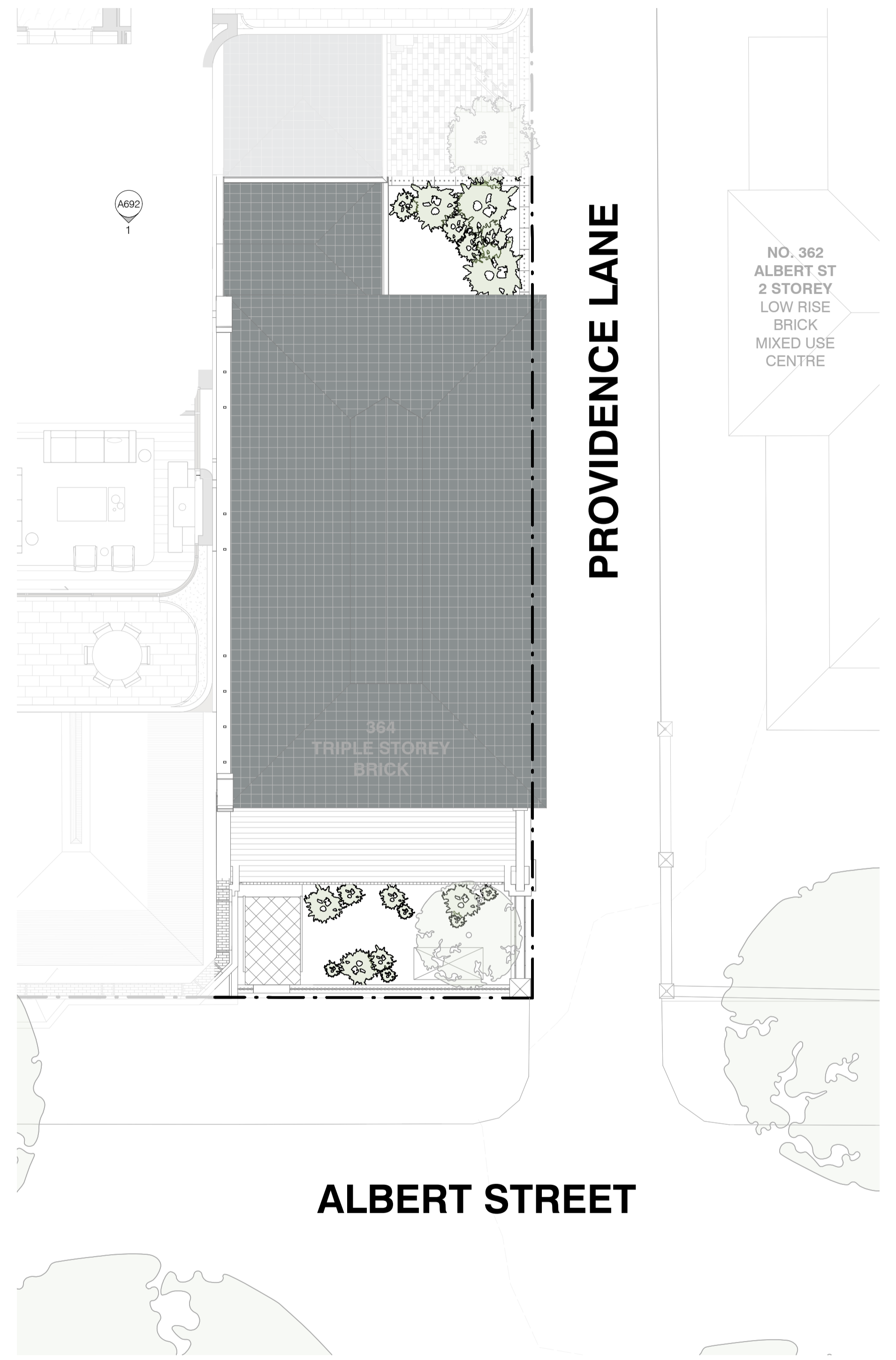
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DATE  
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DRAWING NO.  
TP061

REVISION  
R12





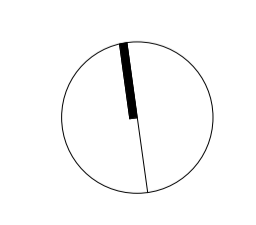
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REV	DATE	ISSUED BY	DESCRIPTION
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**ORCHARD PIPER**



**SECTION 72 PLANS**  
**30|08|22**



**PROJECT**  
18002 370 ALBERT STREET

**TITLE**  
364 ALBERT ST - ROOF & SOUTH ELEVATION

**DRAWN**  
AR

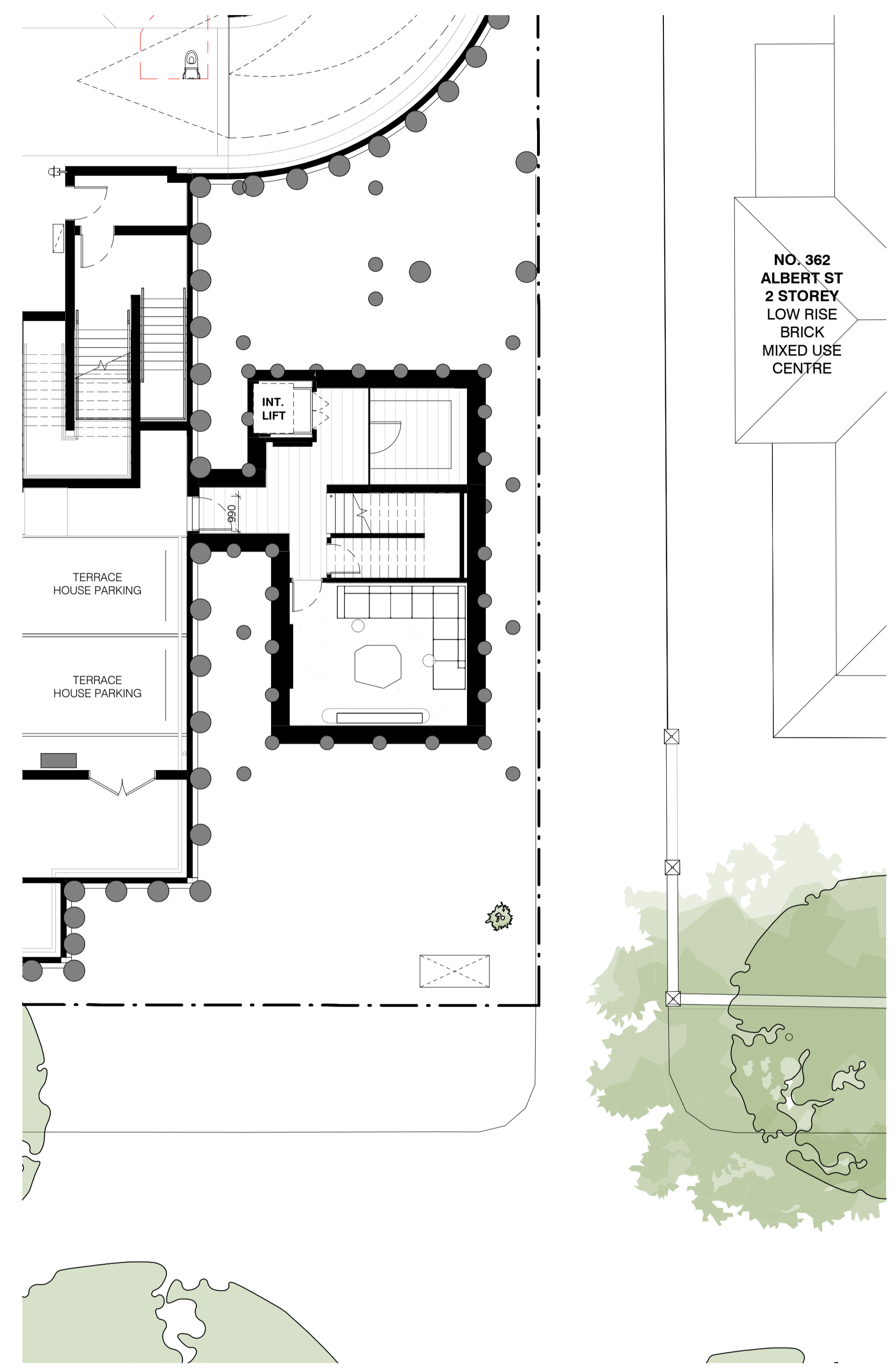
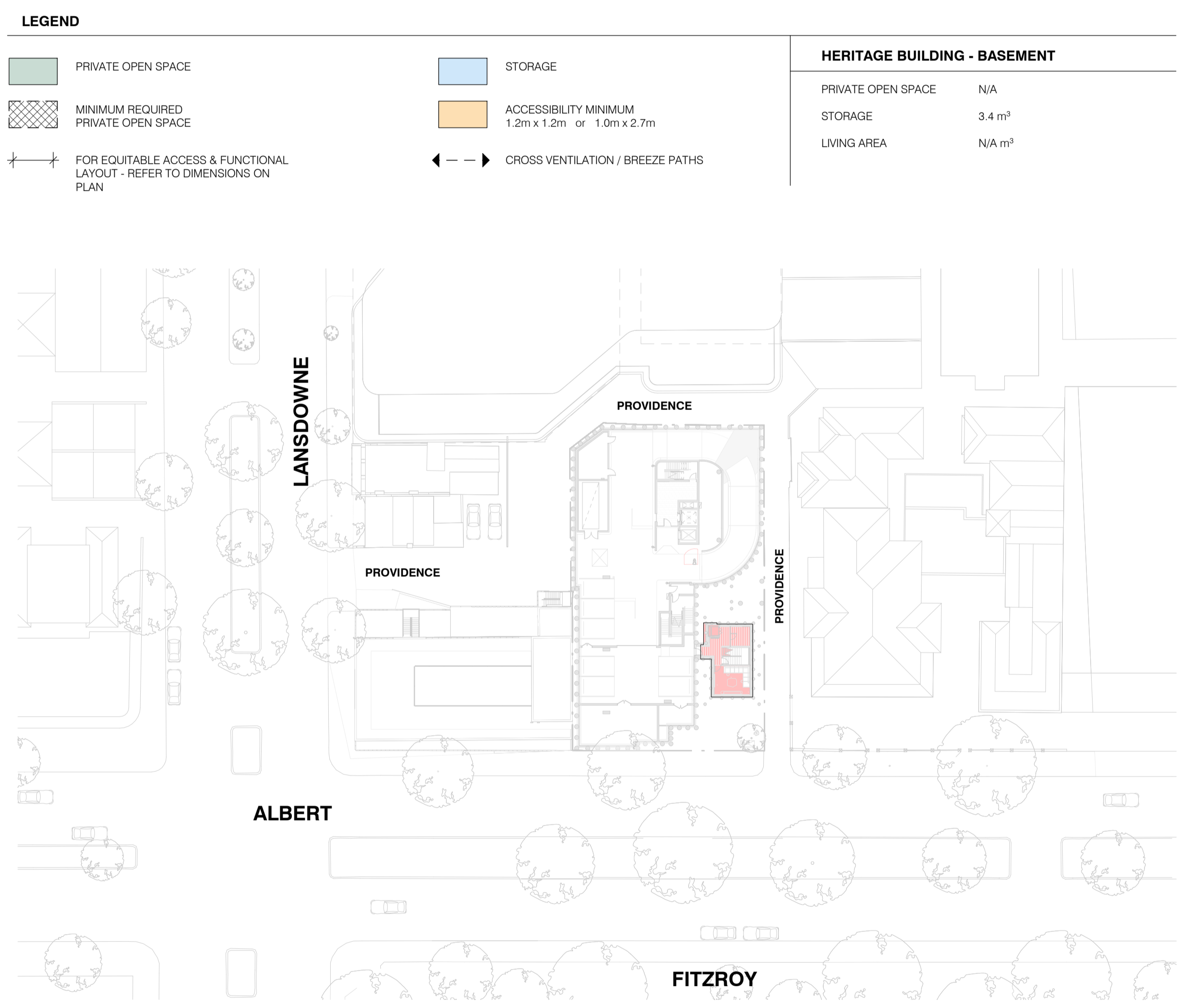
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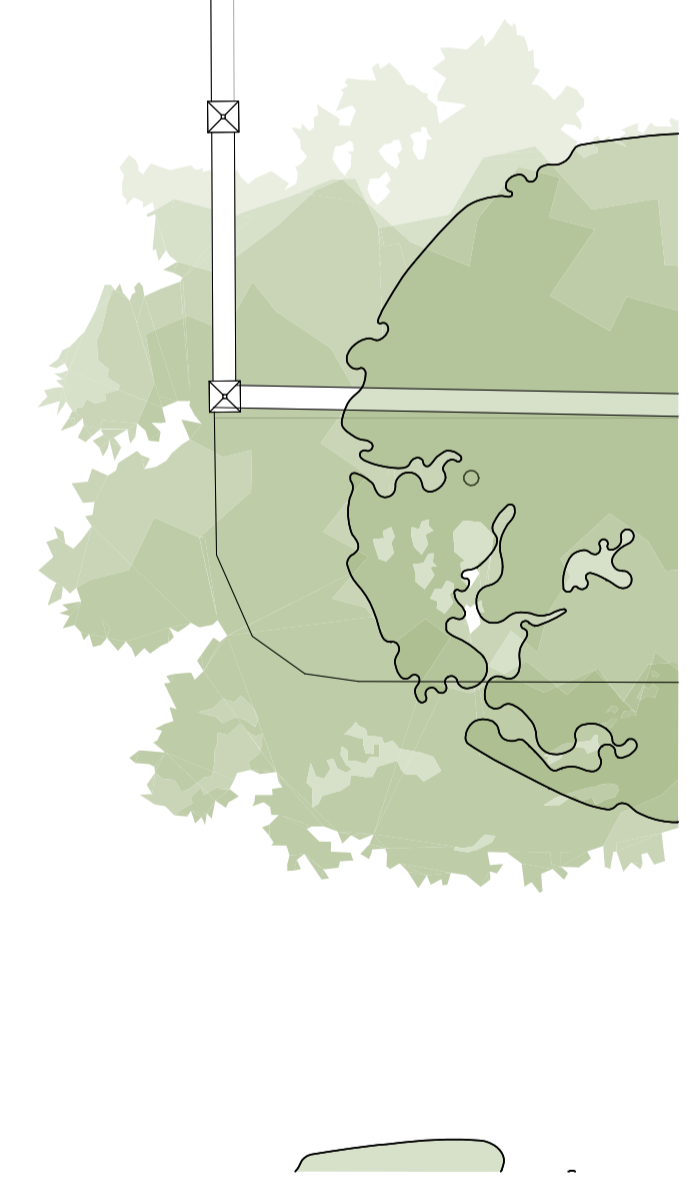
**DATE**  
30|08|2022

**DRAWING NO.**  
TP062

**REVISION**  
R12



**NO. 362  
ALBERT ST  
2 STOREY  
LOW RISE  
BRICK  
MIXED USE  
CENTRE**

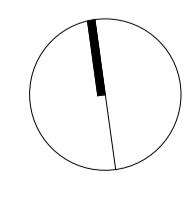


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R9	16 12 2021	DJM	Plans to Comply
R10	17 12 2021	DJM	Section 72 Plans
R11	24 03 2022	DJM	Section 72 Plans
R12	30 08 2022	DJM	Revised Demolition Extent

**ORCHARD PIPER**



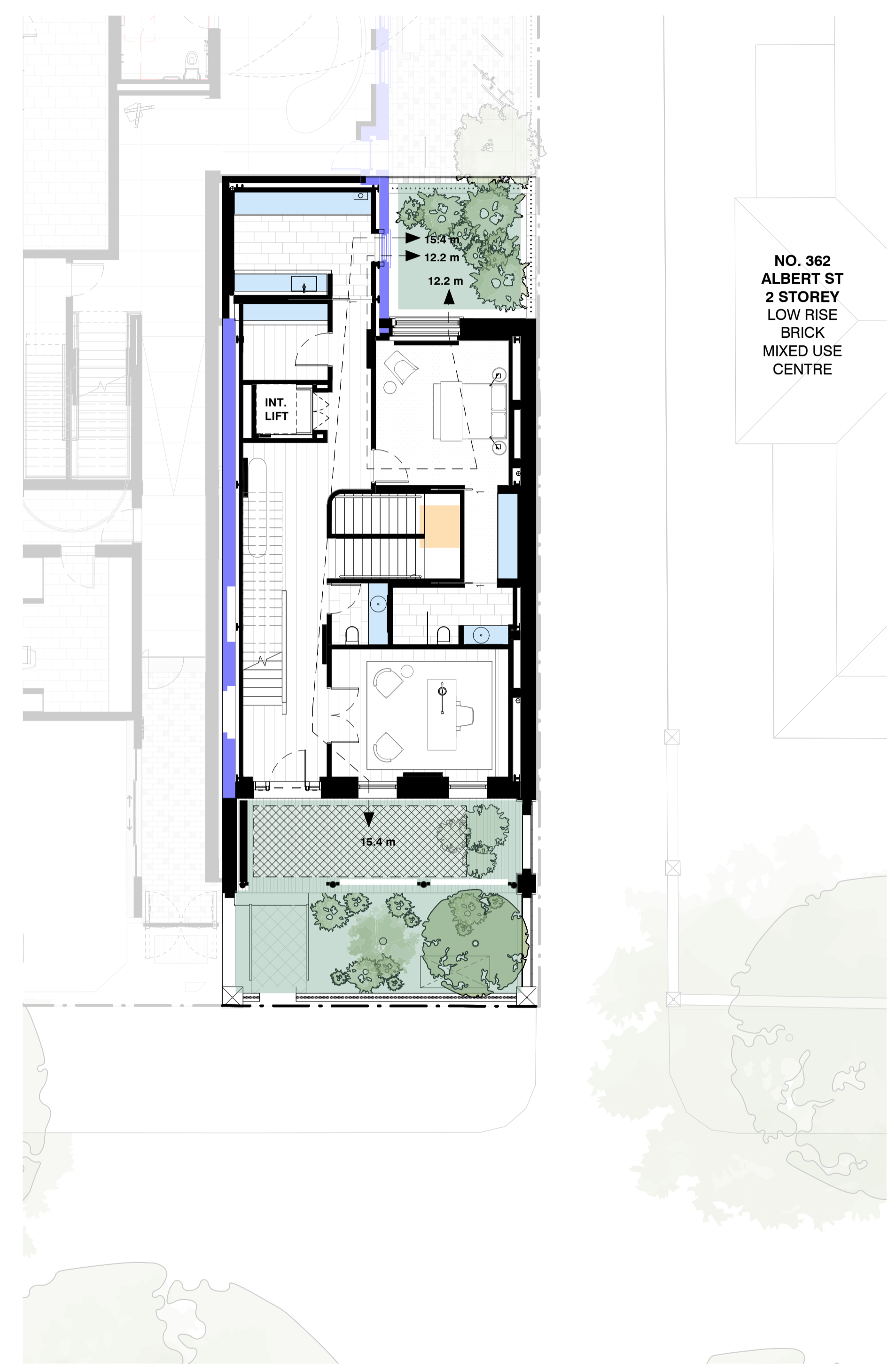
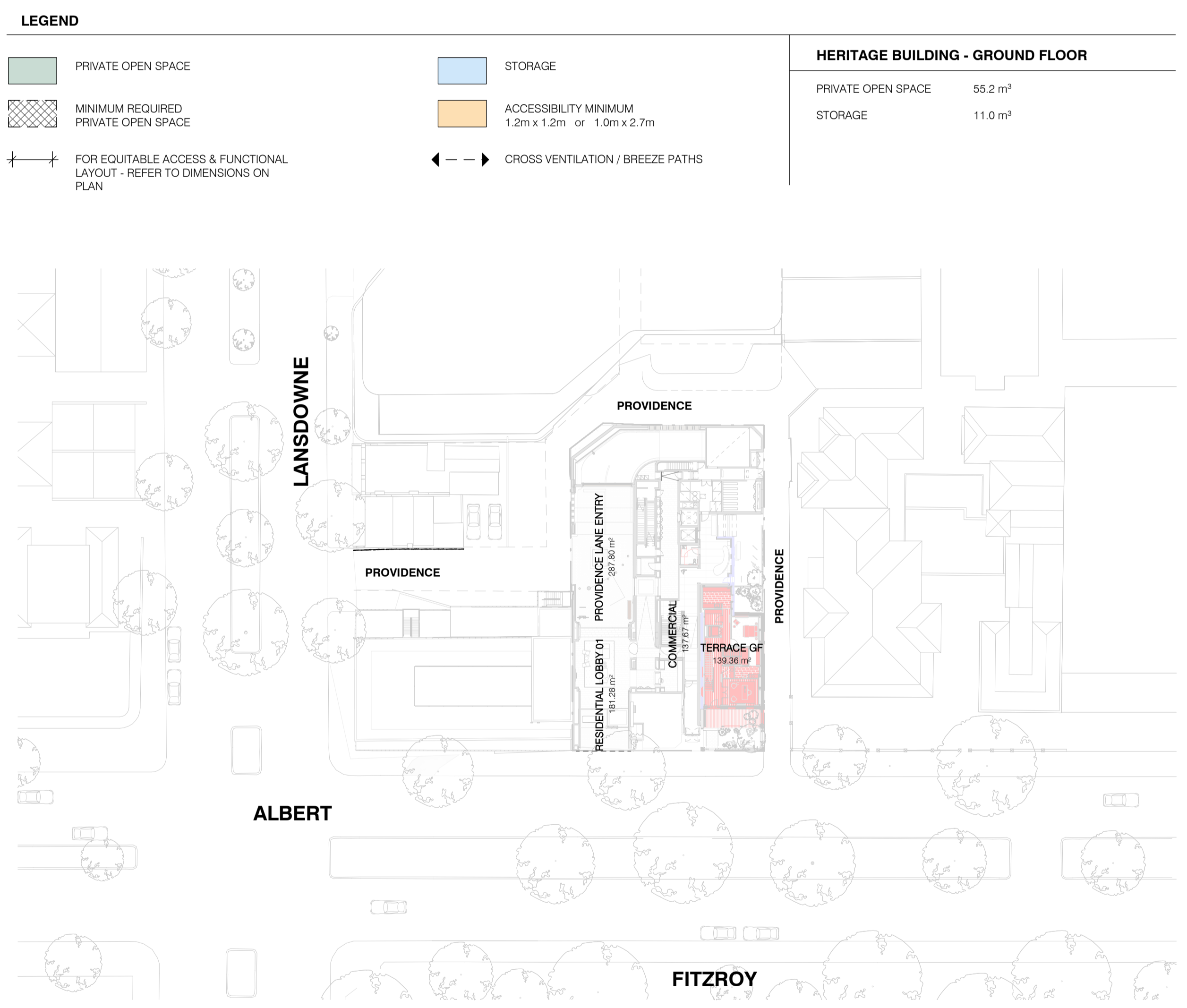
**SECTION 72 PLANS  
30|08|22**



**PROJECT**  
18002 370 ALBERT STREET

**TITLE**  
DIAGRAM DESIGN STANDARDS - HOUSE BASEMENT

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<b>SCALE</b> As indicated @ A1	<b>DATE</b> 30 08 2022	<b>REVISION</b> R12

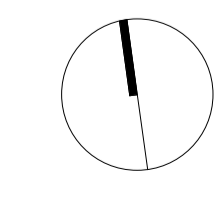


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R5	07 09 20	MW	Amended Scheme
R6	-	-	Not Issued
R7	16 11 20	MW	VCAT Interim Order
R8	30 09 21	DJM	Secondary Consent Amendment
R9	16 12 2021	DJM	Plans to Comply
R10	17 12 2021	DJM	Section 72 Plans
R11	24 03 2022	DJM	Section 72 Plans
R12	30 08 2022	DJM	Revised Demolition Extent

**ORCHARD PIPER**



**SECTION 72 PLANS  
30|08|22**



**PROJECT**  
18002 370 ALBERT STREET

**TITLE**  
DIAGRAM DESIGN STANDARDS - HOUSE GF

**DRAWN**  
NH

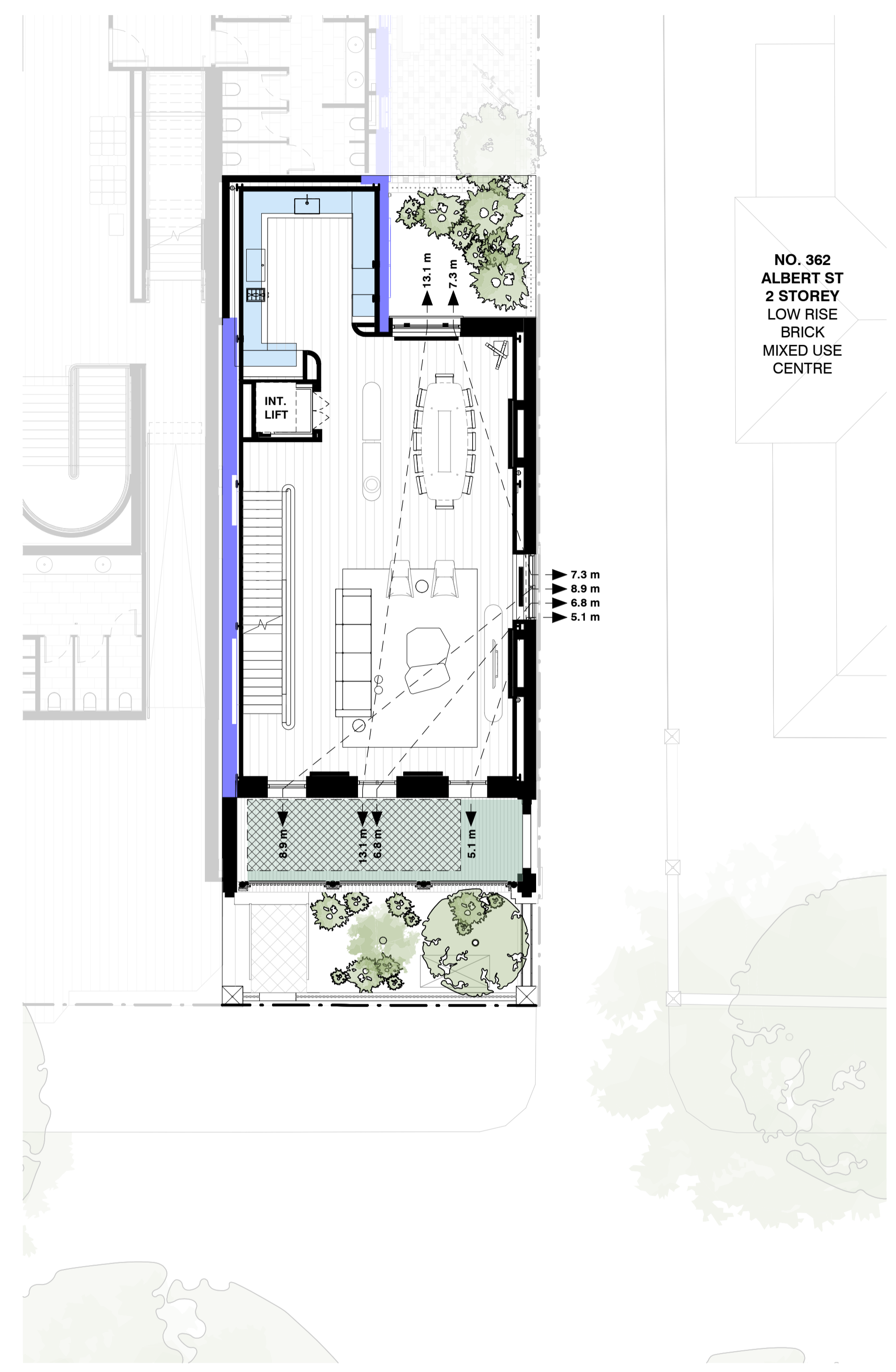
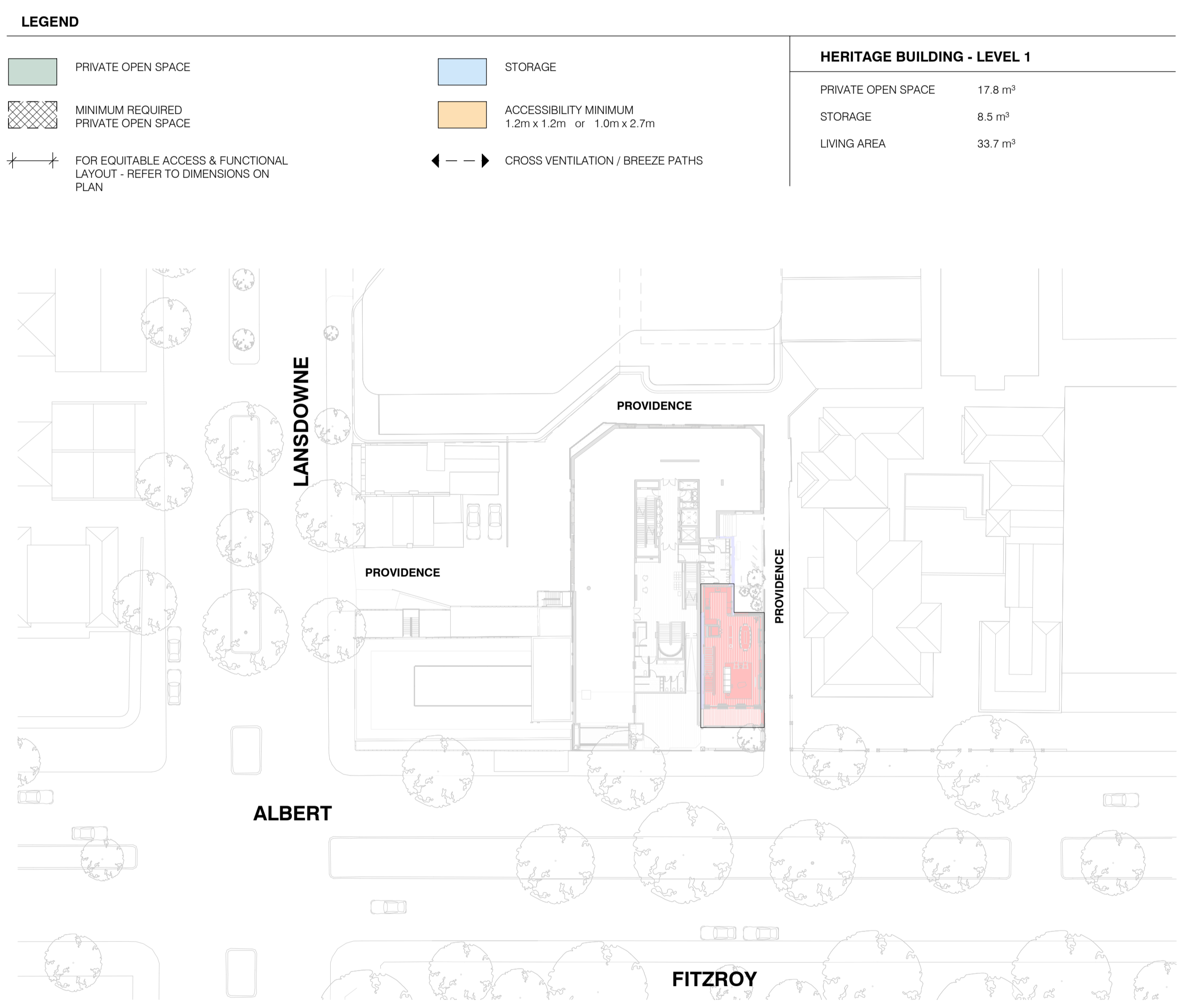
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**DATE**  
30|08|2022

**DRAWING NO.**  
TP064

**REVISION**  
R12

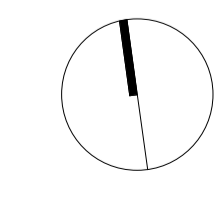


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R5	07 09 20	MW	Amended Scheme
R6	-	-	Not Issued
R7	16 11 20	MW	VCAT Interim Order
R8	30 09 21	DJM	Secondary Consent Amendment
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R10	17 12 2021	DJM	Section 72 Plans
R11	24 03 2022	DJM	Section 72 Plans
R12	30 08 2022	DJM	Revised Demolition Extent

**ORCHARD PIPER**



**SECTION 72 PLANS  
30|08|22**



**PROJECT**  
18002 370 ALBERT STREET

**TITLE**  
DIAGRAM DESIGN STANDARDS - HOUSE L1

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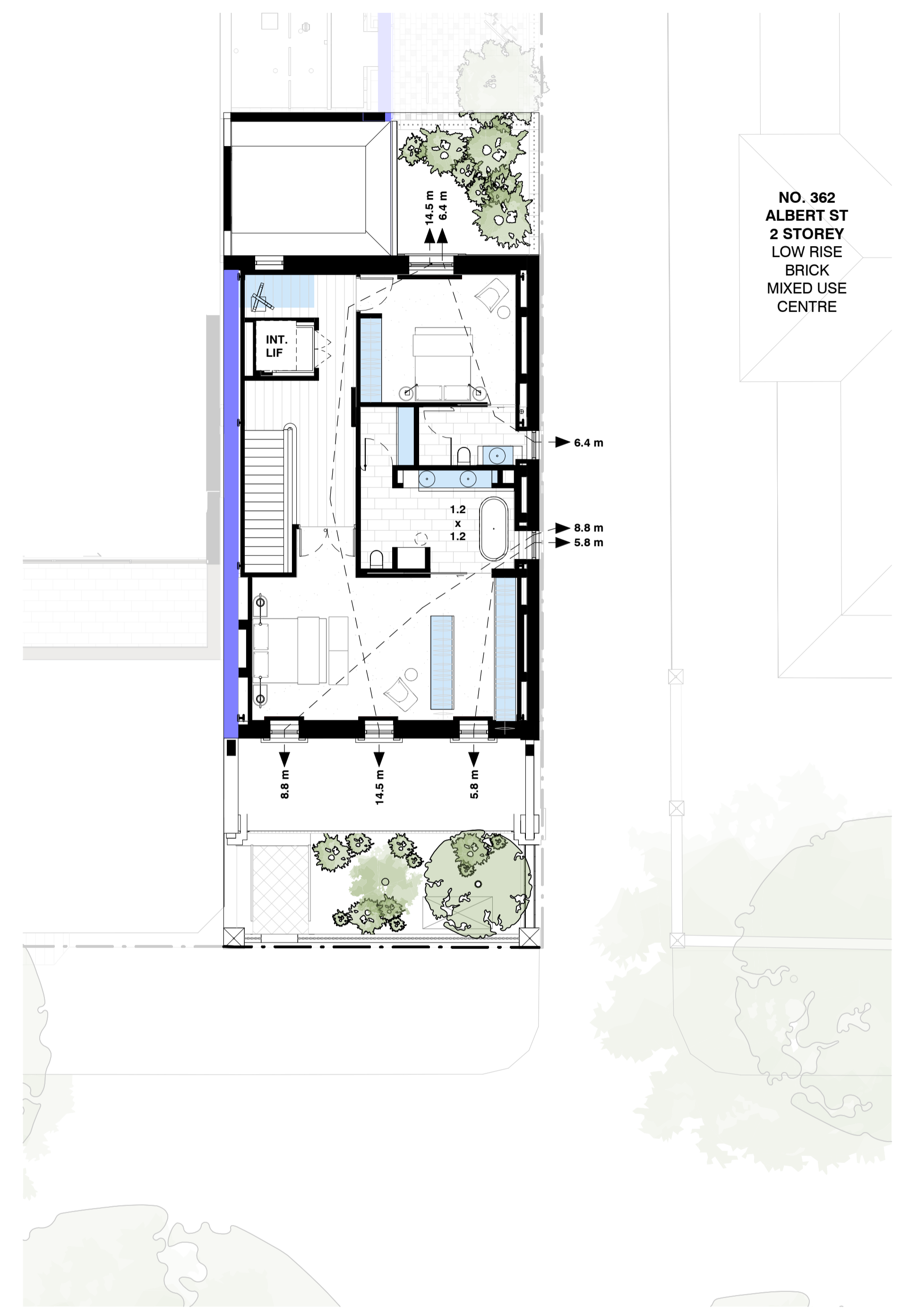
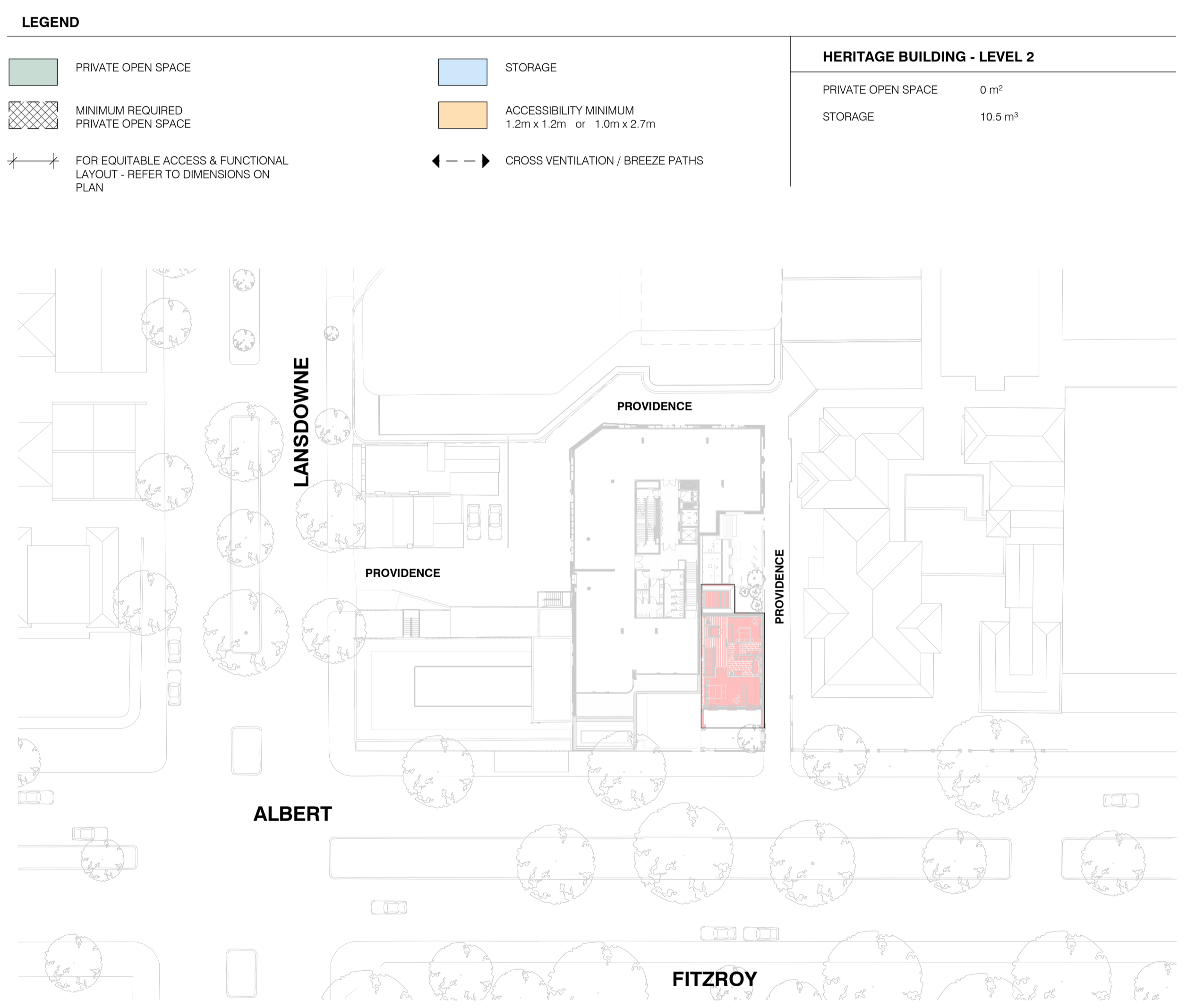
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**DATE**  
30|08|2022

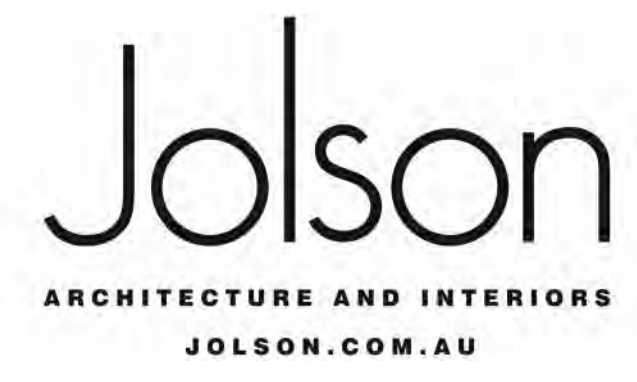
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**REVISION**  
R12

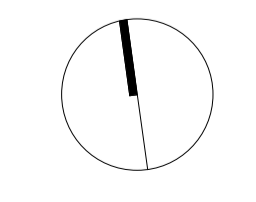


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R6	-	-	Not Issued
R7	16 11 20	MW	VCAT Interim Order
R8	30 09 21	DJM	Secondary Consent Amendment
R9	16 12 2021	DJM	Plans to Comply
R10	17 12 2021	DJM	Section 72 Plans
R11	24 03 2022	DJM	Section 72 Plans
R12	30 08 2022	DJM	Revised Demolition Extent

**ORCHARD PIPER**



**SECTION 72 PLANS  
30|08|22**



**PROJECT**  
18002 370 ALBERT STREET

**TITLE**  
DIAGRAM DESIGN STANDARDS - HOUSE L2

**DRAWN**  
NH

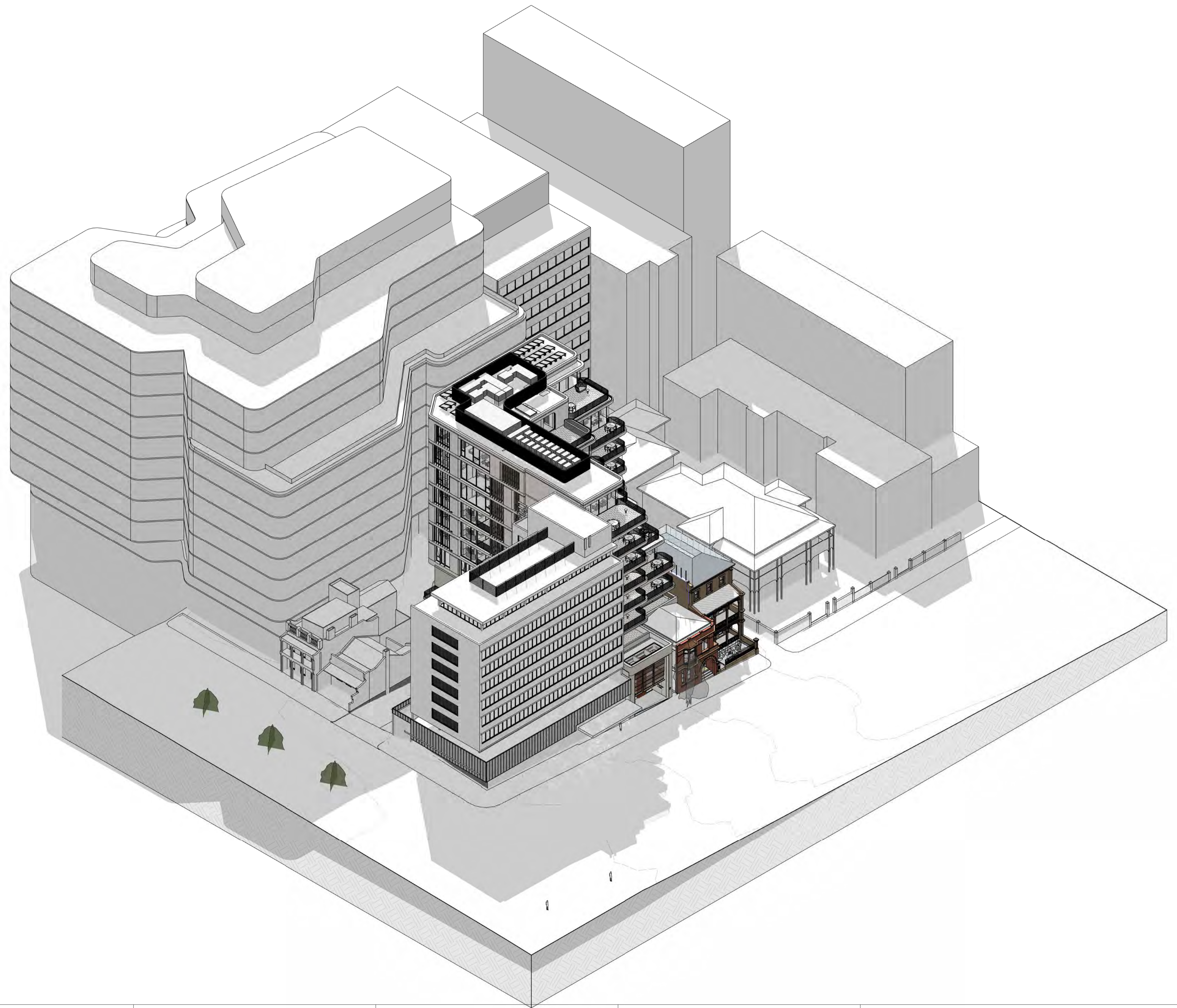
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**CHECKED**  
DM

**DATE**  
30|08|2022

**DRAWING NO.**  
TP066

**REVISION**  
R12



REV	DATE	ISSUED BY	DESCRIPTION
R4	-	-	Not Issued
R5	07 09 20	MW	Amended Scheme
R6	-	-	Not Issued
R7	16 11 20	MW	VCAT Interim Order
R8	30 09 21	DJM	Secondary Consent Amendment
R9	16 12 2021	DJM	Plans to Comply
R10	17 12 2021	DJM	Section 72 Plans
R11	24 03 2022	DJM	Section 72 Plans
R12	30 08 2022	DJM	Revised Demolition Extent

**ORCHARD PIPER**



**SECTION 72 PLANS  
30|08|22**

**PROJECT**  
18002 370 ALBERT STREET

**TITLE**  
3D VIEW

**DRAWN**  
AR

**SCALE**  
@ A1

**CHECKED**  
Checker

**DATE**  
30|08|2022

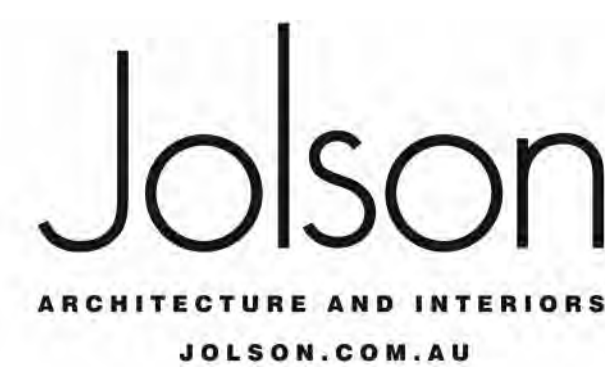
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**REVISION**  
R12



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R8	30 09 21	DJM	Secondary Consent Amendment
R9	16 12 2021	DJM	Plans to Comply
R10	17 12 2021	DJM	Section 72 Plans
R11	24 03 2022	DJM	Section 72 Plans
R12	30 08 2022	DJM	Revised Demolition Extent

**ORCHARD PIPER**



**SECTION 72 PLANS  
30|08|22**

**PROJECT**  
18002 370 ALBERT STREET

**TITLE**  
VIEW FROM PARK - FAR

**DRAWN**  
AR

**SCALE**  
@ A1

**CHECKED**  
MW

**DATE**  
30|08|2022

**DRAWING NO.**  
TP100

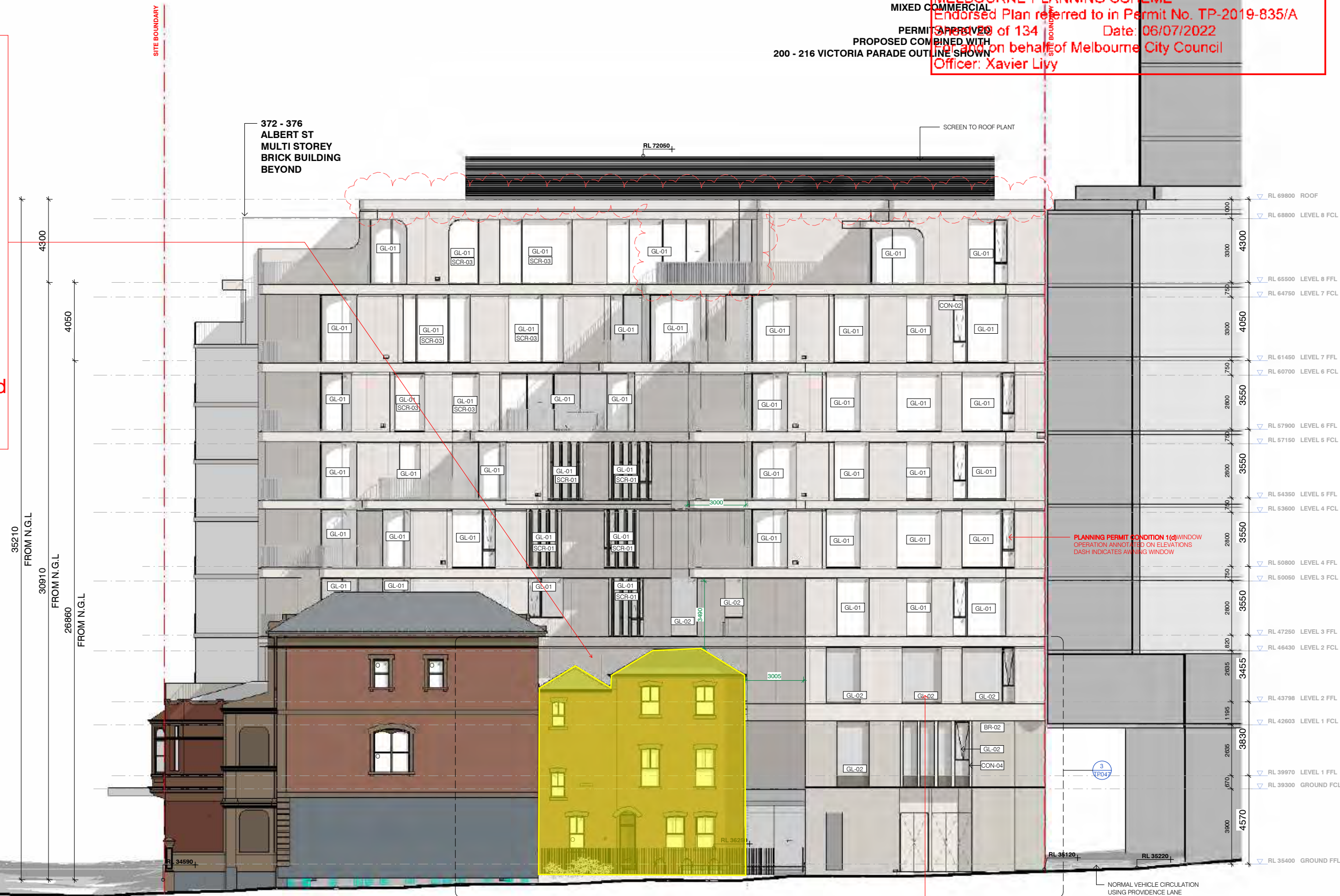
**REVISION**  
R12

NOTE: Building height dimensions are from the Natural Ground Level (N.G.L.) at the face of the building / title boundary

EXISTING 216 VICTORIA PARADE  
MID RISE CONCRETE  
MIXED COMMERCIAL  
PERMIT APPROVED  
PROPOSED COMBINED WITH  
200 - 216 VICTORIA PARADE OUTLINE SHOWN

PLANNING ENVIRONMENT ACT 1987  
MELBOURNE PLANNING SCHEME  
Endorsed Plan referred to in Permit No. TP-2019-835/A  
Date: 06/07/2022  
Prepared on behalf of Melbourne City Council  
Officer: Xavier Liyy

Where indicated, the walls that will be temporarily demolished, will be demolished by hand and reconstructed to match the existing condition. The main contractor will undertake a full photographic as-built survey of each portion of wall to enable all elements to be catalogued and numbered to allow faithful reconstruction. Once catalogued, the materials will be cleaned by hand and stored off site for future reinstatement.



REV	DATE	ISSUED BY	DESCRIPTION
R3	13/12/19	MW	Planning RFI 01 Addenda
R4	-	-	Not Issued
R5	07/09/20	MW	Amended Scheme
R6	-	-	Not Issued
R7	16/11/20	MW	VCAT Interim Order
R8	30/09/21	DJM	Secondary Consent Amendment
R9	16/12/2021	DJM	Plans to Comply
R10	17/12/2021	DJM	Section 72 Plans
R11	24/03/2022	DJM	Section 72 Plans

ORCHARD PIPER



SECTION 72 PLANS  
24|03|22

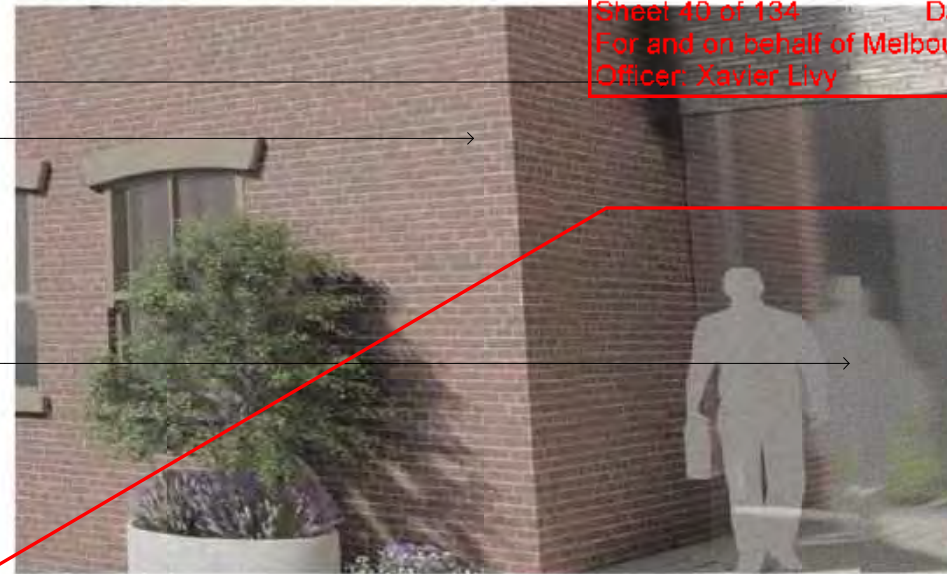
PROJECT  
18002 370 ALBERT STREET  
TITLE  
EAST ELEVATION  
DRAWN  
AR  
SCALE  
1 : 100 @ A1  
CHECKED  
MW  
DATE  
24|03|2022  
DRAWING NO.  
TP032  
REVISION  
R11



PLANNING ENVIRONMENT ACT 1987  
 MELBOURNE PLANNING SCHEME  
 Endorsed Plan referred to in Permit No. TP-2019-835/A  
 Sheet 40 of 134 Date: 08/07/2022  
 For and on behalf of Melbourne City Council  
 Officer: Xavier Livy



EXPRESSED EXAGGERATED SHADOWLINE  
 DETAIL AT JUNCTION OF REAR OF  
 EXISTING ENVELOPE AND PROPOSED.  
 NEW THIN BRICKS CONTRAST AGAINST  
 THE EXISTING BRICK FACADE OF 364  
 ALBERT STREET.  
 LANDSCAPING TO REAR GARDEN OF 364  
 ALBERT STREET.  
 PROVIDENCE LANEWAY COMMERCIAL  
 ACCESS.  
 COMMERCIAL AND COMMERCIAL  
 GUEST BICYCLE PARKING  
 25 X 3MM STAINLESS STEEL TUBES  
 WITH CAPPING, CHEMSET FIXED INTO  
 SQUARE CUT BLUESTONE BASE.  
 SPACING TO BE CONFIRMED. FINISHED  
 HEIGHT OF FENCE TO ALIGN WITH  
 HEIGHT OF HERITAGE IRON FENCE ON  
 ALBERT STREET.



Where indicated, the walls that will be temporarily demolished, will be demolished by hand and reconstructed to match the existing condition. The main contractor will undertake a full photographic as-built survey of each portion of wall to enable all elements to be catalogued and numbered to allow faithful reconstruction. Once catalogued, the materials will be cleaned by hand and stored off site for future reinstatement.

2 PERSPECTIVE - PODIUM FACADE - EAST - PLANNING  
 SCALE 1 : 1



3 PODIUM ELEVATION - EAST - PLANNING  
 SCALE 1 : 50

REV	DATE	ISSUED BY	DESCRIPTION
R3	-	-	Not Issued
R4	-	-	Not Issued
R5	-	-	Not Issued
R6	-	-	Not Issued
R7	-	-	Not Issued
R8	30/09/21	DJM	Secondary Consent Amendment
R9	16/12/2021	DJM	Plans to Comply
R10	17/12/2021	DJM	Section 72 Plans
R11	24/03/2022	DJM	Section 72 Plans

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SECTION 72 PLANS  
 24 | 03 | 22

PROJECT  
 18002 370 ALBERT STREET  
 TITLE  
 PODIUM FACADE STRATEGY - EAST  
 DRAWN  
 Author  
 CHECKED  
 Checker  
 SCALE  
 As indicated @ A1  
 DATE  
 24 | 03 | 2022

DRAWING NO.  
 TP047  
 REVISION  
 R11

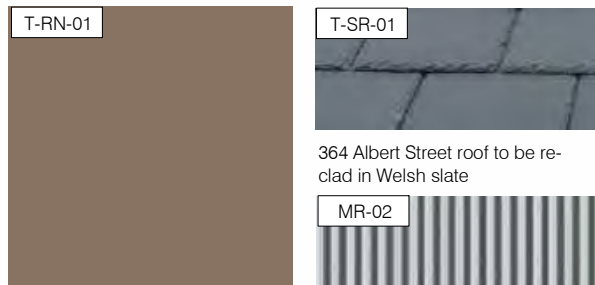
Where indicated, the walls that will be temporarily demolished, will be demolished by hand and reconstructed to match the existing condition. The main contractor will undertake a full photographic as-built survey of each portion of wall to enable all elements to be catalogued and numbered to allow faithful reconstruction. Once catalogued, the materials will be cleaned by hand and stored off site for future reinstatement.  
 For and on behalf of Melbourne City Council  
 Officer: Xavier Livy

DESIGN RESPONSE | BUILDING MATERIALS

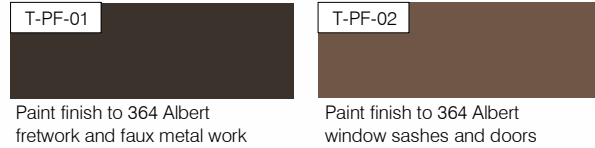
364-370 Albert Street | Interface | Preferred Colour Scheme



T-BR-01 Restored brickwork to 364 Albert Street (Eastern Elevation)  
 T-ST-01 Restored bluestone to 364 Albert Street (Eastern Elevation)



T-RN-01 Restored render finish to 364 Albert Street (Southern Elevation)  
 T-SR-01 364 Albert Street roof to be re-clad in Welsh slate



T-PF-01 Paint finish to 364 Albert fretwork and faux metal work  
 T-PF-02 Paint finish to 364 Albert window sashes and doors



BR-01 Restored brickwork and black pointing finish to 366 Albert Street (Southern Elevation)  
 PF-01 Paint finish to 366 Albert Street (Southern Elevation)



Perspective of Albert Street Portico Screen. The design references both the datum lines of 366 Albert Street and the tripart composition of 364 Albert Street. MT-05 metal screen provides varying degrees of transparency in the rhythm of banding, providing views to the park while obscuring direct internal view.

3 PERSPECTIVE - ALBERT STREET FACADE SCREEN SCALE



1 PERSPECTIVE - SOUTHERN FACADE ALBERT STREET - MATERIALITY SCALE

- BR-01
- PF-02
- MR-02
- PF-01
- MR-02
- T-SR-01
- T-PF-01
- T-RN-01
- T-PF-02
- T-ST-01
- T-BR-01

REV	DATE	ISSUED BY	DESCRIPTION
R3	-	-	Not Issued
R4	-	-	Not Issued
R5	07/09/20	MW	Amended Scheme
R6	24/09/20	MW	Amended Scheme
R7	16/11/20	MW	VCAT Interim Order
R8	30/09/21	DJM	Secondary Consent Amendment
R9	16/12/2021	DJM	Plans to Comply
R10	17/12/2021	DJM	Section 72 Plans
R11	24/03/2022	DJM	Section 72 Plans

ORCHARD PIPER

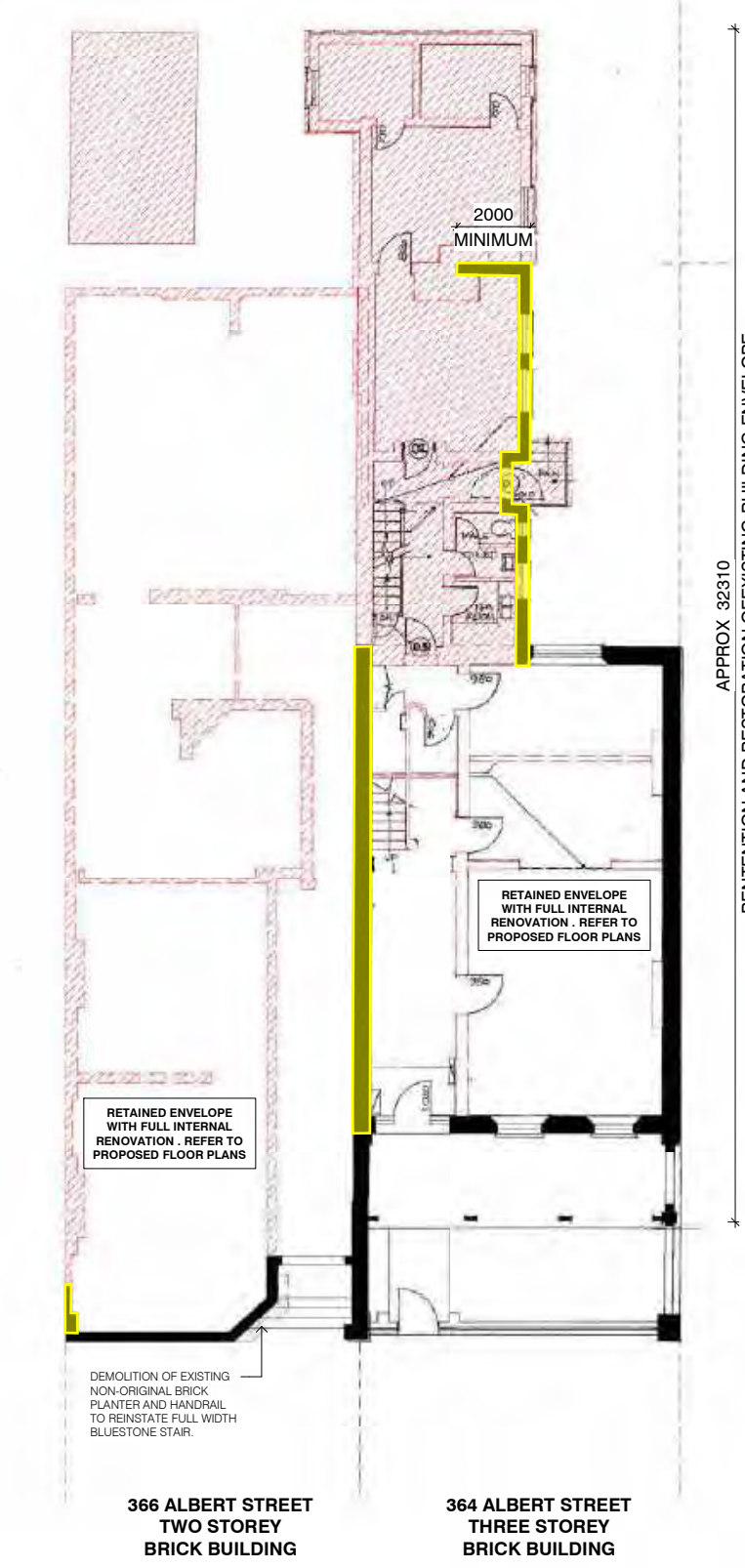


SECTION 72 PLANS  
24|03|22

PROJECT  
18002 370 ALBERT STREET  
 TITLE  
EXTERNAL MATERIALS AND FINISHES  
 DRAWN  
Author  
 CHECKED  
Checker  
 SCALE  
1 : 100 @ A1  
 DATE  
24|03|2022

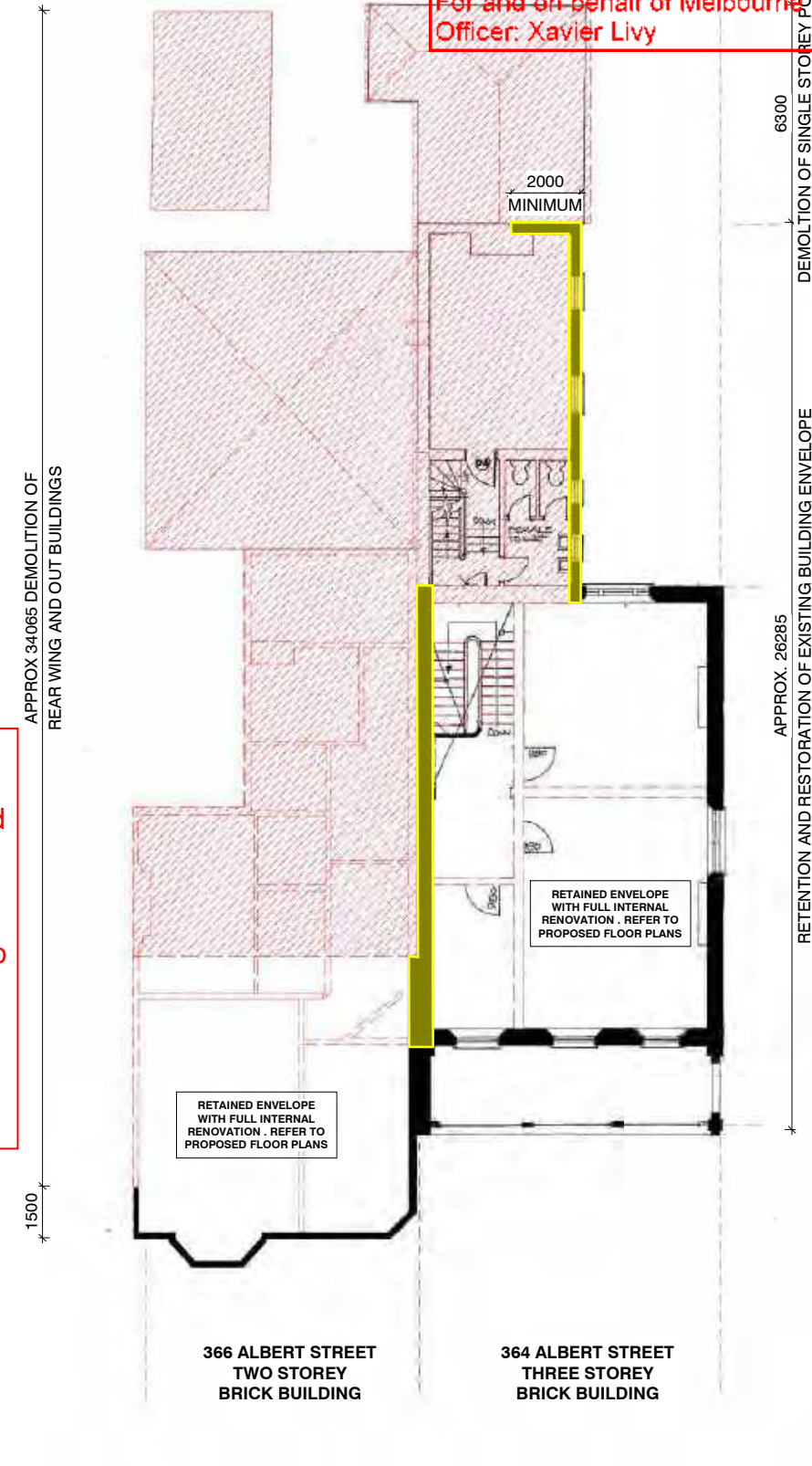
DRAWING NO.  
TP051  
 REVISION  
R11

PLANNING ENVIRONMENT ACT 1987  
 MELBOURNE PLANNING SCHEME  
 Endorsed Plan referred to in Permit No. TP-2019-835/A  
 Sheet 47 of 134 Date: 06/07/2022  
 For and on behalf of Melbourne City Council  
 Officer: Xavier Livy



1 EXISTING GROUND FLOOR PLAN - 364 & 366 ALBERT STREET  
 SCALE 1 : 100

Where indicated, the walls that will be temporarily demolished, will be demolished by hand and reconstructed to match the existing condition. The main contractor will undertake a full photographic as-built survey of each portion of wall to enable all elements to be catalogued and numbered to allow faithful reconstruction. Once catalogued, the materials will be cleaned by hand and stored off site for future reinstatement.



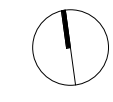
2 EXISTING FIRST FLOOR PLAN - 364 & 366 ALBERT STREET  
 SCALE 1 : 100

REV	DATE	ISSUED BY	DESCRIPTION
R3	-	-	Not Issued
R4	-	-	Not Issued
R5	07/09/20	MW	Amended Scheme
R6	-	-	Not Issued
R7	16/11/20	MW	VCAT Interim Order
R8	30/09/21	DJM	Secondary Consent Amendment
R9	16/12/2021	DJM	Plans to Comply
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R11	24/03/2022	DJM	Section 72 Plans

ORCHARD PIPER

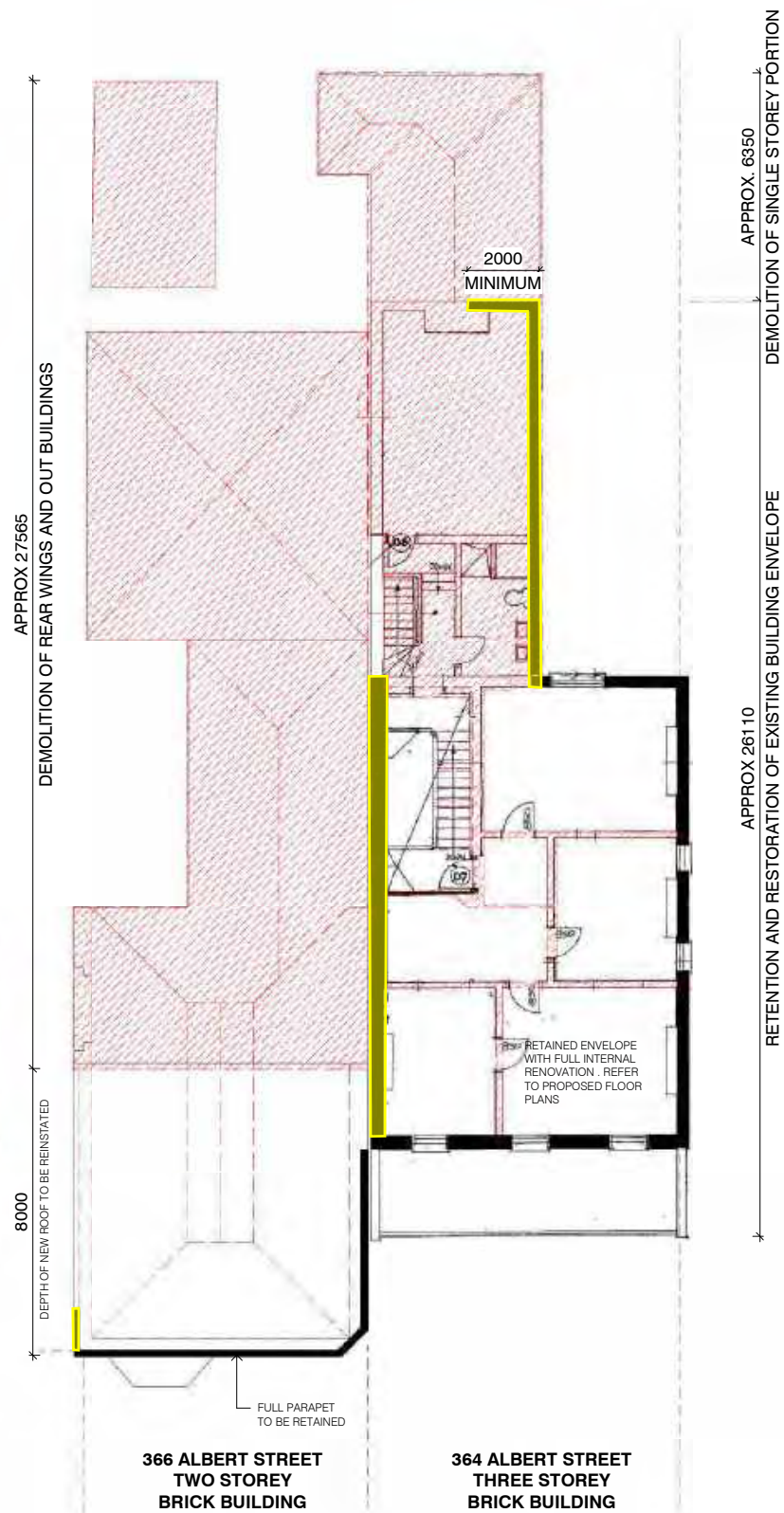


SECTION 72 PLANS  
 24 | 03 | 22

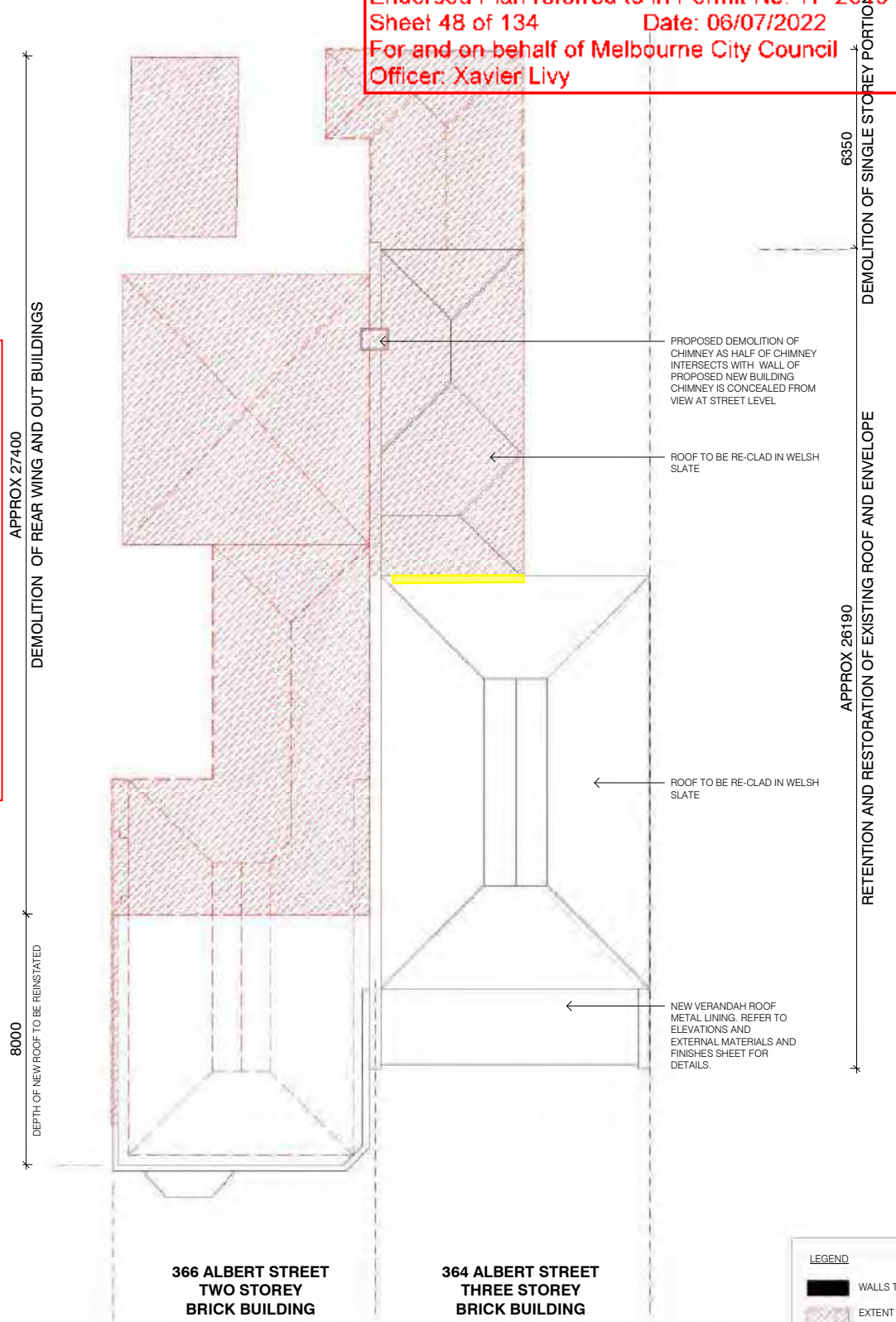


PROJECT  
 18002 370 ALBERT STREET  
 TITLE  
 364 & 366 ALBERT ST - EXISTING & DEMOLITION PLAN  
 DRAWN  
 AR  
 CHECKED  
 MW  
 DATE  
 24 | 03 | 2022  
 SCALE  
 1 : 100 @ A1  
 DRAWING NO.  
 TP058  
 REVISION  
 R11

**PLANNING ENVIRONMENT ACT 1987**  
**MELBOURNE PLANNING SCHEME**  
 Endorsed Plan referred to in Permit No. TP-2019-835/A  
 Sheet 48 of 134 Date: 06/07/2022  
 For and on behalf of Melbourne City Council  
 Officer: Xavier Livy



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**LEGEND**

- WALLS TO BE RETAINED
- EXTENT OF DEMOLITION

1 EXISTING SECOND FLOOR PLAN - 364 & 366 ALBERT STREET  
SCALE 1 : 100

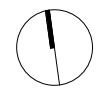
2 EXISTING ROOF PLAN - 364 & 366 ALBERT STREET  
SCALE 1 : 100

REV	DATE	ISSUED BY	DESCRIPTION
R3	-	-	Not Issued
R4	-	-	Not Issued
R5	07/09/20	MW	Amended Scheme
R6	-	-	Not Issued
R7	16/11/20	MW	VCAT Interim Order
R8	30/09/21	DJM	Secondary Consent Amendment
R9	16/12/2021	DJM	Plans to Comply
R10	17/12/2021	DJM	Section 72 Plans
R11	24/03/2022	DJM	Section 72 Plans

**ORCHARD PIPER**



**SECTION 72 PLANS**  
24 | 03 | 22



**PROJECT**  
18002 370 ALBERT STREET

**TITLE**  
364 & 366 ALBERT ST - EXISTING & DEMOLITION PLAN

**DRAWN**  
AR

**CHECKED**  
MW

**DATE**  
24 | 03 | 2022

**DRAWING NO.**  
TP059

**REVISION**  
R11

**SCALE**  
1 : 100 @ A1

## DELEGATE REPORT

### APPLICATION TO AMEND A PLANNING PERMIT

<b>Application number:</b>	<b>TP-2019-835/B</b>
<b>Applicant / Owners / Architect:</b>	O'Neill Consulting / Sun Valley Construction Pty Ltd / Orchard Piper
<b>Address:</b>	364-370 Albert Street, EAST MELBOURNE
<b>Proposal:</b>	Amendments to the architectural plans to allow for partial demolition and reconstruction of the existing building.
<b>Cost of works of original permit application:</b>	\$29,000,000
<b>Date amendment received by City of Melbourne:</b>	6 September 2022
<b>Responsible officer:</b>	Xavier Livy, Principal Urban Planner

## 1 SUBJECT SITE AND SURROUNDS

### 1.1 Site

The subject site (the Site), 364-366 and 370 Albert Street is formally identified as Lots 1 and 2 on Title Plan 919947X and Lot 1 on Title Plan 599253M.

The Site is irregular in shape and comprises a total frontage to Albert Street of 27 metres, a depth of approximately 46 metres and an overall site area of approximately 1225 square metres. The site is located on the northern side of Albert Street, one property east of Lansdowne Street, and opposite the Fitzroy Gardens. The site enjoys carriageway easement rights to a laneway, known as Providence Lane, to the north, east and west of the Site.

The Site is currently occupied with three buildings as follows:

- 364 Albert Street contains a three storey Victorian building and outbuildings, which has been afforded a Significant grading in Council's *Heritage Inventory March 2022 (Amended October 2022)*. The building was constructed in 1873.
- 366 Albert Street contains a double Victorian building, which has been afforded a Contributory grading in Council's *Heritage Inventory March 2022 (Amended October 2022)*. The rear of the property contains an at grade car parking area used by 364 and 366 Albert Street.
- 370 Albert Street contains a two storey, brick and concrete render, commercial building, which occupies 100% site coverage. Undercroft car parking is provided on site. The site is not graded under Council's *Heritage Inventory March 2022 (Amended October 2022)*.

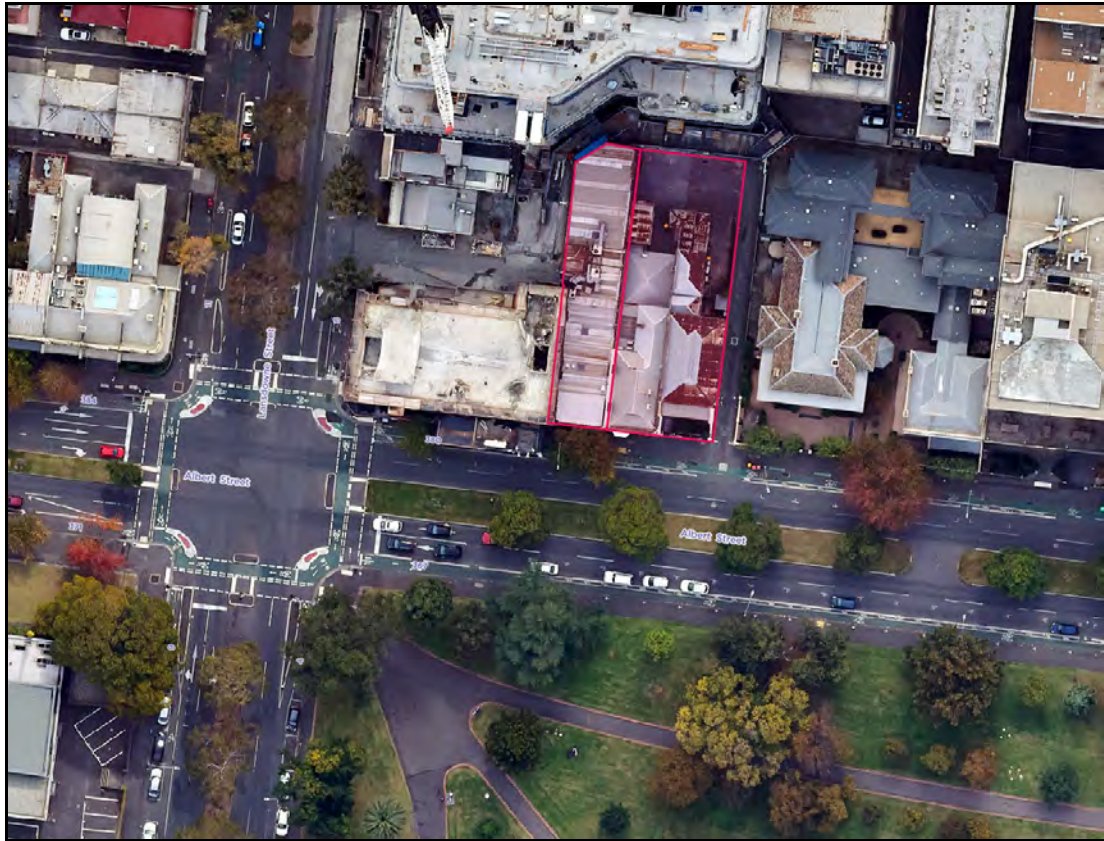


Figure 1: 364-370 Albert Street, East Melbourne



Figure 2: Contributory (Green) and Significant (Red) graded sites in Council's Heritage Inventory March 2022



Figure 3: Service wing to the rear of 364 Albert Street, East Melbourne

## 1.2 Surrounds

The site interfaces are as follows:

### North

To the north of the Site, across Providence Lane, at 200 and 216 Victoria Parade Planning Permit PA170253 has been issued by the Department of Environment, Land, Water and Planning for construction of a multi-storey (12 level) office building containing retail premises (other than adult sex bookshop), use of the land for a restricted recreation facility (gym), alteration of access to a road in the Transport Zone, and parking reduction pursuant to Clause 52.06.

The permit was issued 29 July 2018. Construction of the development has commenced.

### East

To the east of the Site, across Providence Lane, is the Mary MacKillop Heritage Centre. The site is occupied by a two storey brick building at the front of the site and recent three storey addition with under croft car parking at the rear of the site. The building is graded 'Significant' under Council's *Heritage Inventory March 2022 (Amended October 2022)*.

The building is currently used as an art gallery.

### West

Directly to the west of the Site is a ten storey concrete / brick office building built in 1961. The property is currently occupied by offices and a food and drink premises on the ground floor. Planning application TP-2020-346 for a nine storey (plus plant room) residential development with ground floor retail (food and drink premise) is currently under consideration for this site.

## South

To the south of the Site, across Albert Street, is Fitzroy Gardens.

## Surrounding Area

The surrounding area comprises a mix of uses. The surrounding context is varied in building form, scale and use. There are a number of contemporary office buildings between six to eight storeys as well as lower scale, generally heritage graded buildings of two to three storeys.

The site is well-serviced by public transport including tram networks along Victoria Parade, and Parliament Station approximately 620 metres to the south-west of the site.

## **2 BACKGROUND AND HISTORY**

### **2.1 Planning Application History**

The original application was subject to a VCAT appeal pursuant to Section 79 of the *Planning and Environment Act 1987* in response to Council's failure to determine the application within the prescribed time.

The original application went to a full hearing on 5 October 2020. An interim order was subsequently lodged on 15 October 2020 to allow the applicant to amend their proposal to improve its response to the requirements of the Melbourne Planning Scheme which resulted in greater setbacks, stepped built form and an improved heritage response.

Upon review of these amended plans officers made a submission dated 8 December 2020 to the Tribunal indicating that the amended scheme was generally compliant with the guidance provided in the interim order. Subsequently Planning Permit TP-2019-835 was issued by the Tribunal on 4 March 2021. The approval allowed for a nine storey building including 13 dwellings and a four storey basement.

More specifically the permit allows for:

- Demolition of buildings
- Construction of buildings and works
- External painting of a building
- Reduction in car parking requirements.

The Planning Permit was subsequently amended on 1 June 2022 under Section 72 of the *Planning and Environment Act 1987*. The amendment allowed for the inclusion of a food and drink premises at the ground floor level in lieu of a meeting room, consolidation of two dwellings into one and internal alterations which resulted in a revised location for the lift core. Public notice of the application was undertaken and one objection was received.

### **2.2 Pre-application Discussions and Context of the Application**

On 1 September 2022 an onsite meeting was held between the permit applicant, structural engineers, heritage conservation architects and Council Officers including Council's Heritage Advisor to discuss the proposal and the relevant history. The applicant advised the VCAT history was important to understand the reason for the lodgement of the Application.



For context, the VCAT directed the submission of amended plans on 15 October 2020 in an interim order. The permit applicant prepared plans in response to the order on the assumption that the rear three storey section could be retained in situ and supported with underpinning and these were submitted to the Tribunal on 16 November 2020. After the circulation of amended plans the Tribunal subsequently issued a planning permit on 4 March 2021.

As the proposal progressed and upon receipt of more detailed structural engineering advice it became apparent that underpinning of the existing built form was not possible nor could construction works occur without introducing a high level of risk to the heritage fabric and general safety of users in the immediate area which has subsequently led to lodgement of this amendment application.



Figure 4: Endorsed Plans compared with Application plans

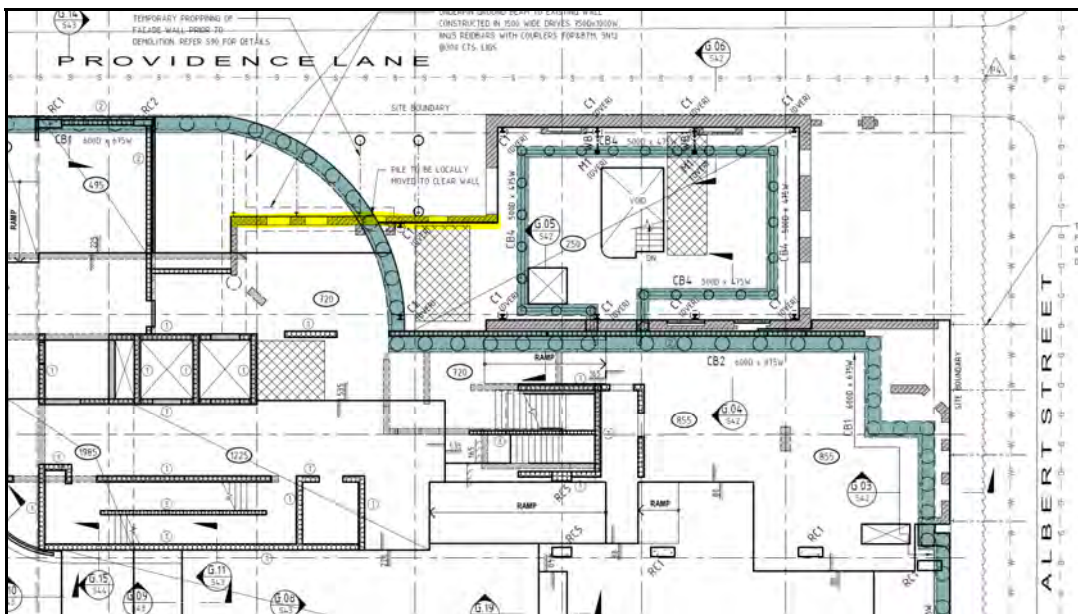


Figure 5: Basement pile wall location in respect to the retained walls of the service wing of 364 Albert Street. The basement pile locations intercept the retained wall resulting in piling close to and under the approved retained wall.

### 3 PROPOSAL

#### 3.1 Plans / Reports considered in assessment

The documents assessed in this application are identified in Table 1 below:

<b>Table 1: Plans / Reports considered in assessment</b>
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Plan / Report Title	Drawing / Report Author	Drawing / Report Date
Architectural Drawings	Jolson Architecture	August 2022
Works Methodology Review and Heritage Impact Statement	Conservation Studio	August 2022
Risk Assessment Report	Minicon Construction	August 2022
Structural Engineering Report	Andrew Baigent Consulting Engineers	September 2022
Structural Engineering Advice	O'Neill Group	March 2022

### 3.2 Details of the proposal

The application seeks approval to amend Permit TP-2019-835 under Section 72 of the *Planning and Environment Act 1987*.

The application proposes additional demolition to the existing buildings to facilitate the delivery of the approved development, its associated basement car parking area and to ensure it is completed to National Construction Code standards. The specific areas proposed for demolition are as follows:

- The eastern and northern sections of the rear wing of the building at 364 Albert Street, East Melbourne.
- The western wall at 364 Albert Street, East Melbourne.
- A section of the western part of the building at 366 Albert Street, East Melbourne.

It is noted that the application seeks to temporarily demolish and to subsequently reconstruct the area to match the existing external appearance. The heritage fabric to be dismantled is proposed to be done by hand and safely stored off site.

Further details of the proposed demolition are outlined below:



Figure 6: Rear service wing to be demolished and reconstructed (yellow)



Figure 7: Western side associated with 364 to be demolished and reconstructed (yellow)

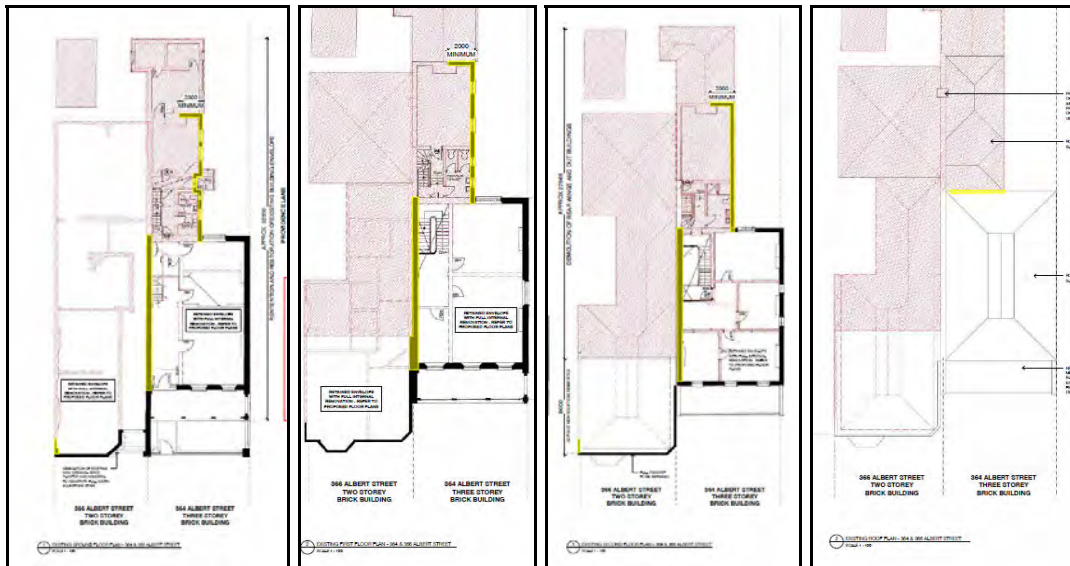


Figure 8: Walls highlighted in yellow to be demolished and reconstructed

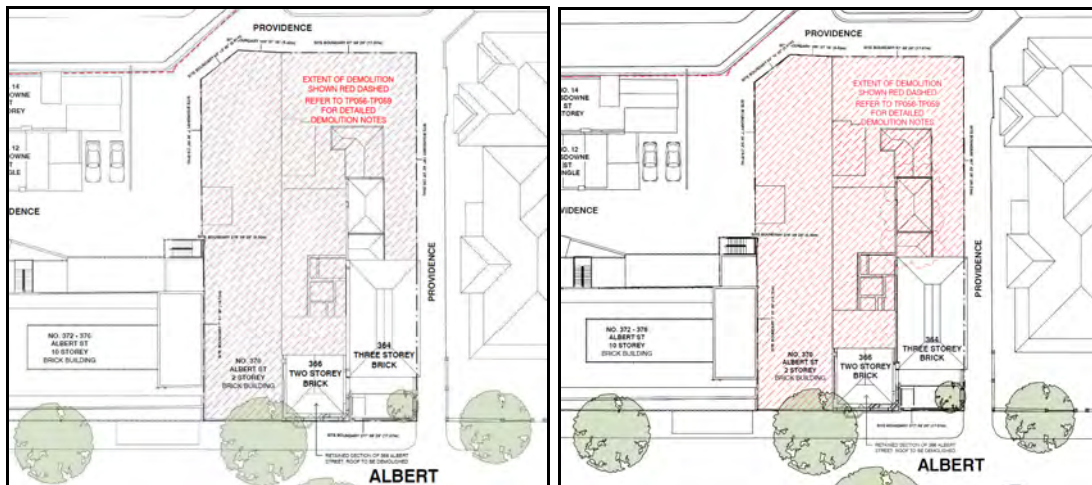


Figure 9: Approved extent of demolition compared to proposed demolition

## 4 STATUTORY CONTROLS

The following provisions of the Melbourne Planning Scheme apply:

Planning Policy Framework	Clause 02.01 – Context Clause 02.02 – Vision Clause 02.03-1 – Settlement Clause 02.03-4 – Built environment and heritage Clause 02.03-5 – Housing Clause 02.04 – Strategic framework plans
Planning Policy Framework	Clause 11 – Settlement, including: <ul style="list-style-type: none"> <li>• Clause 11.01-1R – Settlement – Metropolitan Melbourne</li> <li>• Clause 11.02-1S – Supply of Urban Land</li> <li>• Clause 11.03-6L-04 – East Melbourne and Jolimont</li> </ul> Clause 15 – Built Environment and Heritage, including: <ul style="list-style-type: none"> <li>• Clause 15.01-1S – Urban design</li> <li>• Clause 15.01-1R – Urban design – Metropolitan Melbourne</li> <li>• Clause 15.01-1L-04 – Urban Design</li> <li>• Clause 15.01-1L-05 – Urban Design outside the Capital City Zone</li> <li>• Clause 15.01-2S – Building design</li> <li>• Clause 15.01-2L-01 – Energy and resource efficiency</li> <li>• Clause 15.01-5S – Neighbourhood character</li> <li>• Clause 15.03 – Heritage</li> <li>• Clause 15.03-1S – Heritage conservation</li> <li>• Clause 15.03-1L-02 – Heritage</li> </ul> Clause 16 – Housing, including: <ul style="list-style-type: none"> <li>• Clause 16.01-1R – Housing supply – Metropolitan Melbourne</li> </ul>

The statutory planning controls remain consistent, however, for completeness the following controls apply to the Site.

Clause	Permit Trigger
Clause 34.01 – Commercial 1 Zone	<u>Use</u> Pursuant to Clause 34.01, a permit is required for the following: <ul style="list-style-type: none"> <li>• Accommodation – A permit is required to use the land for ‘Accommodation’ with a frontage at ground floor level exceeding 2 metres.</li> <li>• Office – A permit is not required to use the land as ‘Office’ as the Schedule to Clause 34.01 does not specify a maximum leasable floor area.</li> </ul>

	<ul style="list-style-type: none"> <li>Retail premises (other than Shop) – A permit is not required to use the land as ‘Retail premises (other than Shop)’</li> </ul> <p><u>Development</u></p> <p>A permit is required to construct a building or construct or carry out works. An apartment development must meet the requirements of Clause 58.</p>
Clause 43.01-1 (Heritage Overlay 2 – East Melbourne & Jolimont Precinct)	<p>Pursuant to Clause 43.01, a permit is required to:</p> <ul style="list-style-type: none"> <li>Demolish or remove a building.</li> <li>Construct a building or construct or carry out works.</li> <li>Externally paint a building.</li> </ul>
Clause 43.02-2 (Design and Development Overlay – Schedule 20 Victoria Parade and Albert Street Area)	<p>A permit is required to construct a building or construct or carry out works.</p> <p>Development should not exceed the maximum height, or encroach into minimum building setbacks in Schedule 20.</p>

## 5 PUBLIC NOTIFICATION

Due to the extent of additional demolition it was determined that the proposal may result in material detriment, therefore Council gave notice of the proposal by ordinary mail to the owners and occupiers of surrounding properties and directed that the applicant give notice of the proposal by posting a notice on the site for a 14 day period, in accordance with Section 52 of the Planning and Environment Act 1987.

## 6 OBJECTIONS

The application has not received any objections.

## 7 REFERRALS

### 7.1 Internal

#### 7.1.1 Heritage Advisor

The application was referred internally to the City of Melbourne Heritage Advisor who provided support subject to the inclusion of the following conditions:

#### Dismantling and Reconstruction of Heritage Fabric

- The Permit Holder is required to nominate a suitably qualified Conservation Architect to oversee all deconstruction and reconstruction works at the east and partial north elevation of the rear service wing at 364 Albert Street (the affected heritage fabric). This Conservation Architect is to be approved in writing by the Responsible Authority.
- Prior to the commencement of any of the works approved by this permit, an archival quality survey (photographic or 3D scan) of the affected heritage fabric should be prepared. This survey is to be undertaken in broad accordance with the Heritage Victoria Technical Note entitled *Photographic Recording for Heritage Places and Objects* (available online). Two copies of the completed survey are to be produced, with one copy submitted for approval to the Responsible Authority prior to the commencement of works to the affected heritage fabric. On approval of the first copy, the second copy is to be lodged

with the La Trobe Picture Collection, 328 Swanston Street, Melbourne 3000, State Library of Victoria. The receipt should be submitted to the Responsible Authority.

3. A detailed written description of the deconstruction and reconstruction methodology is to be prepared by the Conservation Architect. It must be submitted to the Responsible Authority for approval prior to the commencement of any work to the affected heritage fabric. This Deconstruction and Reconstruction Management Plan should also describe the steps taken to ensure that no structural damage occurs to the retained existing significant building fabric as part of the deconstruction process and excavation works. Once endorsed, this methodology becomes part of this permit and must not be amended without first obtaining the written consent of the Responsible Authority.
4. Proof that the deconstruction and reconstruction works would be undertaken by contractors qualified and experienced in such activities should be submitted to the Responsible Authority prior to any works occurring.
5. The Conservation Architect is to oversee the dismantling works and storage activities, after which the Conservation Architect is to advise the Responsible Authority in writing that the project has been completed in accordance with the approved Deconstruction and Reconstruction Management Plan.
6. The Conservation Architect is to oversee the reconstruction work, after which the Conservation Architect is to advise the Responsible Authority in writing that the project has been completed in accordance with the approved Deconstruction and Reconstruction Management Plan.
7. Prior to the commencement of any deconstruction / restoration works, a refundable bank guarantee or bond to the value of \$200,000 must be deposited with the Responsible Authority to ensure that the existing building at 364 Albert Street, East Melbourne is not demolished except to complete the development in accordance with the endorsed plans and the Deconstruction and Reconstruction Management Plan prepared by the nominated Conservation Architect.

#### Officer comment

The Heritage Advisor's support of the proposal in this particular circumstance is based on the inclusion of the aforementioned conditions. On this basis these conditions must be included on any amended permit issued to ensure any demolition and reconstruction works are undertaken under strict supervision and assessment by Council. The conditions also require the appointment of a Conservation Architect deemed suitable by Council which will also ensure the works are done in a manner that is respectful to the heritage fabric.

## **8 ASSESSMENT**

In considering the amendments proposed, regard has been given to the State and Local Planning Policy Frameworks, the provisions of the Melbourne Planning Scheme and the individual merits of the application.

Pursuant to Section 72 of *the Planning and Environment Act 1987*, the ambit of discretion is limited to the proposed changes sought by the applicant. Consideration cannot be given to elements already approved as part of the original application and that are not sought to be amended.

The proposal seeks additional demolition of the retained heritage building to facilitate the delivery of the approved development and its associated four storey basement.

The dismantling and reconstruction of the heritage fabric is also required to ensure the heritage fabric is protected and preserved during the construction stage.

The demolition predominately relates to the service wing associated with the building at 364 Albert Street, East Melbourne which is a 'Significant' graded site under the *Heritage Places Inventory March 2022*.

A Significance Heritage Place is defined by policy as follows:

*A significant heritage place is individually important at state or local level, and a heritage place in its own right. It is of historic, aesthetic, scientific, social or spiritual significance to the municipality. A significant heritage place may be highly valued by the community; is typically externally intact; and/or has notable features associated with the place type, use, period, method of construction, siting or setting. When located in a heritage precinct a significant heritage place can make an important contribution to the precinct.*

The building at 364 Albert Street, East Melbourne is incorporated into the East Melbourne and Jolimont Precinct (HO2) identified in the Schedule to the Heritage Overlay. It is not individually identified within this overlay nor is it specifically mentioned in the Incorporated Document *Heritage Precinct Statement of Significance February 2020*.

Notwithstanding, it was determined by the Tribunal in its interim order dated 15 October 2020 that the rear service wing was an important part of the building and its demolition could adversely impact the significance of the heritage place. Having regard to its significance it therefore follows that the rear service wing must remain and the key consideration as part of the application before Council relates to whether the temporary demolition and subsequent reconstruction is an acceptable planning outcome which is discussed further below.



Figure 10: Rear service wing associated with 364 Albert Street and view from Albert Street down Providence Lane

## 8.1 Impact on Heritage Significance

Clause 15.03-1L-02 (Heritage) advises that *full demolition of significant buildings will not generally be permitted and partial demolition in the case of significant buildings will not generally be permitted.*

In support of the application, comprehensive reports and assessments have been undertaken by structural engineers in conjunction with heritage advisors (Table 1).

The supporting documentation indicates that the partial demolition and reconstruction is the most appropriate course of action which will ensure protection of the broader heritage significance of the site and precinct having regard to the extent of works approved to be undertaken under the original permit.

The demolition policy guidelines requires the following considerations as relevant:

- *The assessed significance of the heritage place or building.*
- *The character and appearance of the proposed building or works and their effect on the historic, social and architectural values of the heritage place and the street.*
- *The significance of the fabric or part of the building, and the degree to which it contributes to its three-dimensional form, regardless of whether it is visible.*
- *Whether the demolition or removal of any part of the building contributes to the long-term conservation of the significant fabric of the building.*
- *Whether the demolition will adversely affect the conservation of the heritage place.*
- *Whether there are any exceptional circumstances.*

The Statement of Significance for the *East Melbourne and Jolimont Precinct* focuses on the value of the street frontages as facades that contain the higher level of 'Boom' style architectural qualities that include verandahs with decorative and often ornate cast iron work, and tiled floors; iron palisade fences on stone plinths; and limited or no side setbacks along with the detailing of the rendered facades, slate roofs and other prominent elements that invoke the aesthetics of East Melbourne.

In this instance the principal and front part of the building continues to remain in situ for a depth of approximately 16 metres (with the exception of the western wall at 364 Albert Street, East Melbourne) and the current approval also allows for restoration works to the building which have been supported by Council's Heritage Advisor.

The principal part of the building contributes to the Albert Street and Providence Lane streetscape. The rear service wing walls proposed for demolition (and reconstruction) sit behind the principal part of the building and only becomes visible upon the entry into Providence Lane from Albert Street. The rear elevations proposed to be dismantled and reconstructed will not adversely affect the significance of 364 Albert Street on the basis that the significant fabric will be retained, carefully salvaged and reconstructed and that it would not be readily discernible and continue to read as an original part of the building.

It is acknowledged that the rear service wing has significance, however, its demolition and reconstruction will not result in any discernible difference in the heritage precinct. While not to specifically undermine the importance of the rear service wing, it sits secondary on the site as the back of house space to the principal part of the building. The relationship by where the service wing steps down from the primary part of the building will not be impacted as the demolished walls will be accurately reconstructed in situ based on detailed records and existing evidence.

The need for the demolition and reconstruction has also been determined necessary as a part of a risk assessment submitted with the Application. The assessment highlights that the existing walls sit over bluestone foundations which have little



cement in the mortar resulting in them being brittle and fragile. Any excavation works underneath the service wing have the potential to not only impact on the existing service wing but also the heritage fabric associated with the existing retained heritage structures.

Having regard to the existing conditions and the nature of the work required to excavate and construct, the proposed basement presents risk to the heritage host and from a safety perspective. In this case the demolition of the rear wing while not strictly supported by planning policy, given the unique circumstances, the submitted technical reports and the advice from Council's Heritage Advisor, it is determined that in this instance the full demolition and replacement of the original fabric like for like is an acceptable and most appropriate course of action.

Under Clause 43.01-4, decision guidelines of the Heritage Overlay, before deciding on an application, the responsible authority must consider whether the demolition, removal or external alteration will adversely affect the significance of the heritage place. In addition the responsible authority must consider the demolition policy guidelines Under Clause 15.03-1L-02 (Heritage) as relevant. For the reasons stated above, it is considered that full demolition and like for like replacement is appropriate. The demolition and works will not adversely affect the significance, character or appearance of the heritage place.

## **8.2 Reconstruction and Restoration**

Clause 15.03-1L-02 (Heritage) provides guidance with regard to reconstruction works. The restoration and reconstruction strategies require the following consideration as relevant.

- *Encourage the restoration and/or reconstruction of heritage places.*
- *Ensure where there is to be reconstruction or restoration to any part of a significant building, or any visible part of a contributory building, that it be an authentic restoration or reconstruction process, or should not preclude such a process at a future date.*
- *Ensure where there is to be restoration or reconstruction of a building, it is based on evidence of what a building originally looked like by reference to elements of nearby identical buildings, other parts of the building or early photographs and plans.*

The Application includes a comprehensive 'Works Methodology Review and Heritage Impact Statement' prepared by Conservation Studio Australia Pty Ltd. The report outlines a summary of the proposed demolition and reconstruction works to demonstrate that the completed outcome will ensure the ongoing preservation of the heritage fabric associated with the service wing. The report stipulates the following actions to be undertaken to ensure the success of the dismantling and reconstruction process:

- *Accurately record the existing building details through images, measurements, sketches, drawings and the like to enable reconstruction.*
- *Take mortar samples of the existing mortar and complete petrographic analysis for the mortar to understand the composition for recreations of a matching mortar including aggregates.*
- *Label elements such as windows, bluestone plinth blocks and other unique features. Record their location using the point cloud file as a basis for the reconstruction of the building.*
- *Carefully remove materials that are labelled, set aside for reinstatement or store in a secure location out of the weather.*

- *Carefully dismantle the brickwork by hand, salvage the outer facing bricks, clean and pallet and store in a secure location out of the weather for reconstruction.*
- *Retain sufficient other bricks to enable reconstruction of internal walls. Clean, palletise and store.*
- *Provide all new foundations to the recommendations of a structural and geotechnical engineer.*
- *Reinstate the salvaged bluestone plinth blocks to location.*
- *Reconstruct the east and north elevations using the salvaged bricks ensuring that the outer face bricks are correctly laid in correct bond with mortar joints to match the existing retained building.*
- *Reinstate all features during the reconstruction, including but not limited to windows, voussoir, lintels and the like.*
- *Wash down the brickwork to remove all excess residue, organic growth and the like.*

Noting the above actions, the primary issue is whether the overall appearance and significance of the building can be restored with the full demolition and reconstruction. As discussed, Council's Heritage Advisor is satisfied that on balance an acceptable restoration can be achieved subject to the inclusion of the recommended conditions listed under Section 7 of this report.

It is noted that in this instance the applicant is not gaining benefit from the proposed demolition. A Planning Permit has been issued at the direction of the Tribunal, which allows the proposed redevelopment including a four level basement and vehicle access from the eastern laneway. This application is a necessary step to ensure the broader heritage of the Site is protected and not impacted during construction works. Furthermore the Application does not result in any further developmental gain from what was approved under the existing approval for the Site. While demolition is proposed the reconstruction works will essentially result in a completed outcome consistent with existing approval for the Site. The applicant has provided sufficient information, through the assistance of a Heritage Conservation Architect, to satisfy that the additional demolition and reconstruction is not only achievable but acceptable and can be managed appropriately.

The ongoing involvement of a suitably qualified heritage architect to oversee the construction of the building is also recommended. At the conclusion of both the demolition and reconstruction works, written confirmation from the apportioned Heritage Conservation Architect will be required and must be to the satisfaction of the responsible authority. Finally the inclusion of a bond provides another level of protection and incentive to ensure the works are undertaken in accordance with the relevant recommended conditions.

## **9 RECOMMENDATION**

That the Future Melbourne Committee resolves to issue an Amended Planning Permit subject to the following additional conditions highlighted in red below:

### **Amended plans**

- 1 Prior to the commencement of the use and development or as may otherwise be agreed with the Responsible Authority, an electronic set of plans drawn to scale and an updated development summary, must be submitted to the Responsible Authority, generally in accordance with the plans prepared by Jolson Architects Pty Ltd drawing reference nos. TP000 to TP201 dated 16 November 2020 but amended to show:

- (a) Development summary updated in accordance any further changes required below and Apartment 303 corrected to Apartment 302.
- (b) Setback from Level 2 balcony to Albert Street dimensioned on TP.008.1 and others as relevant.
- (c) Depth and width of vertical blade screening notated as 'SCR-01' dimensioned.
- (d) Operable windows annotated on elevations.
- (e) Glazing shown as 'GL-02' to specify proposed glazing and subsequent deletion of 'O' notation for windows to be provided 'TRANSLUCENT glazing to prevent overlooking'.
- (f) Any alterations necessary in accordance with the requirements of Condition 19 requiring the design and layout of all apartments to satisfy the relevant objectives and associated standards of Clause 58 (Apartment Developments) of the Melbourne Planning Scheme.
- (g) Any changes as required by Façade Strategy required by condition 3.
- (h) Any changes as required by the Environmentally Sustainable Design (ESD) required by condition 4.
- (i) Any changes as required by Landscape Management Plan required by condition 6.
- (j) Any changes as required by the amended Waste Management Plan required by condition 7.
- (k) Modifications to the layout of the ground floor loading bay and the adjoining path to the residential entry and the adjoining residential visitor bicycle parking so that the size and layout of the loading bay minimises the risk of passenger and vehicle conflict with the accessway.

### **Compliance with plans**

- 2 The development as shown on the endorsed plans must not be altered or modified unless with the prior written consent of the Responsible Authority.

### **Façade Strategy**

- 3 Prior to the commencement of the use or development on the land, a Façade Strategy and Materials and Finishes must be submitted to and be approved by the Responsible Authority. All materials, finishes and colours must be in conformity with the approved Façade Strategy to the satisfaction of the Responsible Authority. Unless otherwise approved by the Responsible Authority, the Façade Strategy must be generally in accordance with the development plans and must detail:
  - (a) A concise description by the architect(s) of the building design concept and how the façade works to achieve this.
  - (b) Elevation details generally at a scale of 1:50 illustrating typical lower level details, balcony niches, entries and doors, and utilities, typical tower detail, and any special features which are important to the building's presentation.
  - (c) Cross sections or another method of demonstrating the façade systems, including fixing details indicating junctions between materials and significant changes in form and / or material.
  - (d) Information about how the façade will be accessed and maintained and cleaned, including any planting if proposed.

- (e) Example prototypes and / or precedents that demonstrate the intended design outcome as indicated on plans and perspective images, to produce a high quality built outcome in accordance with the design concept.
- (f) A schedule of colours, materials and finishes, including the colour, type and quality of materials showing their application and appearance. Materials and finishes must be of a high quality, contextually appropriate, durable and fit for purpose. This can be demonstrated in coloured elevations or renders from key viewpoints, to show the materials and finishes linking them to a physical sample board with coding.

## **ESD**

- 4 Prior to the commencement of the use or development, an Environmentally Sustainable Design (ESD) Statement shall be prepared by a suitably qualified professional and submitted to the satisfaction of the Responsible Authority. The ESD Statement must demonstrate that the building has the preliminary design potential to achieve the following:
  - (a) Cooling load not exceeding 30MJ/m<sup>2</sup> per annum generally in accordance with Clause 58.03 (Energy Efficiency Objectives).
  - (b) Compliance with the energy efficiency requirements of the Sustainable Design Scorecard or equivalent.
  - (c) 3 points for Wat-1 credit under a current version of the Green Building Council of Australia's Green Star – Office rating tool or equivalent.
- 5 Prior to the occupation of any building approved under this permit, a report from the author of the endorsed ESD report, or similarly qualified persons or companies, outlining how the performance outcomes specified in the amended ESD report have been implemented must be submitted to the Responsible Authority. The report must be to the satisfaction of the Responsible Authority and must confirm that all measures specified in the approved ESD report have been implemented in accordance with the relevant approved plans.
- 6 Prior to commencement of development a scheme for landscaping and planting in connection with the proposed development, including a Landscape Management Plan ongoing maintenance requirements, must be submitted to and be approved by the Responsible Authority. Except with the prior written consent of the Responsible Authority the approved landscaping must be implemented prior to the occupation of the development. The landscaped area(s) must be maintained to the satisfaction of the Responsible Authority.

## **Waste Management**

- 7 Prior to the commencement of the development, an updated Waste Management Plan must be prepared and submitted to the Responsible Authority. The WMP must be generally in accordance with the prepared by One Mile Grid dated 18 October 2021 but modified to show / detail:
  - a) Commercial waste (food and drink premises and office waste) to be collected by a private operator.
  - b) Chute termination points to be fully enclosed if the waste room will be accessed by tenants and / or residents.
  - c) Only residential bins are permitted to be placed kerbside for collection. Commercial bins to be collected by a private operator from within the property boundary, and returned immediately upon emptying.

- d) All residential bins to be drawn to scale in their kerbside presentation location.
- e) Include terrace houses bins in the floor plan.
- f) Location where the commercial waste truck will stop for collections. The inclusion of swept path diagrams will be required if the vehicle won't be stopping in Albert Street for collections.
- g) Council provides an organic waste collection service for all residents. Please refer to Table 1 in our Guidelines for correct generation rates for garbage and organics.
- h) Unobscured architectural drawings of the relevant floor plans need to be attached to the WMP.
- i) Corridor and door widths where bins are required to be transferred to the kerbside for collection, noting 1.5 m is the minimum width required.

Waste storage and collection arrangements must not be altered without prior consent of the Responsible Authority – Waste and Recycling.

### **Civil Design**

- 8 The title boundaries for the property may not exactly agree with the road alignments of the abutting the City of Melbourne's laneway. The approved works must not result in structures that encroach onto the City of Melbourne's laneways.
- 9 Prior to the commencement of the development, a stormwater drainage system, incorporating integrated water management design principles, must be submitted to and approved by the Responsible Authority. This system must be constructed prior to the occupation of the development and provision made to connect this system to the City of Melbourne's underground stormwater drainage system.
- 10 Prior to the first use / occupation of the development, all necessary vehicle crossings must be constructed and all unnecessary vehicle crossings must be demolished and the footpath, kerb and channel reconstructed, in accordance with plans and specifications first approved by the Responsible Authority.
- 11 All portions of roads and laneways affected by the building related activities of the subject land must be reconstructed together with associated works including the reconstruction or relocation of services as necessary at the cost of the developer, in accordance with plans and specifications first approved by the Responsible Authority.  

The road along Providence Lane from Lansdowne Street to Albert Street must be reconstructed in asphalt together with associated works including reconstruction of channel in sawn bluestone, the provision of drainage, street lighting and modification of services as necessary at the cost of the developer, in accordance with plans and specifications first approved by the Responsible Authority.
- 12 The footpath adjoining the site along Albert Street must be reconstructed together with associated works including the renewal / reconstruction of kerb and channel and modification of services as necessary at the cost of the developer, in accordance with plans and specifications first approved by the Responsible Authority.
- 13 Existing street levels in Albert Street and Providence Lane adjoining the site must not be altered for the purpose of constructing new vehicle crossings or

pedestrian entrances without first obtaining approval from the Responsible Authority.

- 14 All street lighting assets temporarily removed or altered to facilitate construction works shall be reinstated once the need for removal or alteration has been ceased. Existing public street lighting must not be altered without first obtaining the written approval of the Responsible Authority.
- 15 Prior to the commencement of the development, excluding preliminary site works, demolition and any clean up works, or as may otherwise be agreed with the City of Melbourne, a lighting plan must be prepared to the satisfaction of Council. The lighting plan should be generally consistent with Council's Lighting Strategy, and include the provision of public lighting in the streets adjacent to subject land. The lighting works must be undertaken prior to the commencement of the use / occupation of the development, in accordance with plans and specifications first approved by the Responsible Authority.
- 16 All groundwater and water that seeps from the ground adjoining the building basement (seepage water) and any overflow from a reuse system which collects groundwater or seepage water must not be discharged to the Council's drainage network. All contaminated water must be treated via a suitable treatment system and fully reused on site or discharged into a sewerage network under a relevant trade waste agreement with the responsible service authority.

#### **Traffic**

- 17 A formal independent desktop Road Safety Audit of the proposed development should be undertaken prior to construction, at the developer's expense, which should include the vehicular / bicycle / pedestrian access arrangements, loading and waste arrangements and internal circulation / layout.

#### **Street Trees**

- 18 No street tree adjacent to the site may be removed, lopped, pruned or root-pruned without the prior written consent of the Responsible Authority.

#### **Titles**

- 19 Prior to the commencement of works, including demolition, all the land for the proposed development must be owned by the one entity and consolidated onto the one certificate of title to the satisfaction of the Responsible Authority.

#### **Clause 58**

- 20 The design and layout of all apartments must satisfy the relevant objectives and should satisfy the related standards of Clause 58 (Apartment developments) of the Melbourne Planning Scheme.

#### **Construction Management Plan**

- 21 Prior to the commencement of the development hereby approved, a detailed Construction Management Plan (CMP) must be submitted to and be approved in writing by the Responsible Authority. This CMP must be prepared in accordance with the City of Melbourne's CMP Guidelines and must consider the following as relevant:
  - (a) Public safety, amenity and site security.
  - (b) Operating hours, noise and vibration controls.
  - (c) Air and dust management.
  - (d) Stormwater and sediment control.

- (e) Waste and materials reuse.
- (f) Traffic management.
- (g) Measures which will be put in place to control pollutants from entering the stormwater drainage system in accordance with the provisions of Clause 22.23 (Stormwater management (Water Sensitive Urban Design) of the Melbourne Planning Scheme.

### **Dismantling and Reconstruction of Heritage Fabric**

- 22 The Permit Holder is required to nominate a suitably qualified Conservation Architect to oversee all demolition and reconstruction works associated with the rear service wing at 364 Albert Street (the affected heritage fabric). This Conservation Architect is to be approved in writing by the Responsible Authority.
- 23 Prior to the commencement of the development hereby approved (including demolition), an archival quality survey (photographic or 3D scan) of the affected heritage fabric should be prepared. This survey is to be undertaken in broad accordance with the Heritage Victoria Technical Note entitled Photographic Recording for Heritage Places and Objects (available online). Two copies of the completed survey are to be produced, with one copy submitted for approval to the Responsible Authority prior to the commencement of works to the affected heritage fabric. On approval of the first copy, the second copy is to be lodged with the La Trobe Picture Collection, 328 Swanston Street, Melbourne 3000, State Library of Victoria. The receipt should be submitted to the Responsible Authority.
- 24 Prior to the commencement of the development hereby approved (including demolition), a detailed written description of the deconstruction and reconstruction methodology is to be prepared by the Conservation Architect. It must be submitted to the Responsible Authority for approval. This Deconstruction and Reconstruction Management Plan should also describe the steps taken to ensure that no structural damage occurs to the retained existing significant building fabric as part of the deconstruction process and excavation works. Once endorsed, this methodology becomes part of this permit and must not be amended without first obtaining the written consent of the Responsible Authority.
- 25 Proof that the deconstruction and reconstruction works would be undertaken by contractors qualified and experienced in such activities should be submitted to the Responsible Authority prior to any works occurring to the satisfaction of the Responsible Authority.
- 26 The Conservation Architect is to oversee the dismantling works and storage activities, after which the Conservation Architect is to advise the Responsible Authority in writing that the project has been completed in accordance with the approved Deconstruction and Reconstruction Management Plan.
- 27 The Conservation Architect is to oversee the reconstruction work, after which the Conservation Architect is to advise the Responsible Authority in writing that the project has been completed in accordance with the approved Deconstruction and Reconstruction Management Plan.
- 28 Prior to the commencement of any deconstruction / restoration works, a refundable bank guarantee or bond to the value of \$200,000 must be deposited with the Responsible Authority to ensure that the existing building at 364 Albert Street, East Melbourne is not demolished except to complete the development in accordance with the endorsed plans and the Deconstruction and

Reconstruction Management Plan prepared by the nominated Conservation Architect.

**Time limits**

29 This permit will expire if one of the following circumstances applies:

- (a) The development is not started within three years of the date of this permit;
- (b) The development is not completed within five years of the date of this permit.

The Responsible Authority may extend these time limits if a request is made in writing before the permit expires or within six months afterwards. The Responsible Authority may extend the time for completion of the development if a request is made in writing within 12 months after the permit expires and the development started lawfully before it expired.